

ZONE BOUNDARY CHANGE PETITION APPLICATION



TOWN OF MONROE
PLANNING & ZONING DEPARTMENT
7 Fan Hill Road, Monroe, CT 06468
Tel. (203) 452-2812

FOR OFFICE USE:

ZCA - _____

File Number - _____

Project Name: O'Reilly Auto Parts

Street Address: 215 Monroe Turnpike, Monroe CT 06468

Subject Property – Assessor Map Number: 14 Lot Number: 62 Lot Acreage: 0.971

Existing Zoning District: LOR w/ MDD Overlay Existing Acreage: 0.971

Proposed Zoning District: SDD Changed Acreage: 0.971

❖ **TAKE NOTE:** *It is the applicant's responsibility to provide all the information the Commission will need in order to process the application and make a fair determination of the issues. If an applicant fails to supply timely or sufficient information, it may result in delay, denial of the application, or both. Applicants are highly recommended to be represented by qualified representatives and to consult the Town of Monroe Plan of Conservation and Development, as well as the detailed application requirements and standards set forth in the Town of Monroe Subdivision, Zoning and Inland Wetlands Regulations.*

- **Pre-Submission Conference** – Contact the Planning and Zoning Administrator (203-452-2812) to schedule one or more preliminary pre-submission conferences with staff (*this is highly recommended*).
- **Formal Application Submission** – Provide **eleven (11) paper application sets** (*plans folded and materials collated into individual sets*) and **one (1) pdf CD** including the following: (a) signed application form; (b) supporting application narrative; (c) supporting investigative and impact analyses reports; (d) 500-foot abutters list; and (e) complete set of Zone Change Plans. The application submission will be reviewed by the **Commission** and the Town's **Application Review Team (ART)** consisting of Department Staff from Planning and Zoning, Engineering, Wetlands, Fire Marshal, Police (traffic authority), Health and Building.
- **Project Timeline** – Following official receipt of an application, a **Project Timeline** listing milestone dates and actions to be followed during the review will be emailed to the applicant's Primary Project Contact.
- **Sealed and Certified Plans** – All plans (shall be folded) and/or reports prepared by engineers, surveyors, landscape architects and architects must include an original seal and live signature certification.

Application No. _____ File No. _____

APPLICATION FEE

Zoning Boundary Change Petition Base Fee:..... \$ 675.00
 Connecticut State Surcharge..... \$ 60.00
Payable to the Town of Monroe **TOTAL APPLICATION FEE: \$ 735.00***

**Include driver's license number and telephone number on fees paid with a personal check.*

APPLICATION INFORMATION

1. Where is the property deed found in the Monroe Land Records?

a) Date: _____ Volume: 1910 Page: 224

2. What is the origin of the application property (i.e., when and how was the current property created)?

List recorded maps, previous subdivision / resubdivision, lot line adjustments, etc:

3. Supporting Maps and Project Narrative:

Refer to Zoning Regulations §9.2

- **Attach all required Rezoning Maps and Project Narratives as required by the Zoning Regulations.**
- **Attach a written Metes and Bounds description of just the area proposed to be rezoned.**
- **Attach a list of current property owners within 500 feet as required by the Zoning Regulations.**

PRIMARY PROJECT CONTACT

4. Primary Contact Name: Chas Evans, Bohler Engineering

Business Address: 65 LaSalle Road, Suite 401, West Hartford, CT 06107

Phn/Cell: 860.333.8900 Email: cevans@bohlereng.com

The Primary Project Contact will be sent all correspondence (primarily via email) during the course of the project review and is responsible for distributing to the other project representatives.

PROJECT TEAM INFORMATION

5. Owner's Name: O'Reilly Automotive Stores Inc, c/o Zwally Real Estate LLC

Address: 233 S Patterson Ave. Springfield, MO 65802

Phn/Cell: 417-862-2674 Email: cevans@bohlereng.com

6. Applicant's name: O'Reilly Automotive Stores Inc., c/o Bohler

Address: 65 LaSalle Road, Suite 401, West Hartford, CT 06107

Phn/Cell: 860.333.8900 Email: cevans@bohlereng.com

Interest in property: Owner Contract Vendee Tenant Other _____

7. Application Professionals

	<u>Name</u>	<u>Phone/Cell</u>	<u>Email</u>
Surveyor:	<u>Chris Michaud PLS, Control Point Associates Inc.</u>	<u>508.948.3000</u>	<u>cmichaud@cpasurvey.com</u>
Engineer:	<u>Chas Evans P.E., Bohler Engineering MA, LLC</u>	<u>860.333.8900</u>	<u>cevans@bohlereng.com</u>
Landscape Architect:	<u>Wayne Violette, Bohler Engineering MA, LLC</u>	<u>860.333.8900</u>	<u>wviolette@bohlereng.com</u>
Architect:	<u>Rachel Vering, Buddy Webb and Company</u>	<u>417.877.1385</u>	<u>rachel1@WEBBARCH.COM</u>
Other:	_____		

Application No. _____ File No. _____

8. Is the property located within a flood plain?

No Yes If "yes" 100-year 500-Year – **Contact Flood Plain Administrator at 203-452-2812**

9. Is the property located within 500 feet of a town boundary?

No Yes **Abutting town(s):** _____

10. Is the property subject to an existing conservation or preservation restriction (i.e., Conservation Easement)?

No

Yes **Provide a notarized statement pursuant to CT Public Act 05-124 indicating:**

- **Written notice of such application has been sent by certified mail, return receipt requested, not later than sixty (60) days prior to the filing of the application to the party holding the conservation or preservation Restriction; OR**
- **In lieu of notice, provide a letter from the holder or holder's authorized agent, verifying that the application is in compliance with the terms of the restriction.**

11. Is the property located within a public water supply watershed?

No

Yes **Name of watershed:** _____

NOTE: **Within seven (7) days of application submission, the applicant is required to also send a copy of the application to the Aquarion Water Company of Connecticut, 714 Black Rock Road, Easton, CT 06612, and to the Connecticut Commissioner of Public Health, 410 Capitol Avenue, Hartford, CT 06106; and provide evidence documenting same to the Planning and Zoning Department.**

12. Are there inland wetlands, watercourses, lakes or ponds or other water related resources on or within 100 feet of the property; and/or is there a named watercourse within 150 feet of the property?

Attach Soil Scientist inspection report/verification and delineation report and survey map.

No Yes **Area of property regulated** _____ (ac) _____ (% of property)

Contact the Inland Wetlands Department 203-452-2809 prior to proceeding with this application.

13. Previous or Current Wetland Permits or Violations for Property (list Wetland File #s and dates):

14. What is the current status of the property?

Undeveloped Developed

Attach a separate narrative describing existing site conditions (vegetation cover, development, etc).

15. Is the property to be rezoned contiguous to an existing like zoning district?

No Yes **Attach a separate narrative with graphic illustration detailing response.**

16. Will the proposed zone boundary change create any non-conforming condition in regard to lot configuration or existing use or existing development of the property?

No Yes **Attach a separate narrative detailing response.**

Application No. _____ **File No.** _____

17. Is public water service available at this property?

No private well water main extension no water service
 Yes connected proposed connection not planning connection
 Nearest public water main: Location _____ Distance: _____ (ft)

18. Is the property suitable for onsite septic disposal sufficient to support the range of permitted uses allowed in the proposed zoning district reclassification?

No Yes **Attach a separate narrative detailing response.**

19. Is the property suitable for onsite stormwater management treatment controls sufficient to support the extent of development potential allowed in the proposed zoning district reclassification?

No Yes **Attach a separate narrative detailing response.**

20. Describe existing lot frontage, road access and potential sight line conditions, as well as their sufficiency to support the range of permitted uses allowed in the proposed zoning district reclassification.

Attach a separate narrative and graphic illustrations detailing response.

21. Describe topographic conditions and assess to what extent slopes 15% and greater may limit development potential or which otherwise require specialized engineering to support future development?

0.002 ac (25% and greater) 0.04 ac (15-15%) 0.07 ac (10-15%) 0.86 ac (0-10%)

Attach a separate narrative with a Slopes Map showing the location and acreage of sloped areas:

22. Will the proposed zone boundary change impact existing or necessitate new Town infrastructure facilities?

No Yes **Attach separate narrative detailing response.**

23. How will abutting properties be directly or indirectly affected by the proposed zone boundary change (changes to setback and buffer requirements, compatibility of uses between different zones, future potential development related issues such as traffic generation, noise, visual, community character, etc)?

Attach a separate narrative and graphic illustrations detailing response.

24. Have any Zoning Board of Appeals variances been granted related to the property?

No Yes **List variances obtained with respective ZBA File # and date of approval:**

I(we) hereby certify that I(we) make this application as or on behalf of and with the full authority of the owner(s) of the property or premises and am aware of and understand the Zoning, Subdivision and Inland Wetlands Regulations pertinent to the application and affirm that the statements and information provided are accurate and true. Further, all the undersigned hereby authorizes the Town of Monroe and its agents, to access the premises for the purpose of application investigation, site review, inspection of improvements or construction, and enforcement of the Town's Regulations and Ordinances, and the General Statutes of the State of Connecticut, as may be applicable.

All the undersigned warrant the truth of all statements contained herein and in all supporting documents according to the best of their knowledge and belief. Further, all the undersigned understand and agree that the Planning and Zoning Commission and/or its Staff/Consultants may request additional information and it is the applicant's/owner's responsibility to provide this information in a timely fashion and to the Commission's satisfaction. If the information provided is incomplete or inaccurate, the Commission may deny the application or request an extension to be granted by the applicant/owner in order to act within applicable legal time limits.

This agreement shall be binding on all heirs, executors, administrators, successors and assigns of all undersigned.

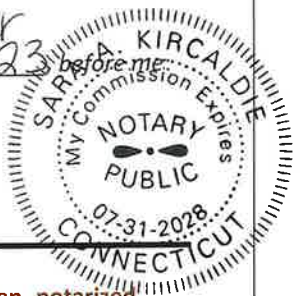
APPLICANT(S) – (Both Applicant and Owner Notarized Signatures are required)

CHARLES EVANS Char W Evans 10/13/2023
Applicant Name Printed Authorized Signature Date

Additional Applicant Authorized Signature Date
(Provide additional sheets as needed)

Subscribed and sworn to by Charles Evans on this day of 13 of October, 2023 before me:

Sara A. Kircaldie, Sara A. Kircaldie
Notary Public, Justice of the Peace, Commissioner of the Superior Court



Please note the following: This application must include the owner's signature and notarization or a written, notarized consent to submit this application, signed and dated by the owner.

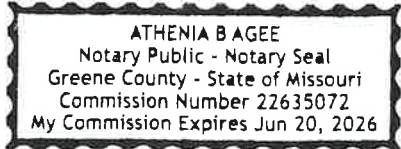
OWNER(S) – (Both Applicant and Owner Notarized Signatures are required)

O'Reilly Automotive Stores, Inc.
Owner Business Name

Phil Hopper Phil Hopper 10/3/23
Authorized Member Name Printed Authorized Signature Date

Subscribed and sworn to by Phil Hopper on this day of 10/03, 2023, before me:

Athenia Bagee
Notary Public, Justice of the Peace, Commissioner of the Superior Court



NARRATIVE OF PROPOSED REGULATION AMENDMENT & ZONE CHANGE

PROPERTY DESCRIPTION

The property at 215 Monroe Turnpike is an irregularly shaped legal, pre-existing non-conforming parcel located on the westerly side of Monroe Turnpike (CT State Route 111) south of its intersection with Spring Hill Road. The property is currently located in the Limited Office Retail (LOR) District in the Main Street Design District (MDD) Overlay. The approximately 42,298 square foot site has been largely vacant since 2019 (per aerial mapping) and is currently occupied only by a gravel driveway and concrete pad among the previously cleared trees and is therefore currently underutilized. Access and public water exist via Monroe Turnpike. Testing will be conducted to demonstrate septic suitability, but it is anticipated to be favorable given previous septic use on the site by a residential structure (per historical aerial mapping).

The parcel to the northeast of the subject property along Monroe Turnpike is occupied by an insurance agency. The parcel to the southwest along Monroe Turnpike contains a Panera Bread restaurant that was completed in 2022. The parcels to the northwest which abut Spring Hill Road are zoned Residential & Farming District 1 and are improved by residential properties. Area businesses in the immediate commercial corridor include a lumber store, window installation service, Noble Gas station, and a topsoil supplier, among others, along Monroe Turnpike.

PROPOSED REGULATION AND PURPOSE

The proposed amendment will create a Special Development District 4 (SDD4) at 215 Monroe Turnpike, within the Main Street Design District (MDD) Overlay. The SDD identifies the district and establishes regulations and guidelines that will serve to encourage the economic development and fiscal health of the community. This SDD will provide a development opportunity, in furtherance of the Plan of Conservation and Development, for a vacant property in a prime location on Monroe Turnpike in the MDD that merits modification of the standards in these regulations.

The proposed SDD4 will allow for the development of this parcel in a manner consistent with the stated goals of the POCD. All permitted uses within the underlying zone will continue to be permitted, including the general retail use that is currently being proposed as a change in use of the subject parcel.

The proposed amendment establishes standards for the general retail use within the SDD4. Per coordination with Town staff and per the proposed land use traffic demands and operation it was recommended to provide less than the required parking in the underlying zone to minimize impervious coverage and to avoid the increase in stormwater peak rates and volumes that would have had to be maintained and treated.

The proposed SDD4 will not negatively impact Town infrastructure facilities, nor will it have a greater potential impact than the underlying LOR District.

CONFORMITY WITH THE PLAN OF CONSERVATION & DEVELOPMENT

This amendment is consistent with the Monroe Plan of Conservation and Development for the following reasons, including:

Chapter 1

"Introduction," survey responses stated that "Participants identified property tax rates as their primary concern regarding the future of Monroe, followed by funding of the school district and lack of commercial growth." (p.8) Further on the "Plan Priorities" identified that "The Town should continue to play an active role in supporting economic development as a means of diversifying its tax base and reducing its reliance on residential property taxes. And "The Town has hundreds of acres of undeveloped or underdeveloped land located in commercial and industrial districts. While there are development constraints related to the lack of infrastructure, specifically water and wastewater disposal infrastructure, the Town should fully support appropriate economic development within those districts. Priority Themes include "Grow Economic Base - Monroe's economy is changing and the Town should work towards encouraging and supporting a diverse economy that draws upon Monroe's strengths including access to state highways, available commercial and industrial land, and a strong business environment. (p.16)

- A. Focus group meetings identify the following relevant issues in Chapter 1 (all are directly quoted):

Land Use and Zoning

- Development is and will be market driven and the Town needs to be open minded regarding different uses along its corridors.
- The challenge is to preserve the Town's character and identity and have economic development that will allow the Town to sustain itself.
- The Town's school system is challenging to maintain. There is concern about development adding to the school population and creating a greater challenge.
- The Town's zoning regulations may not be flexible enough to allow development that the market demands.
- The Town has properties on Route 25 that are viable for development.
- The Town should focus development in areas where infrastructure is existing.

Economic Development

- Vacant sites and retail spaces need to be occupied or redeveloped.
- The Town has too many different commercial zones, should consider consolidating zones.
- The zoning should allow for smaller lots and reduced setback requirements.
- The Town should be more proactive in recruiting businesses.
- The zoning map and districts should be redrawn to create development opportunities.
- The zoning along Routes 25 and 111 should allow for development that is responsive to market conditions including mixed-use and residential development.
- The Town's zoning regulations may not be flexible enough to allow development that the market demands.
- The Town has properties on Route 25 that are viable for development.
- The Town should focus development in areas where infrastructure is existing.

B. Priority Themes

This Plan's recommended strategies and actions are directly aimed at supporting the vision and goals identified in this Plan. These priorities are summarized in the themes below.

- Grow Economic Base Monroe's economy is changing and the Town should work towards encouraging and supporting a diverse economy that draws upon Monroe's strengths including access to state highways, available commercial and industrial land, and a strong business environment.

Chapter 2

Economic Development Goal "Foster a vibrant economy that provides residents and visitors with access to good, services and employment opportunities while diversifying the Town's property tax base."

- Strategy 4 Review the Town's zoning regulations and revise as needed to be more supportive of emerging business practices, business types, and land uses.

Supporting action #1 as "The Planning and Zoning Commission should continue to collaborate with the Economic Development Commission to review the Town's commercial and industrial zone standards and identify zoning amendments that may be needed to adequately support emerging business types and land uses ... " (p. 23)

- Strategy 6 Review the Town's zoning regulations and make appropriate amendments to incentivize investment and development that revitalizes properties and provides a civic amenity or benefit.

Supporting Action #1. The Planning and Zoning Commission should consider providing additional zoning tools and incentives to encourage reinvestment in, and transformation of, the Town's many aging shopping plazas and vacant tenant spaces.

Chapter 8

"Implementation Summary"

The Plan's strategies are identified by their priority theme. Those themes are: Grow Economic Base Monroe's economy is changing and the Town should work towards encouraging and supporting a diverse economy that draws upon Monroe's strengths including access to state highways, available commercial and industrial land, and a strong business environment. (p.69)

The regulations of the proposed SDD3 provide a course of action and standards implementing the Town's stated strategic plan, thereby promoting compatible economic development and enhancing the visual character of the corridor. The development of this long vacant parcel with a strong commercial user greatly serves the economic needs of Monroe and provides an increased and diversified tax base and mix of uses in Town.

LIMITATIONS HINDERING THE CURRENT USE AND DEVELOPMENT OF A ZONING DISTRICT AND/OR SUBJECT PARCEL AS PRESENTLY ZONED.

The subject parcel has sat vacant since 2019. The parcel size, shape, location and access render it commercially undesirable under the current regulations.

COMPARISON OF POTENTIAL POSITIVE AND NEGATIVE ASPECTS BETWEEN THE CHANGE IN ZONING OR NOT.

If the change in zone does not occur, the parcel will most likely continue to sit vacant with minimal tax value for the foreseeable future. If the change in zone is allowed, the vacant parcel will be developed, dramatically increasing the tax value and enhancing services on Monroe Turnpike.

STATEMENT OF USES AND STANDARDS
FOR SDD #4

GENERAL RETAIL BUSINESS – O'REILLY AUTO PARTS

215 MONROE TURNPIKE
MONROE, CONNECTICUT

ADOPTED:
EFFECTIVE DATE:

I. GENERAL

This Special Development District #4 is established in accordance with the provisions of Article 5 of the Town of Monroe Zoning Regulations.

II. REGULATIONS

Within the Special Development District #4, no land, buildings, or other structures shall be used, and no buildings or other structures shall be altered, constructed, enlarged, extended or moved except in conformance with these regulations. They may be amended from time to time with the express approval of the Commission or its duly authorized representatives.

III. REQUIREMENTS

Except as specifically modified herein, all of the provisions and standards of the Town of Monroe Zoning Regulations applicable to the Limited Office Retail (LOR) District shall apply in this SDD #4.

IV. PERMITTED USES

All uses permitted in the Limited Office Retail (LOR) District shall be permitted in this SDD #4.

V. PRINCIPAL STRUCTURES, LOCATION & BULK STANDARDS

Lot Area and Bulk Requirements for SDD #4. No lot shall be used and no building or other structure shall be constructed or altered for use except in conformance with the following schedule:

Schedule of Dimensional Requirements

<u>Lot Requirements</u>	<u>SDD #4</u>
Minimum lot area	42,298 sq. feet
Minimum district size	1.0 acre
Minimum lot frontage	150 feet
Minimum square	None
Minimum front yard	20 feet
Minimum right-of-way reserve	None
Minimum yards	
• At residential zone boundary	25 feet
• Side yard**	5 feet
• Rear yard**	5 feet
Maximum height	2.5 stories/35 feet
Maximum building coverage	25%

Fences, Gates, Walls, Signs and Landscaping in Required Yard Areas

Fences, gates and walls shall not exceed eight (8) feet in height measured from the adjacent ground level to the top of such fence, gate, wall or combination thereof.

Setback Modifications and Exceptions

Buried propane tanks, stormwater control basins and structures (above and below ground), and septic disposal systems may be located in a required setback area, subject to the following:

- (1) All applicable landscape buffer requirements shall be provided, except the Commission may permit an encroachment into a required landscape buffer provided it can be shown that such encroachment is the minimum necessary and an alternative landscape buffer plan is provided to offset such encroachment.
- (2) Notwithstanding Subsection (1) above, a minimum setback of one (1) foot from any property line shall be provided.

- (3) The total area of encroachment into either a front, side or rear setback area shall not exceed an area greater than fifty percent (50%) of the individual setback area affected, be it the front, side or rear setback area.
- (4) All-season visibility of above-ground stormwater control structures (including outlet and overspill controls) located in a setback area shall be screened, as required by the Commission, from abutting streets and lots with suitable landscaping, fencing, walls or a combination thereof.
- (5) In lieu of setback, the Commission may require reasonable screening in the form of fencing, landscaping, wall or any combination thereof.

Design Standards

- B. There shall be no outside storage of any kind, except storage accessory to principal uses shall be allowed, including walk-in coolers and/or freezers and propane tank dispensing facilities.
- G. Site design in the SDD #4 District must address the following access management provisions:
 - (3) Shared access between adjacent parking lots is not required.

Off-Street Parking and Refuse

- A. There shall be no minimum required distance for parking areas or internal driveways from a Residential and Farming District line.
- B. All refuse and/or recycling enclosures shall be provided in locations and screened as approved by the Commission in accordance with the standards set forth in Article 6 (as amended) of these Regulations.

Loading Spaces

- A. In the SDD #4 District, off-street loading spaces shall be allowed in a front yard and side yard.
- B. A minimum of one (1) loading space is provided.

Lighting

- A. All lighting shall be Dark Sky Compliant

Landscape Buffers and Screening

Landscape buffers shall be provided and maintained as follows:

- A. A front yard landscape buffer shall be provided across the width of the street frontage of the lot, except for permitted access driveways, pedestrian walkways or trails which may cross through to the interior portion of the lot, as well as accessory structures such as mailboxes, walls and fences, and signs as otherwise allowed by these Regulations.

The minimum depth of the front yard landscape buffer for lots in the SDD #4 District shall be no less than two (2) feet, except that in lieu of a depth requirement the Commission may permit reasonable screening in the form of fencing, landscaping, wall or any combination thereof via site plan approval.

- B. With respect to side and rear yard landscape buffer, the Commission shall allow reasonable screening in the form of fencing, landscaping, wall or any combination thereof via site plan approval in lieu of a landscape buffer depth requirement for all such yards abutting any property within a Residential and Farming District.

Signs – Height, Location and Number of Signs

A single commercial/industrial tenant building may have at least one (1) but up to three (3) signs attached to the building at the Commission's discretion. A multiple commercial/industrial tenant building may have one (1) sign attached to the building per tenant space. However, except individual retail or commercial tenant with a storefront in excess of fifty (50) linear feet may allocate its total allowed wall sign area between multiple wall signs, provided the cumulative area of all such wall signs does not exceed the total area permitted for said individual tenant. The length of a tenant wall sign on the front façade of the building may not exceed seventy-five percent (75%) of the length of the tenant's front façade.

A permitted freestanding sign shall be located no closer than five (5) feet from any property line or street line.

Schedule of Required Off-Street Parking

General Retail: 5.0 spaces per 1,000 sq. ft. GFA, however the Commission may permit less parking if it determines upon review of a site plan that a reduction in the number of parking spaces is suitable and proper for the site.

VI. DEVELOPMENT PLANS

Within this Special Development District, construction shall be in conformance with Design Development Plans entitled "Proposed Site Plan Documents", dated 9/28/2023, prepared by Bohler Engineering, as approved by the Monroe Planning & Zoning Commission and as may be modified from time to time by subsequent Planning and Zoning or other municipal or state approvals.

VII. STORMWATER MANAGEMENT

All stormwater management shall employ best management practices as outlined on the plans and Stormwater Management Report. The owner shall perform all required maintenance activities to assure the proper functioning of the stormwater management plan. All stormwater management facilities shall be in accordance with MS4.

VIII. LANDSCAPE MAINTENANCE

All trees and shrubs and other planted areas shall be maintained in a trimmed, mulched and healthy condition. All parking areas and storm drainage facilities shall be maintained in good repair and in a clean, debris-free condition.

IX. SIGNAGE

Signage identifying the commercial project is subject to Commission approval.

X. MODIFICATION AND AMENDMENT

This Special Development District, consisting of all of the elements set forth above, including all accompanying plans, documents and exhibits, may be modified upon adoption of subsequent alterations or modifications thereto by vote of the Monroe Planning & Zoning Commission, provided that said modification does not materially alter any basic elements of the Special Development District as approved. Any material alteration or change in the basic elements of the Special Development

District shall be made only by the Monroe Planning & Zoning Commission following a duly noticed public hearing on such material change.

XI. LEGAL DESCRIPTION

“SPECIAL DESIGN DISTRICT (SDD) 4” DESCRIPTION:

Depicted on a map entitled “Proposed District Boundary Map to Zone: SDD 4, dated September 28, 2023 prepared by Bohler Engineering and recorded on the Monroe Land Records as Map Number _____.

The District is more particularly described as follows:

[insert legal description from survey]

SITE DESCRIPTION:

Depicted on Design Development Plans entitled “Proposed Site Plan Documents“, dated 9/28/2023, prepared by Bohler Engineering, as approved by the Monroe Planning & Zoning Commission and as may be modified from time to time by subsequent Planning and Zoning or other municipal or state approvals.

The site as proposed is more particularly described as:

JEB REAL ESTATE LLC
23 CHURCH HILL RD
NEWTOWN, CT 6470

DIPIETRO FRANK
348 SPRING HILL RD
MONROE, CT 6468

MURILLO LUIS
PO BOX 179
MONROE, CT 6468

SMITH CYNTHIA
339 SPRING HILL RD
MONROE, CT 06468-2120

ONE EIGHTY NINE MONROE TPKE LL
189 MONROE TPKE
MONROE, CT 6468

HIZA RONALD J TRSTEE OR HIS SU
365 SPRING HILL RD
MONROE, CT 6468

TANUSHI NIKOLLA
12 RIDGEVIEW ROAD
SOUTHURY, CT 6488

FIDA JOSEPH R JR
244 MONROE TPKE
MONROE, CT 06468-2247

SYMSKI PROPERTIES LLC
77 CAPITOL DR
SHELTON, CT 6484

MAZAKO BERNARD + KAREN E
360 SPRING HILL RD
MONROE, CT 06468-2118

BERISHA ILIR
233 MONROE TPKE
MONROE, CT 6468

LEGACY INVESTMENTS LLC
227 MONROE TPKE - 2ND FLR
MONROE, CT 6468

ZWALLY REAL ESTATE LLC
PO BOX 66
MONROE, CT 6468

ZUMBO ROBERT J + MICHELLE R
330 SPRING HILL RD
MONROE, CT 06468-2118

MIX GLORIA E (LATE)
195 ASPETUCK RIDGE RD
NEW MILFORD, CT 6776

BERGEL MONROE LLC
419 PARK AVE SOUTH 15TH FLR
NEW YORK, NY 10016

AQUARION WATER CO OF CONNECTIC
600 LINDLEY ST
BRIDGEPORT, CT 6606

,

NOBLE MONROE II LLC
78 NOAH RD
EAST WINDSOR, CT 6088

205 MONROE TPKE LLC
PO BOX 320128
FAIRFIELD, CT 6825

,

,

October 13, 2023
Via Hand Delivery

Monroe Town Hall
7 Fan Hill Road
Monroe, CT 06468

Attn: Dylan Willette

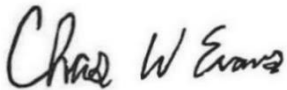
**Re: Monroe Planning and Zoning Commission
Proposed O'Reilly Auto Parts – Project Narrative
215 Monroe Turnpike
Monroe, CT**

The property at 215 Monroe Turnpike is an irregularly shaped legal, pre-existing non-conforming parcel located on the westerly side of Monroe Turnpike (CT State Route 111) south of its intersection with Spring Hill Road. The property is currently located in the Limited Office Retail (LOR) District in the Main Street Design District (MDD) Overlay. The approximately 42,298 square foot site has been largely vacant since 2019 (per aerial mapping) and is currently occupied only by a gravel driveway and concrete pad among the previously cleared trees and is therefore currently underutilized. Town records show that the site was previously served by an existing septic system. Testing will be conducted to demonstrate septic suitability, but it is anticipated to be favorable given previous septic use on the site by a residential structure.

The proposed development consists of a 7,453sf O'Reilly Auto Parts store, twenty-five (25) parking spaces, one full access drive, a trash enclosure, sidewalk for building access and along the Monroe Turnpike right of way/street frontage. The site will be served by public water, gas, and electric, as well as an on-site septic system to be approved by the Monroe Health Department. Stormwater generated from the development is proposed to be captured through roof drains and catch basins then treated and detained in an underground stormwater infiltration system before being released in the Monroe Turnpike drainage system. Given the change in grade through the site, the development proposes a retaining wall along the northwest corner of the site ranging from two (2) to seven (7) feet in height.

We trust the provided narrative is sufficient for your review. Should you have any questions or have any additional comments, please do not hesitate to contact me.

Sincerely,
Bohler Engineering

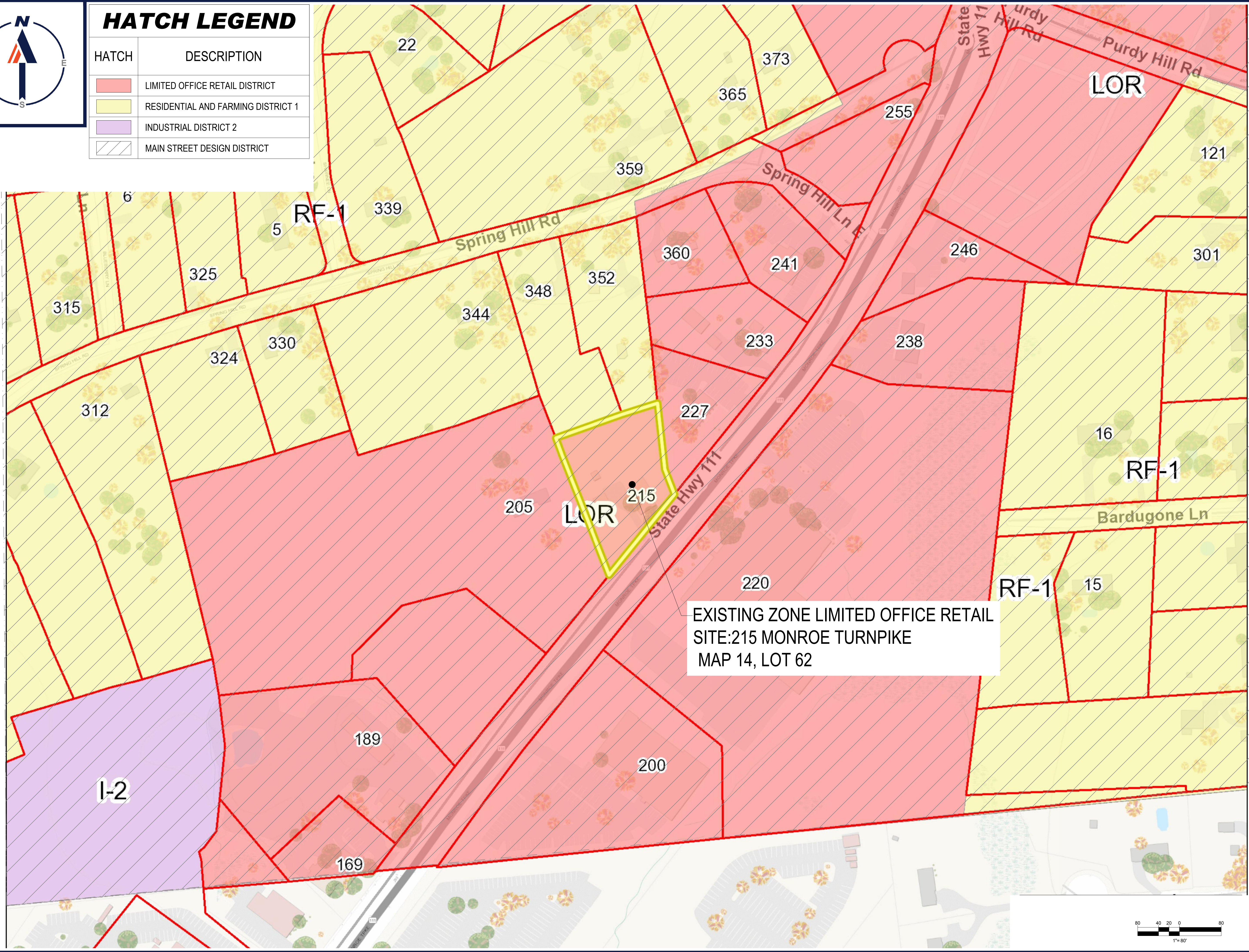


Chas Evans, P.E.



HATCH LEGEND

HATCH	DESCRIPTION
	LIMITED OFFICE RETAIL DISTRICT
	RESIDENTIAL AND FARMING DISTRICT 1
	INDUSTRIAL DISTRICT 2
	MAIN STREET DESIGN DISTRICT



BOHLER
 SITE CIVIL AND CONSULTING ENGINEERING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

REVISIONS

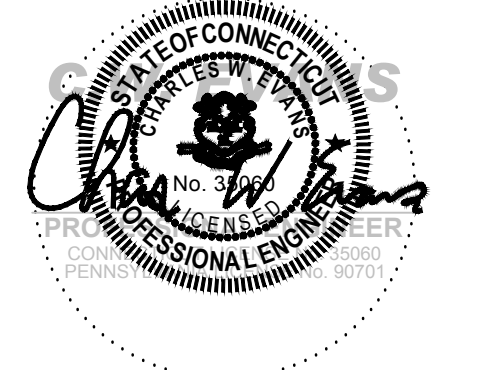
REV	DATE	COMMENT	DRAWN BY	CHECKED BY

811
 Know what's below.
 Call before you dig.
 ALWAYS CALL 811
 It's fast. It's free. It's the law.

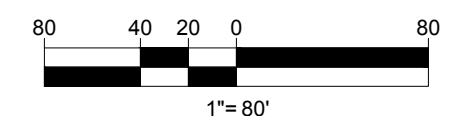
PERMIT SET
 THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.
 PROJECT No.: CTA230039.00
 DRAWN BY: CAM
 CHECKED BY: CWK
 DATE: 08/07/2023
 CAD ID: CTA230039.00-PRCL-0A

PROPOSED SITE PLAN DOCUMENTS
 FOR
O'Reilly AUTO PARTS
 PROPOSED DEVELOPMENT
 MAP: 14 LOT: 62
 215 MONROE TURNPIKE,
 TOWN OF MONROE,
 FAIRFIELD COUNTY,
 CONNECTICUT

BOHLER
 65 LaSALLE ROAD, SUITE 401
 WEST HARTFORD, CT 06107
 Phone: (860) 333-8900
www.BohlerEngineering.com



SHEET TITLE:
EXISTING DISTRICT BOUNDARY MAP
 SHEET NUMBER:
EX-01
 ORG. DATE - 08/07/2023

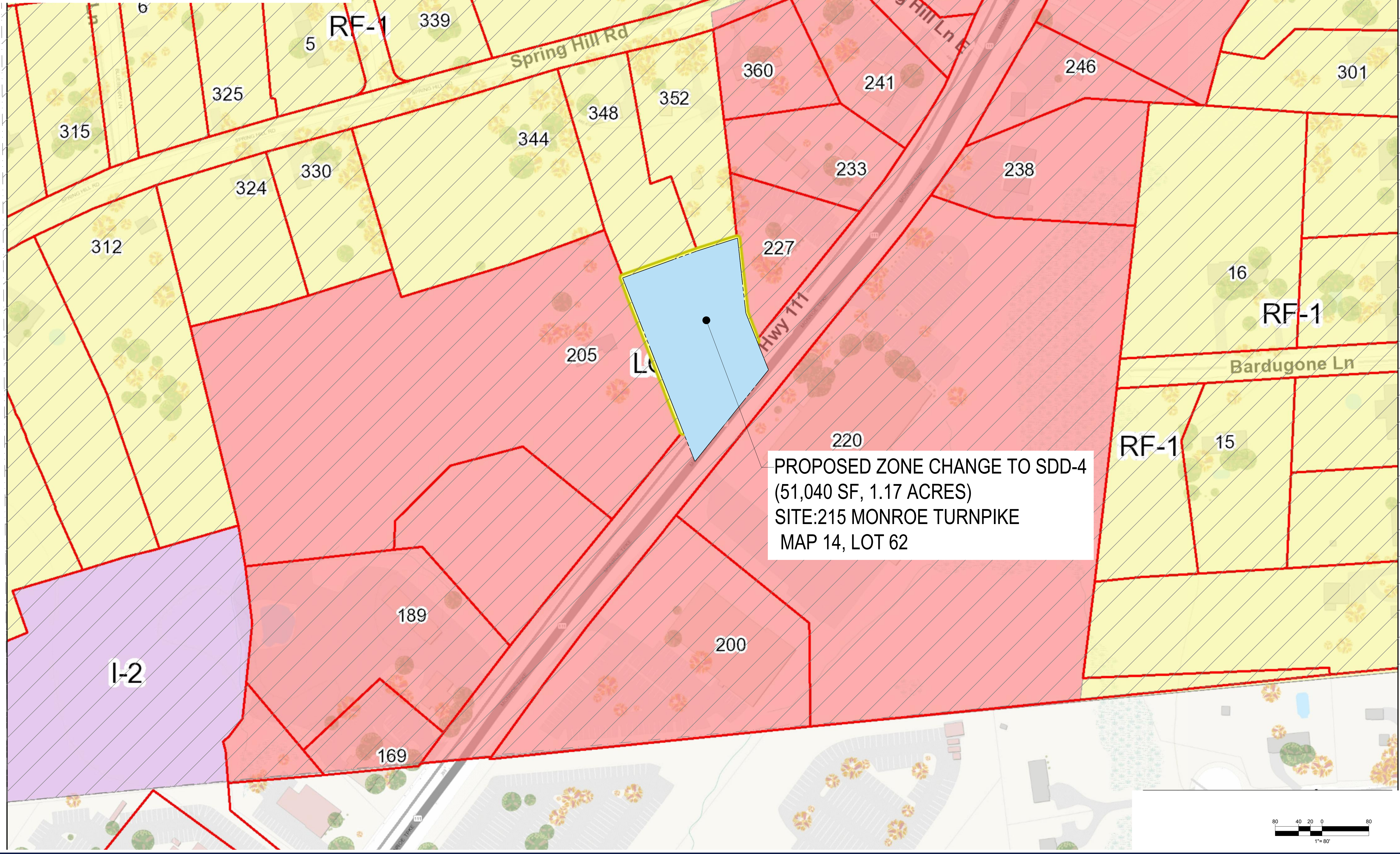


P:\2023\CTA230039.00\CADD\DRAWINGS\EXHIBITS\PARCEL_EXHIBITS\CTA230039.00-PRCL-0A-1-LAYOUT_EX-01_EXISTING.dwg



HATCH LEGEND

HATCH	DESCRIPTION
	LIMITED OFFICE RETAIL DISTRICT
	RESIDENTIAL AND FARMING DISTRICT 1
	INDUSTRIAL DISTRICT 2
	SDD-4
	MAIN STREET DESIGN DISTRICT



PROPOSED ZONE CHANGE TO SDD-4
 (51,040 SF, 1.17 ACRES)
 SITE: 215 MONROE TURNPIKE
 MAP 14, LOT 62

BOHLER
 SITE CIVIL AND CONSULTING ENGINEERING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

811
 Know what's below.
 Call before you dig.
 ALWAYS CALL 811
 It's fast. It's free. It's the law.

PERMIT SET
 THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.
 PROJECT No.: CTA230039.00
 DRAWN BY: CAM
 CHECKED BY: CWK
 DATE: 08/07/2023
 CAD ID: CTA230039.00-PRCL-0A

PROPOSED SITE PLAN DOCUMENTS
 FOR
O'Reilly AUTO PARTS
 PROPOSED DEVELOPMENT
 MAP: 14 LOT: 62
 215 MONROE TURNPIKE,
 TOWN OF MONROE,
 FAIRFIELD COUNTY,
 CONNECTICUT

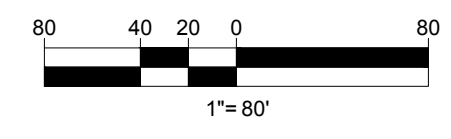
BOHLER
 65 LaSALLE ROAD, SUITE 401
 WEST HARTFORD, CT 06107
 Phone: (860) 333-8900
www.BohlerEngineering.com



SHEET TITLE:
PROPOSED DISTRICT BOUNDARY MAP

SHEET NUMBER:
EX-02

ORG. DATE - 08/07/2023



P:\2023\CTA230039.00\CADD\DRAWINGS\EXHIBITS\PARCEL_EXHIBITS\CTA230039.00-PRCL-0A-1-LAYOUT_EX-02_PROPOSED

SITE DEVELOPMENT PLANS

FOR:
PROPOSED



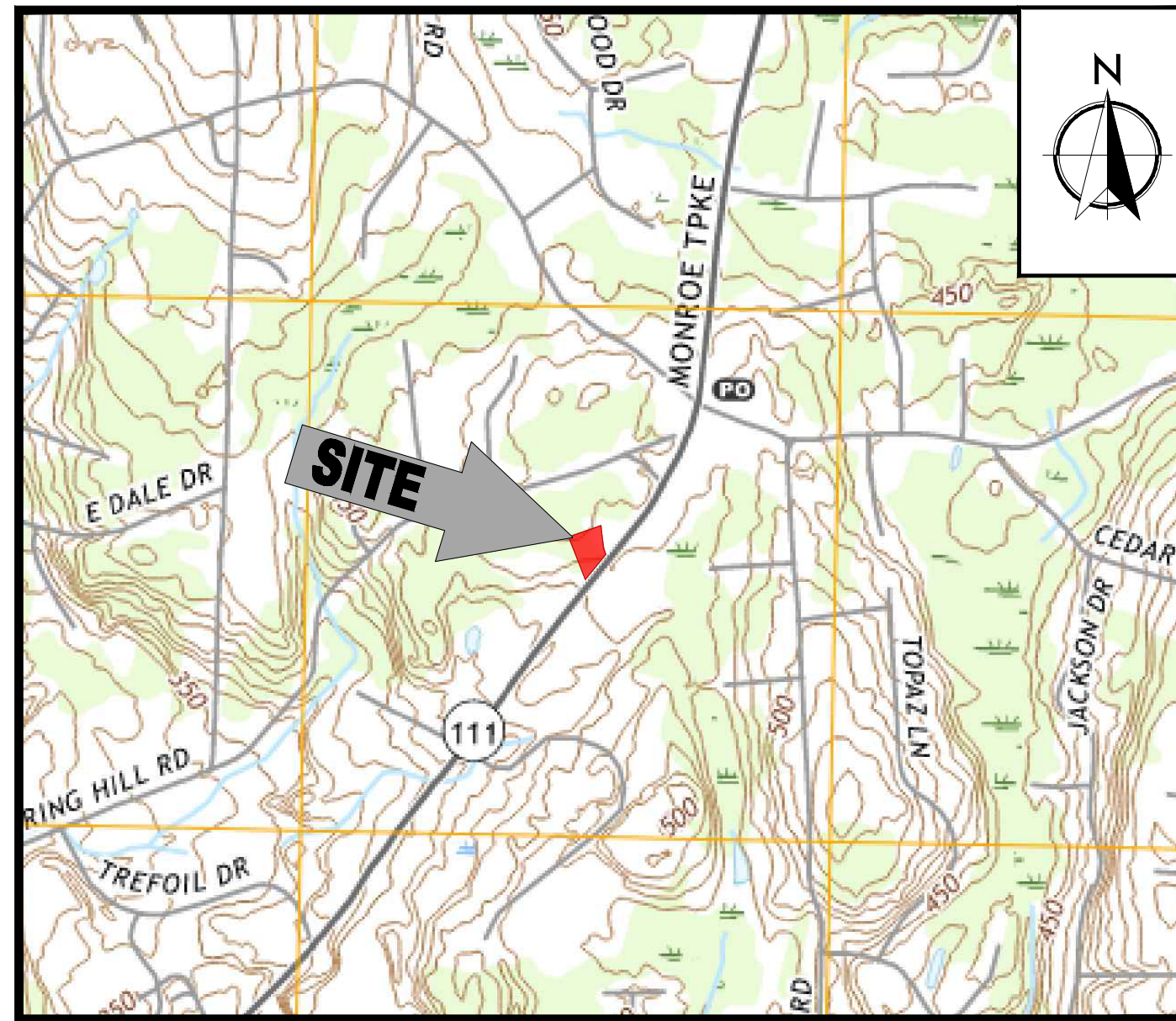
LOCATION OF SITE:
215 MONROE TURNPIKE, TOWN OF MONROE
FAIRFIELD COUNTY, CONNECTICUT
MAP #14, LOT #62

REFERENCES

ALTANSPS LAND TITLE SURVEY:
CONTROL POINT ASSOCIATES, INC.
1600 MANOR DRIVE, SUITE 200
CHALFONT, PA 18914
DATE: 05/08/2023

GEO TECHNICAL INVESTIGATION REPORT:
ATLAS TECHNICAL CONSULTANTS LLC
7606 WHITEHALL EXECUTIVE CENTER DRIVE
SUITE 800
CHARLOTTE, NC 28273
DATE: 06/12/2023

*THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS. HOWEVER, BOHLER ENGINEERING DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.



LOCATION MAP
SCALE: 1"=1000'
PLAN REFERENCE: LONG HILL QUADRANGLE

SHEET TITLE	SHEET NUMBER
COVER SHEET	CT1.0 OF 2
GENERAL NOTES SHEET	CT2.0 OF 2
SITE DEMOLITION PLAN	D1.1 OF 1
SITE GRADING PLAN	C1.1 OF 9
SITE DEVELOPMENT PLAN	C2.1 OF 9
SITE DEVELOPMENT DETAILS	C2.2 OF 9
SITE DEVELOPMENT DETAILS	C2.3 OF 9
EROSION CONTROL PLAN	C3.1 OF 9
EROSION CONTROL DETAILS	C3.2 OF 9
SITE UTILITY PLAN	C4.1 OF 9
SITE UTILITY DETAILS	C4.2 OF 9
SITE UTILITY DETAILS	C4.3 OF 9
LANDSCAPE PLAN	L1.1 OF 3
LANDSCAPE DETAILS	L1.2 OF 3
IRRIGATION COVERAGE PLAN	L1.3 OF 3
ALTA / NSPS LAND TITLE SURVEY (BY OTHERS)	SV1

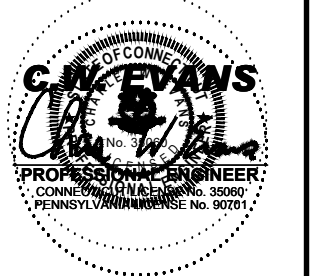
SHEET INDEX

PREPARED BY



BOHLER

PROJECT No.: CTA230039.00 SCALE: AS NOTED
DRAWN BY / CHECKED BY: CM/CE CAD I.D.: CTA230039.00-SPPD-0a



Buddy Webb, NCARB, AIA
Architect - Consultant
3057 EAST CAIRO
SPRINGFIELD, MISSOURI 65802
(417) 877-1385 TELEPHONE
(417) 877-9736 FAX

PROJECT:
NEW O'REILLY AUTO PARTS STORE
215 MONROE TURNPIKE
MONROE, CONNECTICUT
COVER SHEET

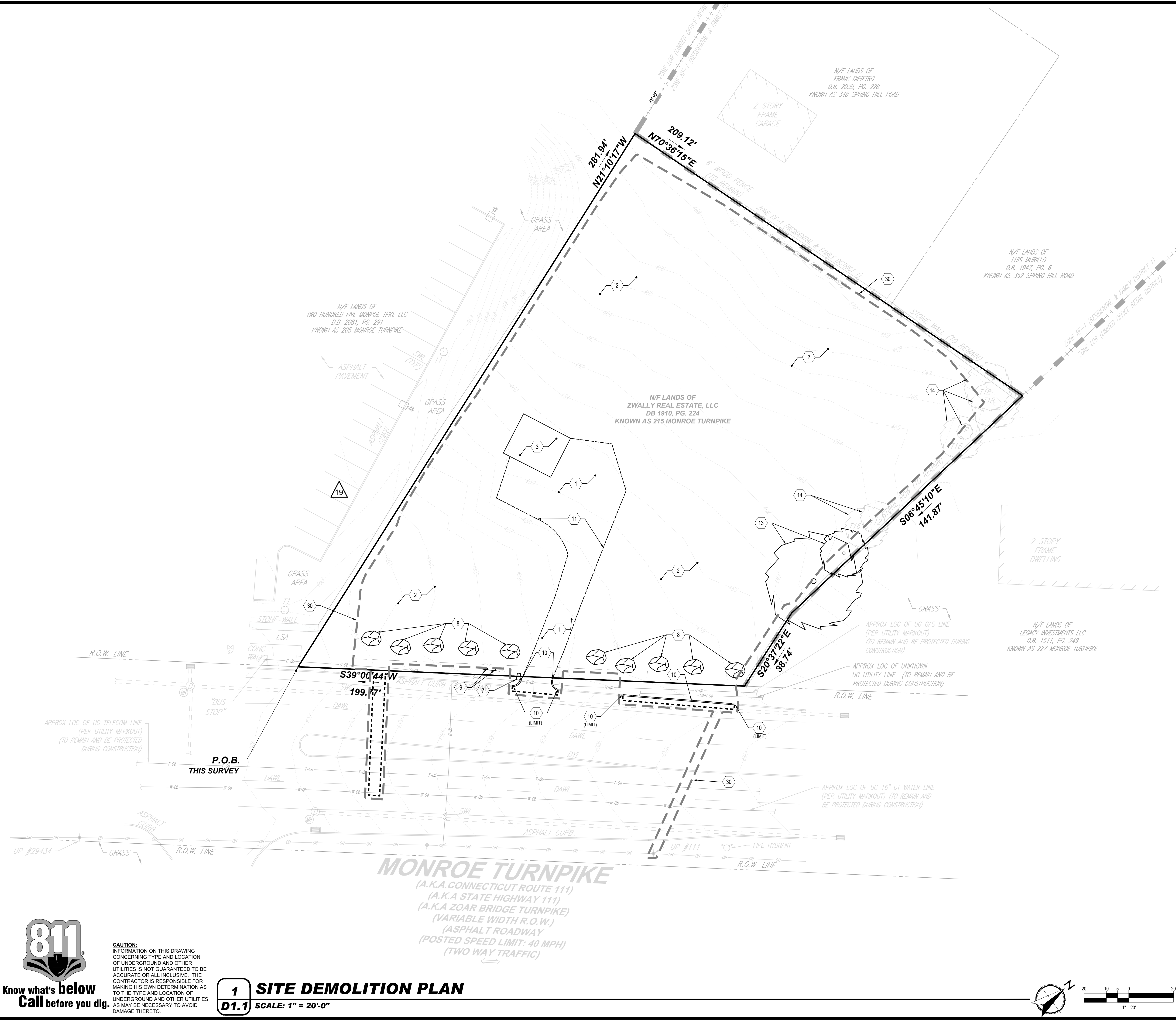
O'Reilly AUTO PARTS
CORPORATE OFFICES
233 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65802
(417) 862-2674 TELEPHONE

COMM # MR1
DATE: 10-13-2023
REVISION DATE:

SHEET #
CT1.0

P:\2023\CTA230039.00\CAD\Drawings\Plan Set\Civil Site Plan\CTA230039.00-SPPD-0a.dwg, 9/1/2023 10:42:00 AM, User:cmce, 11

P:\2023\CTA230039.00\CAD\Drawings\Plan Set\Civil Site Plan\CTA230039.00-SPDP.dwg, 03/01/24, 1:28:00 PM, cmc, Xerox10-1-fac3, User:84, 11



GENERAL NOTES

- A. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- B. SITE CONDITIONS BASED UPON SURVEY PROVIDED BY OWNER. FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION. NOTIFY ARCHITECT IF EXISTING CONDITIONS DEVIATE SUBSTANTIALLY FROM THOSE INDICATED HEREIN.
- C. REMOVE ALL EXISTING SITE CONSTRUCTION AND DELETERIOUS MATERIALS UNLESS OTHERWISE NOTED.
- D. ALL DEMOLITION MATERIALS SHALL BECOME PROPERTY OF CONTRACTOR FOR PROPER DISPOSAL UNLESS OTHERWISE NOTED.
- E. ALL SURVEY MONUMENTS SHALL BE PROTECTED THROUGHOUT THE COMPLETION OF CONSTRUCTION. SHOULD ANY MONUMENTS BE DISTURBED, THE PROPERTY OWNER SHALL BE RESPONSIBLE TO PROPERLY REINSTALL THE MONUMENTATION BY A QUALIFIED PROFESSIONAL.
- F. ALL SURVEY MONUMENTATION MUST BE PROTECTED THROUGHOUT THE COMPLETION OF CONSTRUCTION. SHOULD ANY MONUMENTATION BE DISTURBED, THE PROPERTY OWNER SHALL BE RESPONSIBLE TO PROPERLY REINSTALL THE MONUMENTATION BY A QUALIFIED PROFESSIONAL.

KEY NOTES

- 1 EXIST. ASPHALT PAVEMENT (TO BE REMOVED)
- 2 EXIST. OVERGROWN AREA (TO BE REMOVED)
- 3 EXIST. CONCRETE PAD (TO BE REMOVED)
- 4 EXIST. BUILDING (TO BE REMOVED)
- 5 EXIST. SIDEWALK (TO BE REMOVED)
- 6 EXIST. LANDSCAPED AREA (TO BE REMOVED)
- 7 EXIST. MAILBOX (TO BE REMOVED)
- 8 EXIST. BOULDER (TO BE REMOVED)
- 9 EXIST. SIGN (TO BE REMOVED)
- 10 EXIST. CONCRETE CURB (TO BE REMOVED)
- 11 LIMIT OF EXIST. ASPHALT PAVEMENT (TO BE REMOVED)
- 12 EXIST. WALL (TO BE REMOVED)
- 13 EXIST. TREE (TO BE REMOVED)
- 14 EXIST. TREE (TO REMAIN AND BE PROTECTED)
- 15 NOT USED
- 16 EXIST. ELEC. (TO BE REMOVED PER UTILITY COMPANY REQUIREMENTS)
- 17 NOT USED
- 18 NOT USED
- 19 EXIST. WATER LATERAL ABANDONMENT, REFERENCE DETAIL 8/C4.2
- 20 NOT USED
- 21 EXIST. SEWER (TO BE REMOVED)
- 22 EXIST. SEWER LATERAL ABANDONMENT, REFERENCE DETAIL 9/C4.3
- 23 EXIST. WATER (TO BE REMOVED)
- 24 NOT USED
- 25 NOT USED
- 26 NOT USED
- 27 EXIST. UTILITY POLE, GUY WIRE AND OHW (TO REMAIN AND BE PROTECTED)
- 28 NOT USED
- 29 NOT USED
- 30 APPROX. LIMIT OF WORK
- 31 NOT USED

ENVIRONMENTAL GENERAL NOTES

- A. AN ENVIRONMENTAL ANALYSIS HAS BEEN PERFORMED ON THE EXISTING SITE. REFER TO PROJECT MANUAL.
- B. IF THIS PROJECT CONTAINS HAZARDOUS MATERIALS, CONTRACTOR TO PROVIDE WORK REQUIRED FOR PROPER REMOVAL, HANDLING, AND DISPOSAL PER ENVIRONMENTAL ANALYSIS RECOMMENDATIONS.

SYMBOLS LEGEND

NOTE: REFER TO SURVEY FOR EXISTING CONDITIONS SYMBOLS LEGEND.

— EXISTING CONDITIONS TO REMAIN.

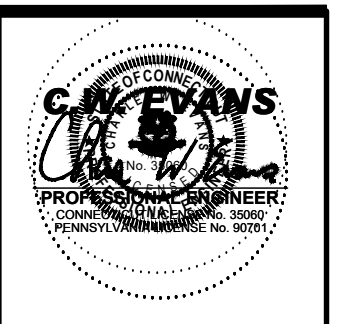
- - - EXISTING CONDITIONS TO BE REMOVED.

PLAN REFERENCES

- REFER TO GENERAL NOTES SHEET FOR DEMOLITION NOTES
- THIS PLAN TO BE UTILIZED FOR DEMOLITION/REMOVAL PURPOSES ONLY

BOHLER

PROJECT No.: CTA230039.00 SCALE: AS NOTED
 DRAWN BY / CHECKED BY: CM/CE CAD I.D.: CTA230039.00-SPDP-04



Buddy Webb, NCARB, AIA
Architect - Consultant
 3057 EAST CAIRO
 SPRINGFIELD, MISSOURI 65802
 (417) 877-1385 TELEPHONE
 (417) 877-9736 FAX

PROJECT:
NEW O'REILLY AUTO PARTS STORE
215 MONROE TURNPIKE
MONROE, CONNECTICUT
SITE DEMOLITION PLAN

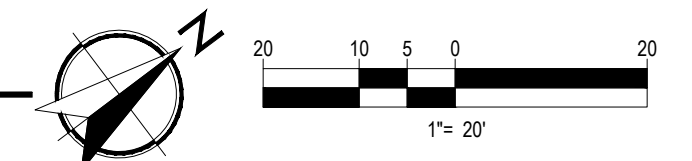
O'Reilly AUTO PARTS
 CORPORATE OFFICES
 233 SOUTH PATTERSON
 SPRINGFIELD, MISSOURI 65802
 (417) 862-2674 TELEPHONE

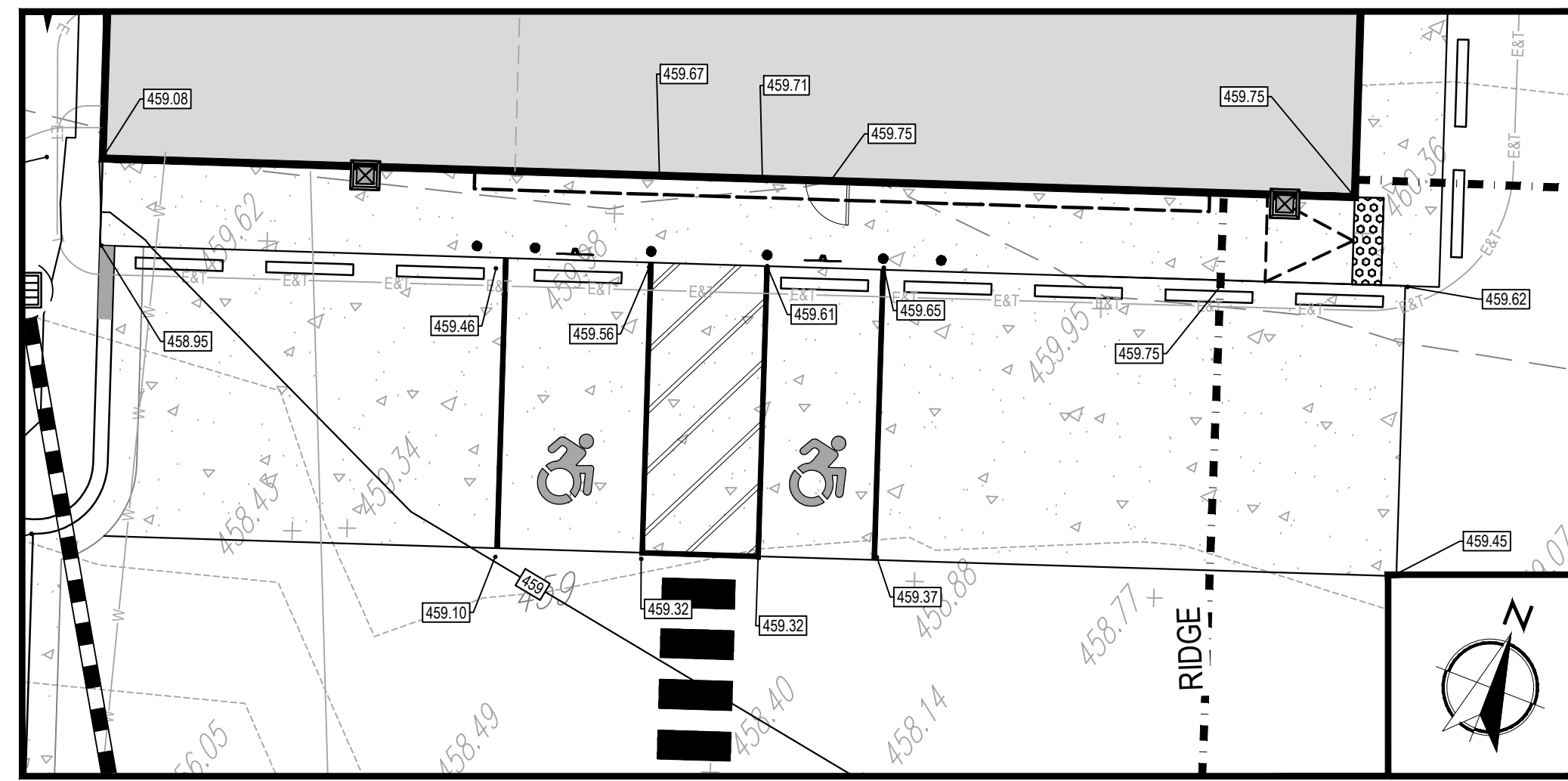
COMM # MR1
 DATE: 10-13-2023
 REVISION DATE:
 SHEET #
D1.1



CAUTION:
 INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.

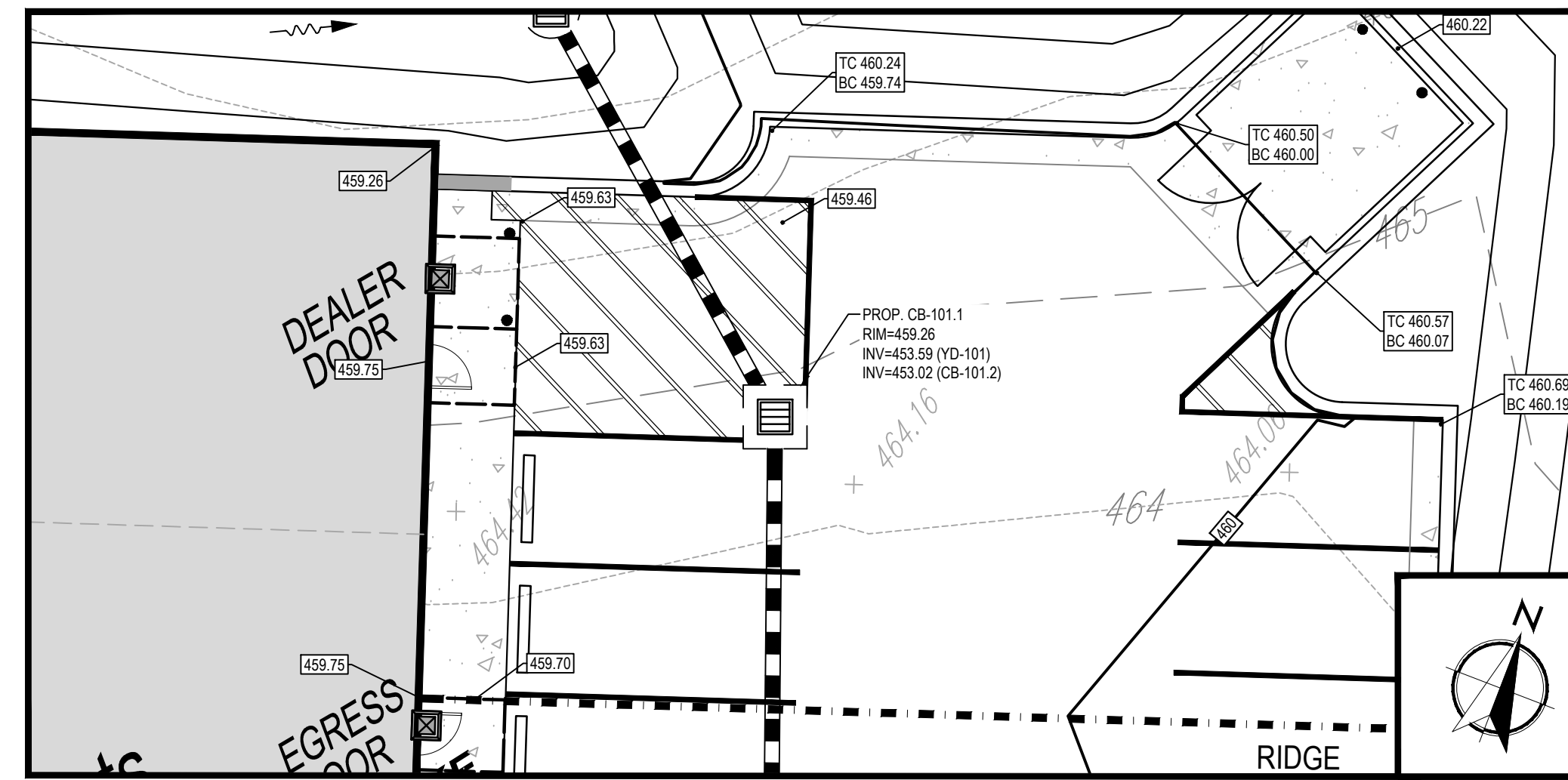
1 SITE DEMOLITION PLAN
D1.1 SCALE: 1" = 20'-0"





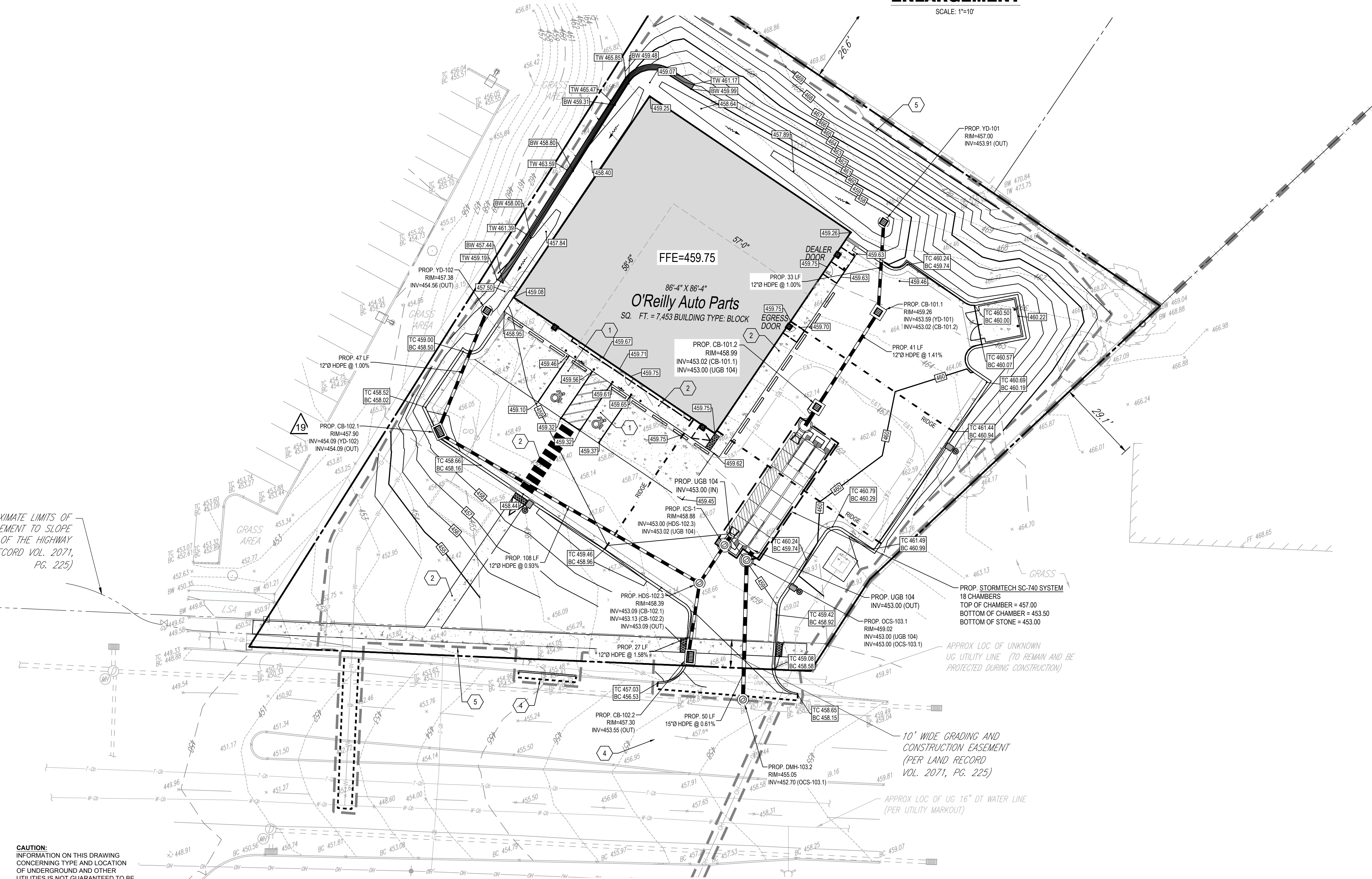
ADA AREA ENLARGEMENT

SCALE: 1"=10'



DEALER DOOR AREA ENLARGEMENT

SCALE: 1"=10'



APPROXIMATE LIMITS OF PERPETUAL EASEMENT TO SLOPE FOR SUPPORT OF THE HIGHWAY (PER LAND RECORD VOL. 2071, PG. 225)

CAUTION: INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.

1 SITE GRADING PLAN
SCALE: 1" = 20'-0"

GENERAL NOTES

- A. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- B. SITE CONDITIONS BASED UPON SURVEY PROVIDED BY OWNER. FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION. NOTIFY ARCHITECT IF EXISTING CONDITIONS DEVIATE SUBSTANTIALLY FROM THOSE INDICATED HEREIN.
- C. ACCESSIBLE PARKING AREAS TO SLOPE 2% MAXIMUM IN ALL DIRECTIONS. DESIGNATED ACCESSIBLE ROUTE TO SLOPE 5% MAXIMUM IN DIRECTION OF TRAVEL WITH 2% MAXIMUM CROSS SLOPE.

KEY NOTES

- 1 ACCESSIBLE PARKING AREA - SEE GENERAL NOTE C
- 2 ACCESSIBLE ROUTE - SEE GENERAL NOTE C
- 3 ROOF DRAIN, REFER TO ARCH. PLANS.
- 4 APPROX. SAWCUT LINE
- 5 APPROX. LIMIT OF WORK

SITE EXCAVATION REQUIREMENTS

- A. A GEOTECHNICAL ANALYSIS HAS BEEN PERFORMED ON THIS SITE. REFER TO PROJECT MANUAL.
- B. FOLLOW GEOTECHNICAL ANALYSIS RECOMMENDATIONS FOR SITE EXCAVATION REQUIREMENTS.
- C. REFER TO STRUCTURAL DRAWINGS FOR BUILDING EXCAVATION REQUIREMENTS.

SYMBOLS LEGEND

- NOTE: REFER TO SURVEY FOR EXISTING CONDITIONS SYMBOLS LEGEND.
- 100 --- EXISTING CONTOUR LINE
 - 100 --- NEW CONTOUR LINE
 - 100.00 --- NEW SPOT ELEVATION
- NOTE: REFER TO TYPICAL ABBREVIATIONS ON GENERAL NOTES SHEET FOR TYPICAL ABBREVIATIONS
- ⊕ TEMPORARY BENCH MARK SYMBOL LOCATION
 - TBM-A ELEVATION: 72.53 FEET (NAVD 1988), (REFER SHEET SV1).
 - TBM-B ELEVATION: 71.79 FEET (NAVD 1988), (REFER SHEET SV1).

SPECIAL NOTE

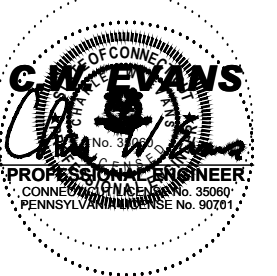
PRIOR TO CONTRACT CLOSEOUT, CONTRACTOR SHALL SECURE THE SERVICES OF A REGISTERED LAND SURVEYOR TO PROVIDE SITE SURVEY OF COMPLETED PROJECT CONDITIONS AND SUBMIT FOR REVIEW AND APPROVAL BY OWNER. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.

PLAN REFERENCES

- REFER TO GENERAL NOTES SHEET FOR GRADING & UTILITY NOTES
- THIS PLAN TO BE UTILIZED FOR SITE GRADING PURPOSES ONLY

BOHLER

PROJECT No.: CTA230039.00 SCALE: AS NOTED
DRAWN BY / CHECKED BY: CM/CE CAD I.D.: CTA230039.00-SPDD-0a



Buddy Webb, NCARB, AIA
Architect - Consultant
3057 EAST CAIRO
SPRINGFIELD, MISSOURI 65802
(417) 877-1385 TELEPHONE
(417) 877-9736 FAX

PROJECT:
NEW O'REILLY AUTO PARTS STORE
215 MONROE TURNPIKE
MONROE, CONNECTICUT
SITE GRADING PLAN

O'Reilly AUTO PARTS
CORPORATE OFFICES
233 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65802
(417) 862-2074 TELEPHONE

COMM # MR1
DATE: 10-13-2023
REVISION DATE:

SHEET #
C1.1



P:\2023\CTA230039_00\CAD\Drawings\Plan_Site\Grading\Site Plan\CTA230039.00-GDL.ctb, dwg, SA-C1.1, Grid, 10/20/2024, 4:26:00 PM, cmceak, xmp06191_f03_10/23/24, 1.1



Buddy Webb, NCARB, AIA
Architect - Consultant
 3057 EAST CAIRO
 SPRINGFIELD, MISSOURI 65802
 (417) 877-1385 TELEPHONE
 (417) 877-9736 FAX

PROJECT:
NEW O'REILLY AUTO PARTS STORE
215 MONROE TURNPIKE
MONROE, CONNECTICUT
SITE DEVELOPMENT PLAN

O'Reilly AUTO PARTS
 CORPORATE OFFICES
 233 SOUTH PATTERSON
 SPRINGFIELD, MISSOURI 65802
 (417) 862-2674 TELEPHONE

COMM # MR1

DATE: 10-13-2023

REVISION DATE:

DATE:

DATE:

DATE:

DATE:

DATE:

DATE:

DATE:

DATE:

DATE:

DATE:

DATE:

DATE:

DATE:

DATE:

DATE:

DATE:

DATE:

GENERAL NOTES

- A. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- B. ALL SITE DIMENSIONS TO THE GUTTER LINE OF CURB, CONCRETE OR PROPERTY LINE UNLESS OTHERWISE NOTED. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND STARTING CONSTRUCTION.
- C. COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- D. REFER TO STRUCTURAL PLANS FOR DEVELOPMENT OF SIDEWALKS ADJACENT TO FOUNDATIONS.
- E. ALL WORK WITHIN THE STATE'S ROW WILL CONFORM TO CTDOT'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- F. ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES 2009, INCLUDING ALL REVISIONS.

KEY NOTES

- 1A CONCRETE (STANDARD DUTY) PAVEMENT, REFER TO DETAIL 1A/C2.2 (1)
- 1B CONCRETE (HEAVY DUTY) PAVEMENT, REFER TO DETAIL 1B/C2.2 (1)
- 2A ASPHALT (STANDARD DUTY) PAVEMENT, REFER TO DETAIL 2A/C2.2 (1)
- 2B ASPHALT (HEAVY DUTY) PAVEMENT, REFER TO DETAIL 2B/C2.2 (1)
- 3 CONCRETE CURB, REFER TO DETAIL 3/C2.2
- 4 DRAINAGE STRUCTURE, REFER TO SITE GRADING PLAN
- 5 CONCRETE SIDEWALK OR DOOR LANDING, REFER TO DETAIL 4/C2.2 (3)
- 6 CONCRETE APRON, REFER TO DETAIL 5/C2.2
- 7 STRIPING ARROW, REFER TO DETAIL 6/C2.2
- 8 ACCESSIBLE PARKING STRIPING, REFER TO DETAIL 8/C2.2
- 9 PARKING STALL STRIPING, REFER TO DETAIL 7/C2.2
- 10 ROLL DOWN CURB END TRANSITION, REFER TO DETAIL 9/C2.2
- 11 DETECTABLE WARNING SURFACE, REFER TO DETAIL 19/C2.2
- 12 ACCESSIBLE PARKING PAVEMENT SYMBOL STRIPING, REFER TO DETAIL 11/C2.2
- 13 STEEL BOLLARD, REFER TO DETAIL 12/C2.2 (4)
- 14 ACCESSIBLE PARKING SIGN IN BOLLARD, REFER TO DETAIL 18/C2.2
- 15 STOP SIGN, REFER TO DETAIL 13/C2.2
- 16 STOP BAR, REFER TO DETAIL 14/C2.2
- 17 INFILTRATION BASIN, REFER TO DETAIL 10/C4.2
- 18 ACCESSIBLE PARKING & SIDEWALK AREA
- 19 CONCRETE WHEEL STOP, REFER TO DETAIL 15/C2.2
- 20 PROPOSED RIP-RAP APRON (3'-4" STONE SIZE)
- 21 CONCRETE DRIVE APRON TO BE INSTALLED PER CITY DESIGN STANDARDS. IF NO STANDARDS, PROVIDE CONCRETE CONSTRUCTION PER DETAIL 1B/C2.2
- 22 INFILTRATION TRENCH, REFER TO DETAIL 16/C2.2
- 23 NOT USED
- 24 SNOW STORAGE AREA
- 25 5' ADA CROSSWALK, REFER TO DETAIL 10/C2.2
- 26 REFUSE ENCLOSURE, REFER TO 1/C2.3
- 27 REFUSE ENCLOSURE SCREEN FENCE, REFER TO DETAIL 2/C2.3
- 28 ACCESSIBLE AISLE TRANSITION, REFER TO DETAIL 20/C2.2
- 29 PARKING LOT LIGHTING, REFER TO SITE PHOTOMETRIC PLAN SP1
- 30 STRIPING, PROVIDE 4" WIDE PARKING LOT STRIPING AS SHOWN. (6)
- 31 SIGN LOCATION, REFER TO SITE SIGNAGE PLAN SG1.1 (7)
- 32 SANITARY SEWER CLEANOUT, REFER TO SITE UTILITY PLAN
- 33 RETAINING WALL, DESIGN BY OTHERS.
- 34 APPROX. LIMIT OF WORK
- 35 APPROX. SAWCUT
- 36 LANDSCAPED AREA
- 37 NOT USED
- 38 NOT USED

- FOOTNOTES:**
- (1) REFER TO PROJECT MANUAL
 - (2) NOT USED
 - (3) REFER TO STRUCTURAL DRAWINGS BY OTHERS. LANDING MAY BE POURED MONOLITHIC WITH PAVING IF CONCRETE PAVING IS PROVIDED.
 - (4) PROVIDE (2) AT REFUSE CONTAINER AREA, (2) AT SECTIONAL OVERHEAD FREIGHT DOOR, AND (9) AT FRONT ENTRY. REFER TO STRUCTURAL DRAWINGS FOR LAYOUT OF BOLLARDS ADJACENT TO BUILDING PERIMETER.
 - (5) NOT USED
 - (6) USE HIGHWAY MARKING PAINT - YELLOW (2 COATS)
 - (7) SIGN OWNER FURNISHED AND INSTALLED (REFER TO SCOPE OF WORK SCHEDULE).

SPECIAL NOTE

PRIOR TO CONTRACT CLOSEOUT, CONTRACTOR SHALL SECURE THE SERVICES OF A REGISTERED LAND SURVEYOR TO PROVIDE SITE SURVEY OF COMPLETED PROJECT CONDITIONS AND SUBMIT FOR REVIEW AND APPROVAL BY OWNER. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.

PLAN REFERENCES

- REFER TO GENERAL NOTES SHEET FOR GENERAL NOTES
- THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY

BOHLER

PROJECT No.: CTA230039.00 SCALE: AS NOTED
 DRAWN BY / CHECKED BY: CM/CE CAD I.D.: CTA230039.00-SPPD-0a

SHEET #

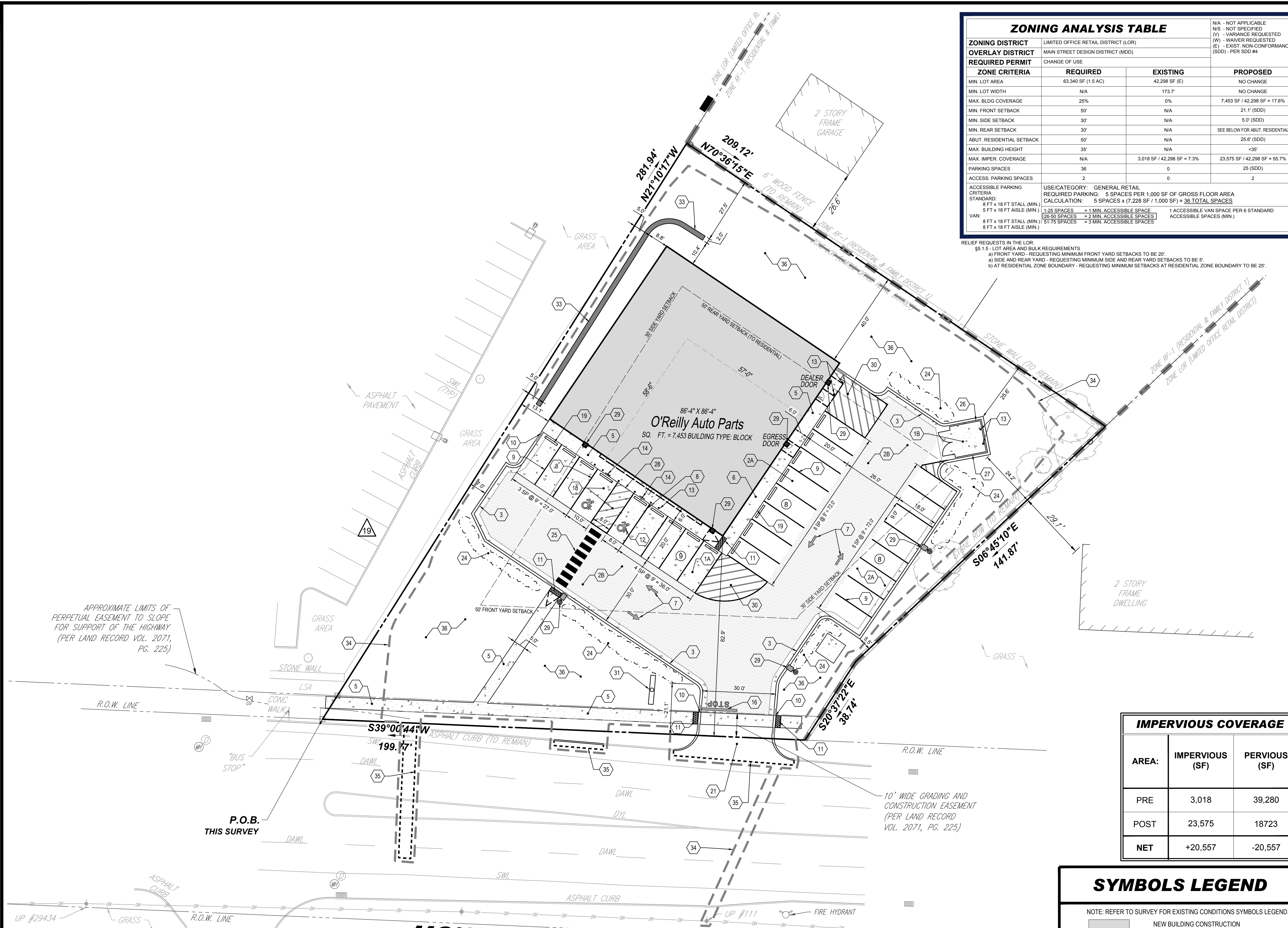
C2.1

ZONING ANALYSIS TABLE			
ZONING DISTRICT	LIMITED OFFICE RETAIL DISTRICT (LOR)		
OVERLAY DISTRICT	MAIN STREET DESIGN DISTRICT (MDD)		
REQUIRED PERMIT	CHANGE OF USE		
ZONE CRITERIA	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	63,340 SF (1.5 AC)	42,298 SF (E)	NO CHANGE
MIN. LOT WIDTH	N/A	173.7'	NO CHANGE
MAX. BLDG COVERAGE	25%	0%	7,453 SF / 42,298 SF = 17.6%
MIN. FRONT SETBACK	50'	N/A	21.1' (SDO)
MIN. SIDE SETBACK	30'	N/A	5.0' (SDO)
MIN. REAR SETBACK	30'	N/A	SEE BELOW FOR ABUT. RESIDENTIAL
ABUT. RESIDENTIAL SETBACK	50'	N/A	25.6' (SDO)
MAX. BUILDING HEIGHT	35'	N/A	<35'
MAX. IMPER. COVERAGE	N/A	3,018 SF / 42,298 SF = 7.3%	23,575 SF / 42,298 SF = 55.7%
PARKING SPACES	36	0	25 (SDO)
ACCESS. PARKING SPACES	2	0	2

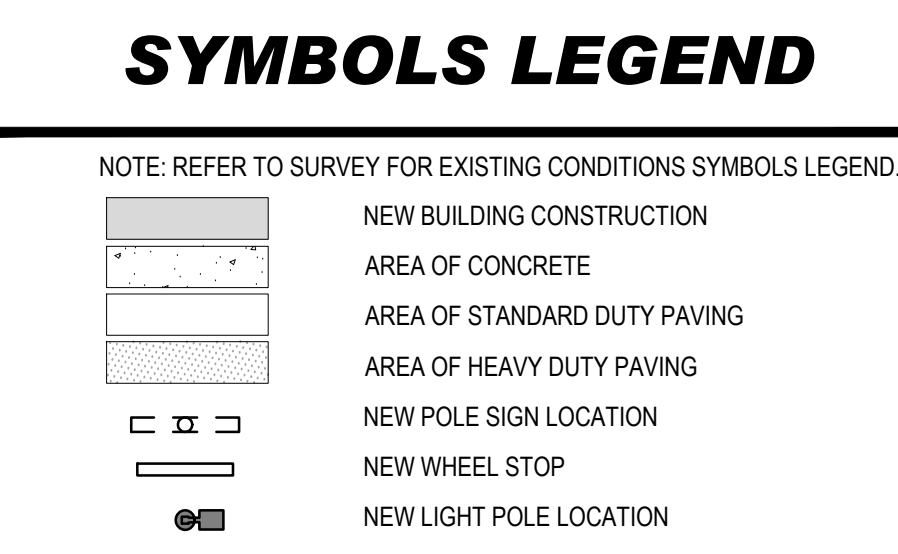
USE/CATEGORY: GENERAL RETAIL
 REQUIRED PARKING: 5 SPACES PER 1,000 SF OF GROSS FLOOR AREA
 CALCULATION: 5 SPACES x (7,228 SF / 1,000 SF) = 36 TOTAL SPACES

STANDARD: 5 FT x 18 FT STALL (MIN.) = 1.26 SPACES = 1 MIN. ACCESSIBLE SPACE
 8 FT x 18 FT AISLE (MIN.) [28-50 SPACES = 2 MIN. ACCESSIBLE SPACES]
 VAN: 8 FT x 18 FT STALL (MIN.) [51-75 SPACES = 3 MIN. ACCESSIBLE SPACES]
 8 FT x 18 FT AISLE (MIN.) 1 ACCESSIBLE VAN SPACE PER 6 STANDARD ACCESSIBLE SPACES (MIN.)

RELIEF REQUESTS IN THE LOR:
 §5.1.5 - LOT AREA AND BULK REQUIREMENTS
 a) FRONT YARD - REQUESTING MINIMUM FRONT YARD SETBACKS TO BE 20'.
 b) SIDE AND REAR YARD - REQUESTING MINIMUM SIDE AND REAR YARD SETBACKS TO BE 5'.
 c) AT RESIDENTIAL ZONE BOUNDARY - REQUESTING MINIMUM SETBACKS AT RESIDENTIAL ZONE BOUNDARY TO BE 25'.



IMPERVIOUS COVERAGE		
AREA:	IMPERVIOUS (SF)	PERVIOUS (SF)
PRE	3,018	39,280
POST	23,575	18,723
NET	+20,557	-20,557

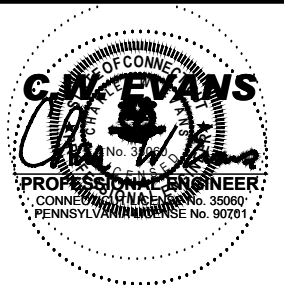


811
 Know what's below
 Call before you dig

CAUTION:
 INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.

1 SITE DEVELOPMENT PLAN
C2.2 SCALE: 1" = 20'-0"

P:\2023\CTA230039_00\CADD\Drawings\Plan_Site\Plan_Site_Plot.ctb, 10/13/2023, 4:28:00 PM, cmc/ce, Xerox5010-1.dwg, User:cm, 1:1



Buddy Webb, NCARB, AIA
Architect - Consultant
 3057 EAST CAIRO
 SPRINGFIELD, MISSOURI 65802
 (417) 877-1385 TELEPHONE
 (417) 877-9736 FAX

PROJECT:
NEW O'REILLY AUTO PARTS STORE
215 MONROE TURNPIKE
MONROE, CONNECTICUT
SITE DEVELOPMENT DETAILS

O'Reilly AUTO PARTS
 CORPORATE OFFICES
 233 SOUTH PATTERSON
 SPRINGFIELD, MISSOURI 65802
 (417) 862-2674 TELEPHONE

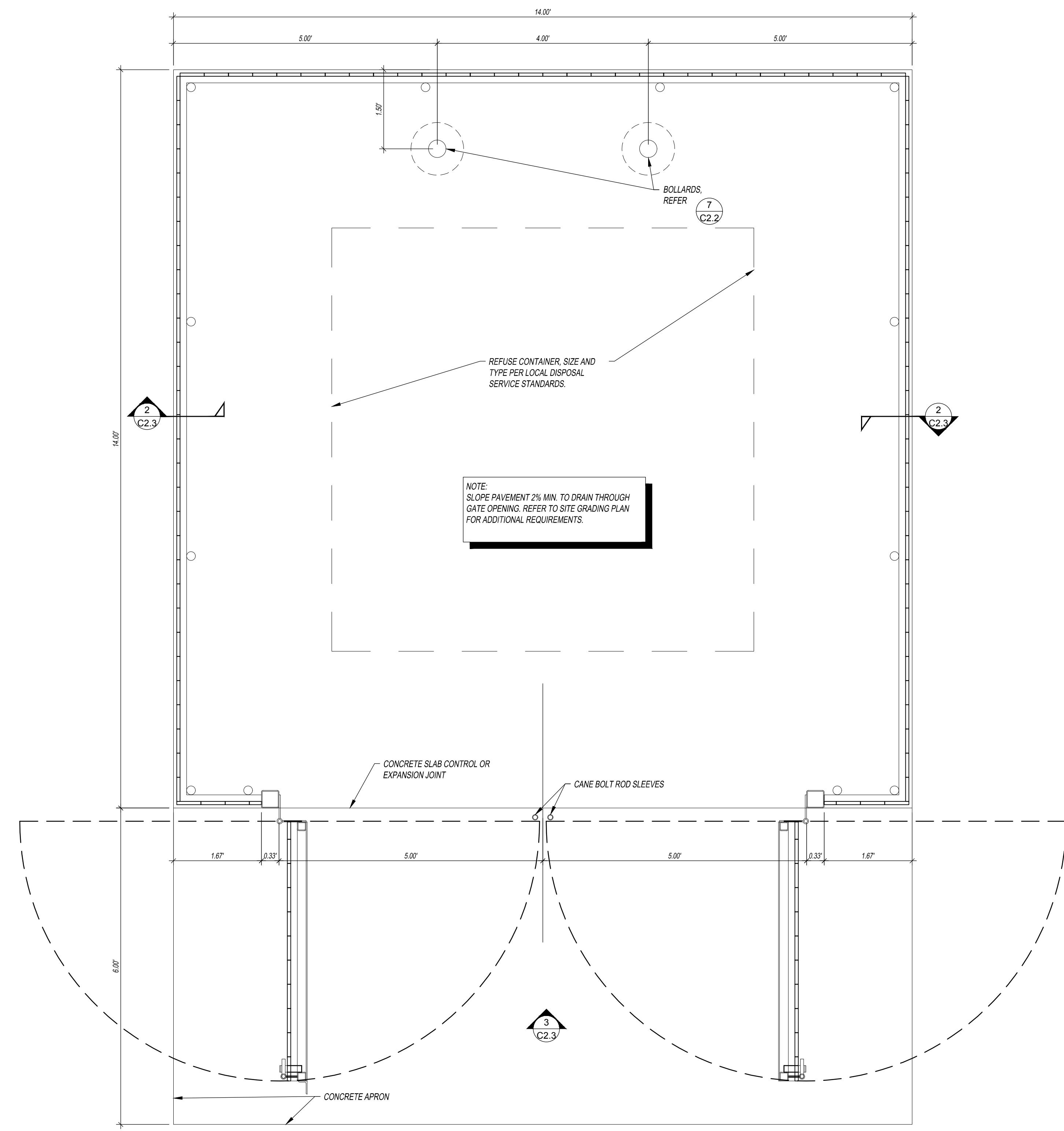
COMM # MR1
 DATE: 10-13-2023
 REVISION DATE:

SHEET #

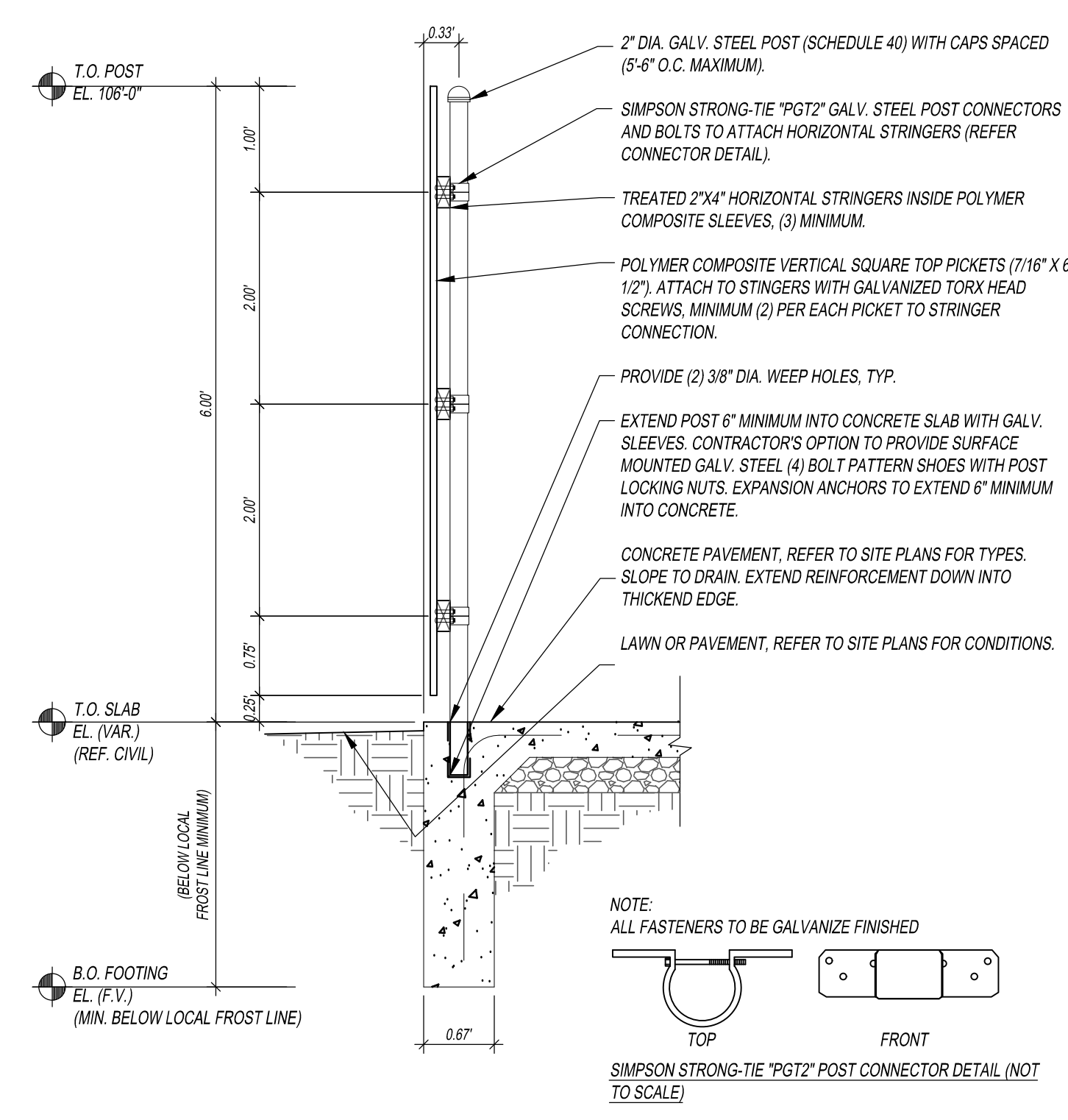
C2.3

GENERAL NOTES

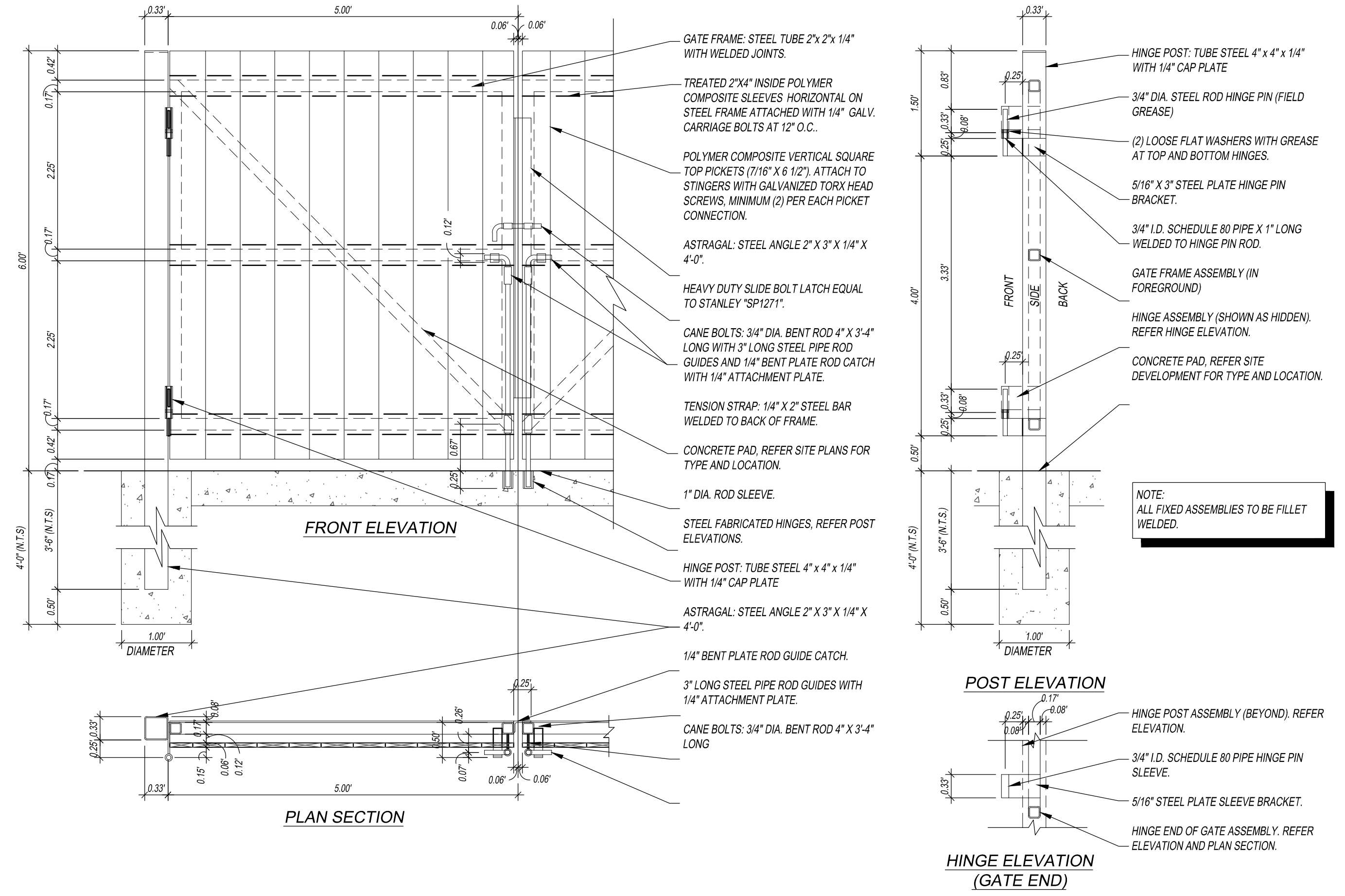
- (A) REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- (B) DIMENSIONS ARE TO ROUGH FACE OF CONCRETE, MASONRY, FRAMING, OR CENTER LINE OF STRUCTURE UNLESS OTHERWISE INDICATED.
- (C) REFER TO CIVIL AND STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- (D) REFER TO ARCHITECTURAL EXTERIOR FINISH SCHEDULE FOR MATERIAL TYPES, COLORS, AND FINISHES. UNLESS OTHERWISE INDICATED PROVIDE FINISHES AS FOLLOWS:
 1. ALL NON-GALVANIZED METAL PARTS TO BE PRIMED AND PAINTED (2) COATS SHERWIN WILLIAMS SHERAR "HART CLUB".
 2. POLYMER COMPOSITE MATERIAL COLOR TO BE EQUAL TO FIBERON "COASTAL CEDAR", "ATQBA" OR "CEDAR". FINAL COLOR TO BE SELECTED FROM MANUFACTURER'S STANDARD SAMPLES.



1 POLYMER COMPOSITE MATERIAL SCREEN FENCE REFUSE ENCLOSURE PLAN
 C2.3 SCALE: 3/4" = 1'-0"



2 SCREEN FENCE SECTION
 C2.3 SCALE: 3/4" = 1'-0"



3 SCREEN FENCE GATE DETAILS
 C2.3 SCALE: 3/4" = 1'-0"

BOHLER

PROJECT No.: CTA230039.00 SCALE: AS NOTED
 DRAWN BY / CHECKED BY: CM/CE CAD I.D.: CTA230039.00-SPPD-0a

P:\2023\CTA230039.00\CAD\Drawings\Plan Set\Civil Site Plan\CTA230039.00-SPPD-0a.dwg, 02-C2.3 Site Details, 10/09/2023, 4:28:00 PM, cmack, Xerox8510-1.pcl, User34, 1, 1



Buddy Webb, NCARB, AIA
Architect - Consultant
 3057 EAST CAIRO
 SPRINGFIELD, MISSOURI 65802
 (417) 877-1385 TELEPHONE
 (417) 877-9736 FAX

PROJECT:
NEW O'REILLY AUTO PARTS STORE
215 MONROE TURNPIKE
MONROE, CONNECTICUT
EROSION CONTROL PLAN

O'Reilly AUTO PARTS
 CORPORATE OFFICES
 233 SOUTH PATTERSON
 SPRINGFIELD, MISSOURI 65802
 (417) 862-2674 TELEPHONE

COMM # MR1
 DATE: 10-13-2023

REVISION DATE:

SHEET #

C3.1

EROSION CONTROL & MAINTENANCE PLAN NOTES

- RETAIN FLOATABLE WIND BLOWN MATERIALS ON SITE BY STORING ALL TRASH AND BUILDING MATERIALS IN ENCLOSURES UNTIL PROPER DISPOSAL AT OFF-SITE FACILITIES. CHECK ADJACENT AREAS DAILY AND PICK UP CONSTRUCTION WASTE MATERIALS AND DEBRIS THAT HAVE BLOWN OR WASHED OFF SITE.
- PERMANENTLY STABILIZE ALL SURFACE AREA WITHIN AND ADJACENT TO THIS SITE THAT IS DISTURBED BY VEHICLES, GRADING AND OTHER CONSTRUCTION FOR THE PROPOSED FACILITY. STABILIZATION IS OBTAINED WHEN THE DISTURBED SURFACE IS COVERED WITH STRUCTURES, PAVING AND OR PERENNIAL VEGETATION HAVING A UNIFORM COVERAGE DENSITY OF AT LEAST 70%. STABILIZATION OF ALL DISTURBED AREA IS REQUIRED BEFORE TERMINATING MAINTENANCE AND REMOVAL OF EROSION CONTROL MEASURES.
- CONTRACTORS SHALL INSPECT POLLUTION CONTROL MEASURES AT LEAST ONCE EVERY 14 DAYS AND WITHIN 24 HOURS AFTER A STORM EVENT OF 1/2 INCH OR GREATER. DAMAGED MEASURES THAT PROVE TO BE INEFFECTIVE SHALL BE REPLACED WITH MORE EFFECTIVE MEASURES OR ADDITIONAL MEASURES WITHIN SEVEN DAYS. REPEATED FAILURE OF A CONTROL MEASURE REQUIRES INSTALLATION OF A MORE SUITABLE DEVICE TO PREVENT DISCHARGE OF POLLUTANTS FROM THE CONSTRUCTION SITE.
- INSTALLATION OF ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY THE CITY CODE. CONTRACTOR TO VERIFY REQUIREMENTS PRIOR TO BEGINNING ANY WORK ON PROJECT SITE.
- CARE SHALL BE TAKEN TO MINIMIZE THE ENCROACHMENT OF SEDIMENT INTO ALL STORM DRAIN APPURTENANCES, PUBLIC STREETS, AND ONTO PRIVATE PROPERTY UNTIL IMPERVIOUS MATERIAL (ROAD/PARKING AREA SURFACE) IS APPLIED OR UNTIL PROPOSED LANDSCAPE HAS BEEN ESTABLISHED.
- REFER TO EROSION CONTROL DETAILS FOR SILT FENCE CONSTRUCTION.
- ALL GRASS SLOPES WHICH EXCEED 3:1 (H:V) SHALL UTILIZE CONTECH CONSTRUCTION PRODUCTS PERMANENT TURF REINFORCEMENT MATS C35 OR APPROVED EQUAL. MATS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND STANDARDS. CONTRACTOR SHALL COORDINATE INSTALLATION INSPECTION WITH MANUFACTURER.

KEY NOTES

- PROP. SILTATION BARRIER, REFER TO DETAIL 1/C3.2
- PROP. CONSTRUCTION ENTRANCE / EXIT, REFER TO DETAIL 2/C3.2
- PROP. SOIL STOCKPILE AREA, REFER TO DETAIL 4/C3.2
- PROP. INLET PROTECTION, REFER TO DETAIL 6/C3.2
- PROP. CONCRETE WASHOUT AREA, REFER TO DETAIL 5/C3.2
- APPROX. LIMIT OF WORK
- APPROX. SAWCUT
- PROP. STRAW BALE, REFER TO DETAIL 3/C3.2

CONSTRUCTION EGRESS NOTES

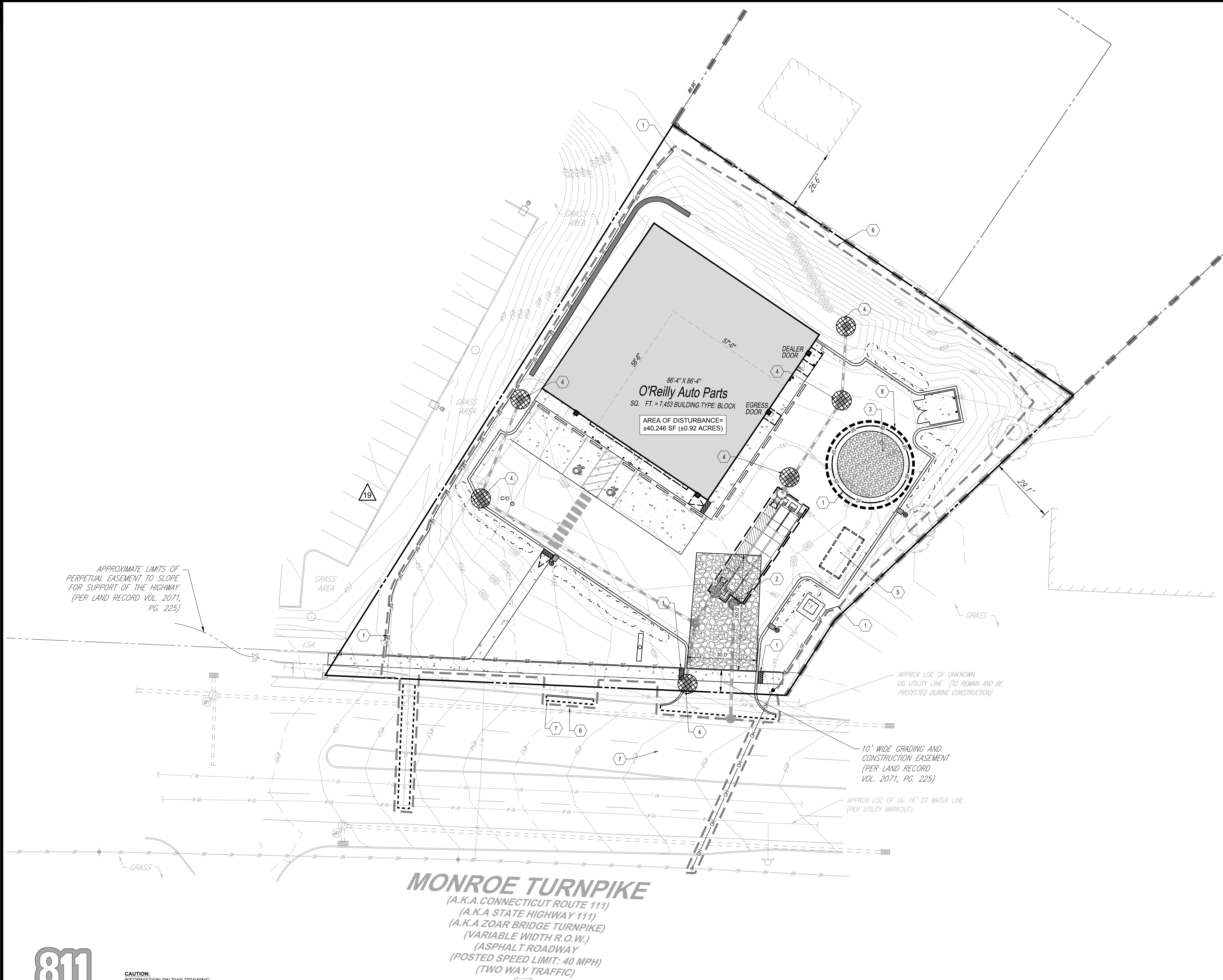
- CONSTRUCTION EGRESS SHALL BE 25" MINIMUM WIDTH AND 50" MIN. LENGTH AND 6" MIN THICKNESS OF STONE (1 1/2" 3/4" COARSE AGGREGATE WITH GEOTEXTILE UNDERLINER, REFER TO CITY OR STATE FOR ANY ADDITIONAL REQUIREMENTS.
- THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 1.5-3.5 INCH STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT OF ANY STRUCTURE USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES OR SITE ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- WHEELS MUST BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN LOCATED PER CITY OR STATE REQUIREMENTS.

PLAN REFERENCES

- REFER TO EROSION CONTROL DETAILS FOR ADDT EROSION NOTES & DETAILS
- THIS PLAN TO BE UTILIZED FOR EROSION PURPOSES ONLY

BOHLER

PROJECT No.: CTA230039.00 SCALE: AS NOTED
 DRAWN BY / CHECKED BY: CM/CE CAD I.D.: CTA230039.00-SPPD-0a



APPROXIMATE LIMITS OF PERPETUAL EASEMENT TO SLOPE FOR SUPPORT OF THE HIGHWAY (PER LAND RECORD VOL. 2071, PG. 225)

APPROX LOC OF UNKNOWN UG UTILITY LINE (TO REMAIN AND BE PROTECTED DURING CONSTRUCTION)

10' WIDE GRADING AND CONSTRUCTION EASEMENT (PER LAND RECORD VOL. 2071, PG. 225)

APPROX LOC OF UG 16" DT WATER LINE (PER UTILITY MARKOUT)

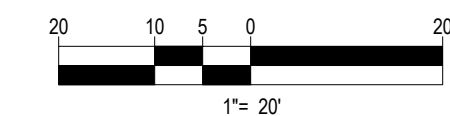
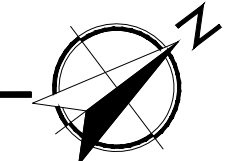
MONROE TURNPIKE
 (A.K.A. CONNECTICUT ROUTE 111)
 (A.K.A. STATE HIGHWAY 111)
 (A.K.A. ZOAR BRIDGE TURNPIKE)
 (VARIABLE WIDTH R.O.W.)
 (ASPHALT ROADWAY)
 (POSTED SPEED LIMIT: 40 MPH)
 (TWO WAY TRAFFIC)



Know what's below
 Call before you dig

CAUTION:
 INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.

1 EROSION CONTROL PLAN
C3.1 SCALE: 1" = 20'-0"



P:\2023\CTA230039.00\CAD\Drawings\Plan_Site\Plan_C3.1.dwg, 1-C3.1.dwg, 10/20/23, 4:28:00 PM, cmceak, Xerox0101.dwg, User:cmca, 1:1

EROSION AND SEDIMENT CONTROL NOTES

- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION CONTROL MANUAL.
- THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 8%.
- INSTALL SILTATION BARRIER AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILTATION BARRIER DETAILS FOR PROPER INSTALLATION. SILTATION BARRIER WILL REMAIN IN PLACE PER NOTE #5.
- ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER EFFECTIVE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE PERMANENTLY STABILIZED. FOR SEDIMENT CONTROL DEVICES THAT ARE WITHIN AREAS SUBJECT TO CONSERVATION COMMISSION JURISDICTION, THE DEVICES SHALL REMAIN IN PLACE AND BE REMOVED IN ACCORDANCE WITH THE ORDER OF CONDITIONS.
- NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1) UNLESS OTHERWISE INDICATED ON THE PLANS. SLOPE PROTECTION FOR SLOPES GREATER THAN 2:1 SHALL BE DESIGNED BY A GEOTECHNICAL ENGINEER.
- IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
- TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
- DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL STANDARDS.
- REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS:
 - SIX INCHES, OR DEPTH SPECIFIED ON THE LANDSCAPE PLAN, OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE.
 - APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 800 LB PER ACRE OR 18.4 LBS PER 1,000 SF USING 10-20-20 OR EQUIVALENT. APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB PER 1,000 SF).
 - FOLLOWING SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEED TO A MIXTURE OF 47% CREEPING RED FESCUE, 5% REDTOP, AND 48% TALL FESCUE. THE LAWN AREAS WILL BE SEED TO A PREMIUM TURF MIXTURE OF 44% KENTUCKY BLUE-GRASS, 44% CREEPING RED FESCUE, AND 12% PERENNIAL RYEGRASS. SEEDING RATES SHALL BE 50 LB OF LAWN, QUALITY 500 MAY BE SUBSTITUTED FOR SEED WHERE SLOPES DO NOT EXCEED 2:1. 500 ON SLOPES STEEPER THAN 3:1 SHOULD BE PEGGED.
 - STRAW MULCH AT THE RATE OF 70-90 LBS PER 1,000 SF. A HYDRO-APPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE NON-TOXIC BINDER WILL BE USED ON STRAW MULCH FOR WIND CONTROL.
- ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS 70% PERMANENTLY STABILIZED. FOR EROSION CONTROL MEASURES THAT ARE WITHIN AREAS SUBJECT TO CONSERVATION COMMISSION JURISDICTION, THE MEASURES SHALL REMAIN IN PLACE AND BE REMOVED IN ACCORDANCE WITH THE ORDER OF CONDITIONS.
- WETLANDS WILL BE PROTECTED WITH BARRIERS CONSISTING OF STRAW BALES, BIODEGRADABLE COMPOST TUBES, SILT FENCE OR A COMBINATION THEREOF.
- TEMPORARY SEDIMENT TRAPS SHALL BE SIZED PER THE CURRENT EDITION OF THE "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" AND PROVIDE A MINIMUM STORAGE AREA OF 134 CY PER ACRE OF DRAINAGE AREA WITH A MAXIMUM TRIBUTARY AREA OF 5 ACRES, MAINTAIN A 2:1 LENGTH TO WIDTH RATIO, AND NOT EXCEED AN EMBANKMENT HEIGHT OF 5 FT. HALF OF THE STORAGE VOLUME SHALL BE IN THE FORM OF WET STORAGE TO PROVIDE A STABLE SETTLING MEDIUM. UPON SITE STABILIZATION, ACCUMULATED SEDIMENT SHALL BE REMOVED AND THE TEMPORARY SEDIMENT TRAP EXCAVATED TO 3 FOOT BELOW THE TRAP. THE AREA SHALL THEN BE SCARIFIED TO PREVENT COMPACTION AND PROMOTE INFILTRATION AND GRADED AND STABILIZED IN ACCORDANCE WITH THE GRADING AND LANDSCAPE PLANS.
- STOCKPILES THAT ARE NOT TO BE USED WITHIN 30 DAYS NEED TO BE SEED AND MULCHED IMMEDIATELY AFTER FORMATION OF THE STOCKPILE.
- EXISTING CATCH BASIN STRUCTURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED.
- THE CONTRACTOR MUST PERFORM DEWATERING (IF REQUIRED), IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND PAY FOR THE COSTS ASSOCIATED WITH ANY AND ALL NECESSARY DISCHARGE PERMITS ASSOCIATED WITH SAME.
- THE CONTRACTOR MUST LOCATE CONSTRUCTION WASTE MATERIAL STORAGE AREAS TO MINIMIZE EXPOSURE TO STORMWATER. THE CONTRACTOR MUST IMMEDIATELY PLACE CONSTRUCTION WASTE IN ON-SITE STORAGE CONTAINERS UNTIL THAT CONSTRUCTION WASTE IS READY FOR OFF-SITE DISPOSAL. THE CONTRACTOR MUST MAINTAIN SPILL PREVENTION AND RESPONSE EQUIPMENT AND MAKE SAME CONVENIENTLY AVAILABLE ON-SITE FOR USE BY THE CONTRACTOR'S EMPLOYEES WHO MUST BE PROPERLY TRAINED IN THE APPLICATION OF SPILL PREVENTION AND RESPONSE PROCEDURES.
- WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
- WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT THE AMOUNT OF AREA OPEN AT ONE TIME IS MINIMIZED TO THE MAXIMUM EXTENT PRACTICABLE AND IN CONFORMANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN SUCH THAT ADEQUATE PROVISIONS ARE EMPLOYED TO CONTROL STORMWATER RUNOFF.
- CONTINUATION OF EARTHWORK OPERATION ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
- AN AREA SHALL BE CONSIDERED TO HAVE BEEN TEMPORARILY STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR STRAW AT A RATE OF 100 LB. PER 1,000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT SEEDS, MULCHED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING TECHNIQUE.
- FOR AREAS WHERE CONSTRUCTION ACTIVITIES HAVE CEASED FOR A PERIOD EXCEEDING 14 DAYS BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH, LOAM OR SEED WILL NOT BE REQUIRED. THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDS. IF THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADED AND IS SMOOTH, THEN THE AREA MAY BE TEMPORARILY SEED AT A RATE OF 200-300# HIGHER THAN SPECIFIED FOR PERMANENT SEED AND MULCH AS APPLICABLE. SLOPES SHALL NOT BE LEFT UNSTABILIZED OVER THE WINTER OR IN AREAS WHERE WORK HAS CEASED FOR MORE THAN 14 DAYS UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF SEDIMENT BARRIERS OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS.
- MULCHING REQUIREMENTS:
 - BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING OR WOOD CELLULOSE FIBER.
 - MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPE EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%.
 - MULCH NETTINGS SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15%. AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
- ALL DISTURBED AREAS SHALL BE STABILIZED IN ACCORDANCE WITH THE STORMWATER PREVENTION PLAN.
- DURING THE WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.

EROSION CONTROL NARRATIVE

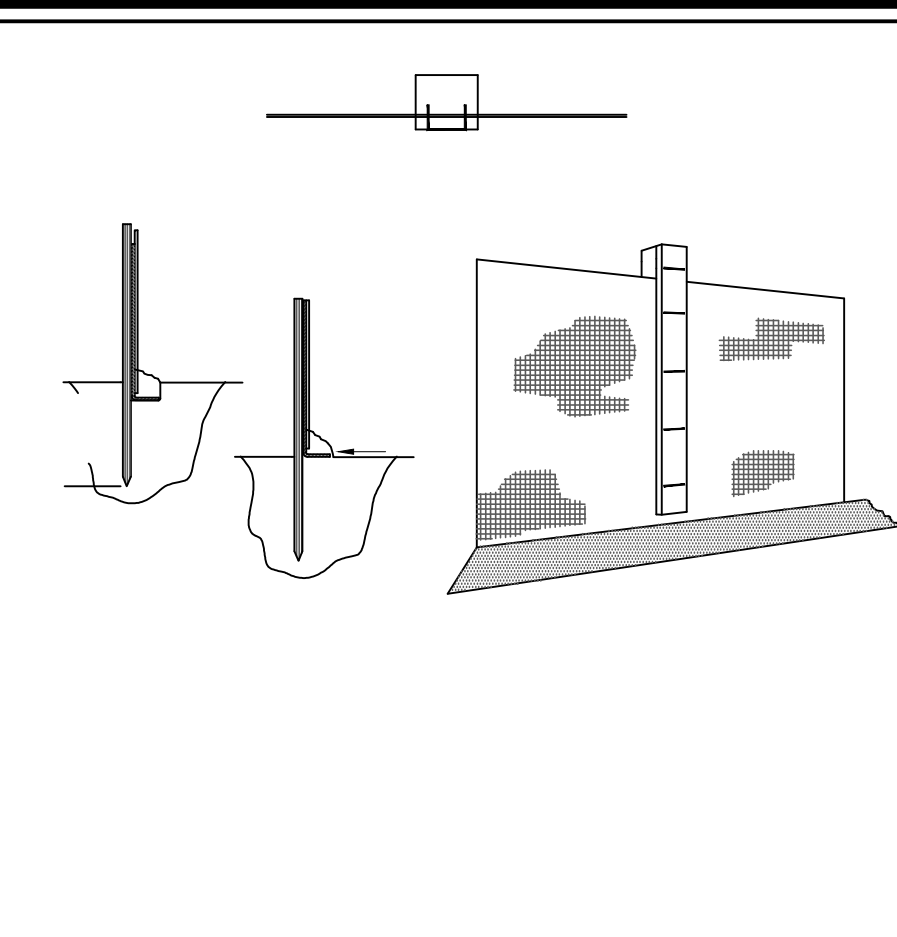
- PURPOSE
 - THE PROPOSED WORK WILL CONSIST OF CONSTRUCTION NECESSARY TO BUILD A O'REILLY AUTO PARTS WITH ALL ASSOCIATED PARKING, LANDSCAPING, UTILITIES, AND ACCESSORY STRUCTURES.
- DISTURBANCE
 - THE PROPOSED PROJECT WILL DISTURB APPROXIMATELY 0.91 ACRES OF LAND.
- SITE SPECIFIC CONCERNS
 - PREVENTION OF POLLUTION AND SEDIMENT ENTERING DOWNSTREAM WATERCOURSE(S) BY MEANS OF STORMWATER QUALITY UNIT BEFORE ENTERING THE WETLANDS.
- CONSTRUCTION PHASING SHALL BE COMPLETED IN ONE PHASE AS INDICATED IN THE SEQUENCE BELOW (6.1) OR DESCRIBE THE PHASED CONSTRUCTION (IF MORE THAN ONE PHASE).
- CONSTRUCTION SCHEDULE (SUBJECT TO CHANGE DEPENDING ON MARKETS, FINANCING, PERMIT APPROVALS AND WEATHER CONDITIONS)
 - THE ANTICIPATED CONSTRUCTION START IS SUMMER OF 2024, WITH COMPLETION ANTICIPATED 6 TO 12 MONTHS AFTER THE START DATE.
- CONSTRUCTION SEQUENCE
 - THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:
 - INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCE/EXIT
 - INSTALLATION OF EROSION CONTROL PERIMETER CONTROLS (STRAWBALES, SILT FENCE, COMPOST FILTER SOCK, TREE PROTECTION FENCE) WITHIN THE LIMIT OF DISTURBANCE AS INDICATED ON THE PLANS
 - INSTALLATION OF INLET PROTECTION (FILTER SOCKS OR STRAW BALES) IN STREET AND EXISTING INLETS
 - DEMOLITION OF EXISTING SITE STRUCTURES, PAVEMENT, AND AMENITIES
 - CLEARING AND GRUBBING IN AREAS DESIGNATED AS BEING REMOVED AS NECESSARY TO INSTALL TEMPORARY SWALES, SEDIMENT TRAPS AND/OR BASINS
 - INITIATE THE NECESSARY EARTHWORK TO REACH GRADES INDICATED ON THE PLANS. TEMPORARY STABILIZE ANY AREAS WITH SEEDING OR MULCH AS DETAILED IN THESE PLANS WITHIN 7 DAYS AFTER THE SUSPENSION OF GRADING WORK IN DISTURBED AREAS WHERE THE SUSPENSION OF WORK IS EXPECTED TO BE MORE THAN 30 DAYS BUT LESS THAN 1 YEAR.
 - INSTALLATION OF BUILDING FOUNDATION AND CONSTRUCTION OF BUILDING. BUILDING CONSTRUCTION MAY COMMENCE UPON ACCEPTANCE OF BUILDING PAD BY THE OWNER. CONCRETE WASHOUT MUST BE INSTALLED PRIOR TO ANY CONCRETE BEING POURED ON SITE.
 - INSTALLATION OF UTILITIES INCLUDING BUT NOT LIMITED TO STORMWATER, GAS, SANITARY, ELECTRIC, AND WATER. STORMWATER AND SANITARY UTILITIES SHOULD BE INSTALLED IN A DOWNSTREAM TO UPSTREAM MANNER.
 - CONSTRUCTION OF ALL CURBING AND LANDSCAPE ISLANDS AS INDICATED ON THE PLANS ALONG WITH STONE BALE COURSE IN THE DRIVEWAY AND PARKING AREAS
 - INITIATE FINAL GRADING AND PLACEMENT OF TOPSOIL IN ALL LANDSCAPED AND SLOPES AREAS. AS SOON AS SLOPES, CHANNELS, DITCHES AND OTHER DISTURBED AREAS REACH FINAL GRADE THEY MUST BE STABILIZED AS DETAILED ON THE EROSION CONTROL AND/OR LANDSCAPE PLAN DEPENDING ON THE SEASON.
 - INSTALL BITUMINOUS PAVEMENT AND CONCRETE INCLUDING SIDEWALKS
 - INSTALL ANY FINAL LANDSCAPE PLANTING WHICH HAVE NOT BEEN PREVIOUSLY INSTALLED.
 - CLEAR SITE OF DEBRIS IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS. REMOVE EROSION CONTROLS AS DISTURBED AREAS BECOME STABILIZED TO 70% STABILIZATION OR GREATER
 - OTHER POSSIBLE LOCAL, STATE AND FEDERAL PERMITS REQUIRED PERMITS
 - MONROE HEALTH DEPARTMENT COMMERCIAL SEPTIC SYSTEM PERMIT
 - CTDOT ENCROACHMENT PERMIT
 - CONSERVATION PRACTICES
 - CONSERVATION PRACTICES INCLUDE LIMITING THE SCOPE OF THE PROJECT TO MINIMIZE ACTIVITIES WHICH REQUIRES BARE SOILS TO BE EXPOSED. 0.91 ACRES OF LAND DISTURBANCE IS PROPOSED FOR THIS PROJECT.
 - SUPPORT DOCUMENTS
 - NO SUPPORTING DOCUMENTS OR (DRAINAGE REPORT, BORING LOGS, TEST PIT LOGS, SOILS REPORTS, ETC.)
 - PERSON RESPONSIBLE FOR MAINTENANCE DURING CONSTRUCTION OF PROJECT
 - CONTRACTOR OR PERSON SHALL BE NAMED AT PRECONSTRUCTION MEETING

GENERAL EROSION AND SEDIMENT CONTROL NOTES

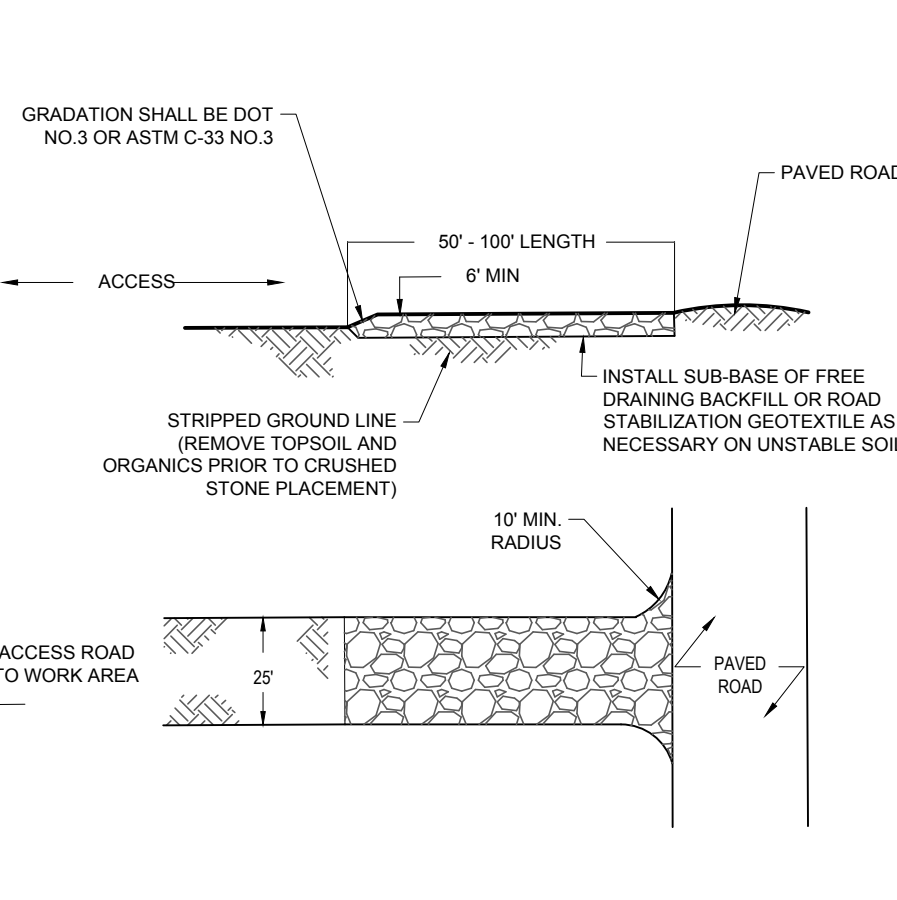
- THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.
- EROSION CONTROL MEASURES MUST CONFORM TO THE STATE, LOCAL, AND FEDERAL GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL UNLESS OTHERWISE NOTED, OR UNLESS THE PROFESSIONAL OF RECORD CLEARLY AND SPECIFICALLY, IN WRITING, DIRECTS OTHERWISE. INSTALLATION OF EROSION CONTROL, CLEARING, AND SITE WORK MUST BE PERFORMED EXACTLY AS INDICATED IN THE EROSION CONTROL CONSTRUCTION NOTES.
- THE DISTURBED LAND AREA OF THIS SITE IS APPROXIMATELY 0.91 ACRES.
- THE FOLLOWING EROSION CONTROL MEASURES ARE PROPOSED FOR THIS SITE:
 - STABILIZED CONSTRUCTION ENTRANCE/EXIT - A TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT IS TO BE INSTALLED AT THE DESIGNATED LOCATION SHOWN ON THE PLAN. THIS AREA MUST BE GRADED SO THAT RUNOFF WATER WILL BE RETAINED ON-SITE.
 - SEDIMENT FENCE - INSTALL SILT FENCE(S) AND/OR SILT SOCK AROUND ALL OF THE DOWNSLOPE PERIMETERS OF THE SITE, TEMPORARY FILL AND SOIL STOCKPILES.
 - INSTALL FILTER FABRIC DROP INLET PROTECTION AROUND EACH DRAINAGE INLET AS DRAINAGE STRUCTURES ARE INSTALLED TO REDUCE THE QUANTITY OF SEDIMENT. INSTALL TEMPORARY INLET PROTECTION ON INLETS DOWNSLOPE FROM DISTURBANCE, WHICH MAY BE BEYOND THE LIMITS OF DISTURBED AREA.
 - INSTALLATION OF EROSION CONTROL DEVICES MUST BE IN ACCORDANCE WITH ALL OF THE MANUFACTURER'S RECOMMENDATIONS.
 - THE CONTRACTOR MUST INSPECT EROSION CONTROL MEASURES WEEKLY. THE CONTRACTOR MUST REMOVE ANY SILT DEPOSITS GREATER THAN 6 INCHES OR HALF THE EROSION CONTROL BARRIER'S HEIGHT COLLECTED ON THE FILTER FABRIC AND/OR SILT SOCK BARRIERS AND EXCAVATE AND REMOVE ANY SILT FROM DROP INLET PROTECTION.
 - THE CONTRACTOR MUST APPLY TEMPORARY SEED AND MULCH TO ALL DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINISHED GRADE AND VEGETATED WITHIN 7 DAYS. WHEN AREAS ARE DISTURBED AFTER THE GROWING SEASON, THE CONTRACTOR MUST STABILIZE SAME WITH GEOTEXTILE FABRIC AND MAINTAIN SAME IN STRICT ACCORDANCE WITH BEST MANAGEMENT PRACTICES.
 - THE CONTRACTOR MUST INSTALL ADDITIONAL EROSION CONTROL MEASURES IF THE PROFESSIONAL OF RECORD SO REQUIRES, TO PREVENT ANY, INCLUDING THE INCIDENTAL, DISCHARGE OF SILT-LADEN RUNOFF FROM EXITING THE SITE.
 - THE CONTRACTOR MUST BE RESPONSIBLE FOR INSPECTING AND MAINTAINING ALL EROSION CONTROL MEASURES ON THE SITE UNTIL PERMANENT PAVING AND TURF/LANDSCAPING IS ESTABLISHED. THE COSTS OF INSTALLING AND MAINTAINING THE EROSION CONTROL MEASURES MUST BE INCLUDED IN THE BID PRICE FOR THE SITE WORK AND THE CONTRACTOR IS RESPONSIBLE FOR ALL SUCH COSTS.
 - THE CONTRACTOR MUST CONTINUE TO MAINTAIN ALL EROSION CONTROL MEASURES UNTIL THE COMPLETION OF CONSTRUCTION AND THE ESTABLISHMENT OF VEGETATION.
 - THE CONTRACTOR MUST REMOVE EROSION CONTROL MEASURES, SILT AND DEBRIS AFTER ESTABLISHING PERMANENT VEGETATION COVER OR OTHER INSTALLING A DIFFERENT, SPECIFIED METHOD OF STABILIZATION.
 - THIS PLAN REPRESENTS THE MINIMUM LEVEL OF IMPLEMENTATION OF TEMPORARY EROSION AND SEDIMENTATION CONTROL FACILITIES, MEASURES AND STRUCTURES. ADDITIONAL FACILITIES, MEASURES AND STRUCTURES MUST BE INSTALLED WHERE NECESSARY TO COMPLY WITH ALL APPLICABLE CODES AND STANDARDS AND/OR TO PREVENT ANY, INCLUDING THE INCIDENTAL DISCHARGE OF SILT-LADEN RUNOFF FROM EXITING THE SITE.
 - THE CONTRACTOR MUST PROTECT ALL EXISTING TREES AND SHRUBS. THE CONTRACTOR MUST REFER TO THE LANDSCAPE AND/OR DEMOLITION PLAN(S) FOR TREE PROTECTION, FENCE LOCATIONS AND DETAILS.
 - THE CONTRACTOR MUST REFER TO GRADING PLANS FOR ADDITIONAL INFORMATION.
 - THE CONTRACTOR MUST CLEAR EXISTING AND PROPOSED DRAINAGE STRUCTURES AND INTERCONNECTING PIPES ON OR OFF-SITE AS THE JURISDICTIONAL AGENCY REQUIRES, BOTH AT THE TIME OF SITE STABILIZATION AND AT END OF PROJECT.
 - SOIL EROSION CONTROL MEASURES MUST BE ADJUSTED OR RELOCATED BY THE CONTRACTOR AS IDENTIFIED DURING SITE OBSERVATION IN ORDER TO MAINTAIN THE COMPLETE EFFECTIVENESS OF ALL CONTROL MEASURES.
 - THE CONTRACTOR MUST IDENTIFY, ON THE PLAN, THE LOCATION OF WASTE CONTAINERS, FUEL STORAGE TANKS, CONCRETE WASHOUT AREAS AND ANY OTHER LOCATIONS WHERE HAZARDOUS MATERIALS ARE STORED.

OPERATION AND MAINTENANCE

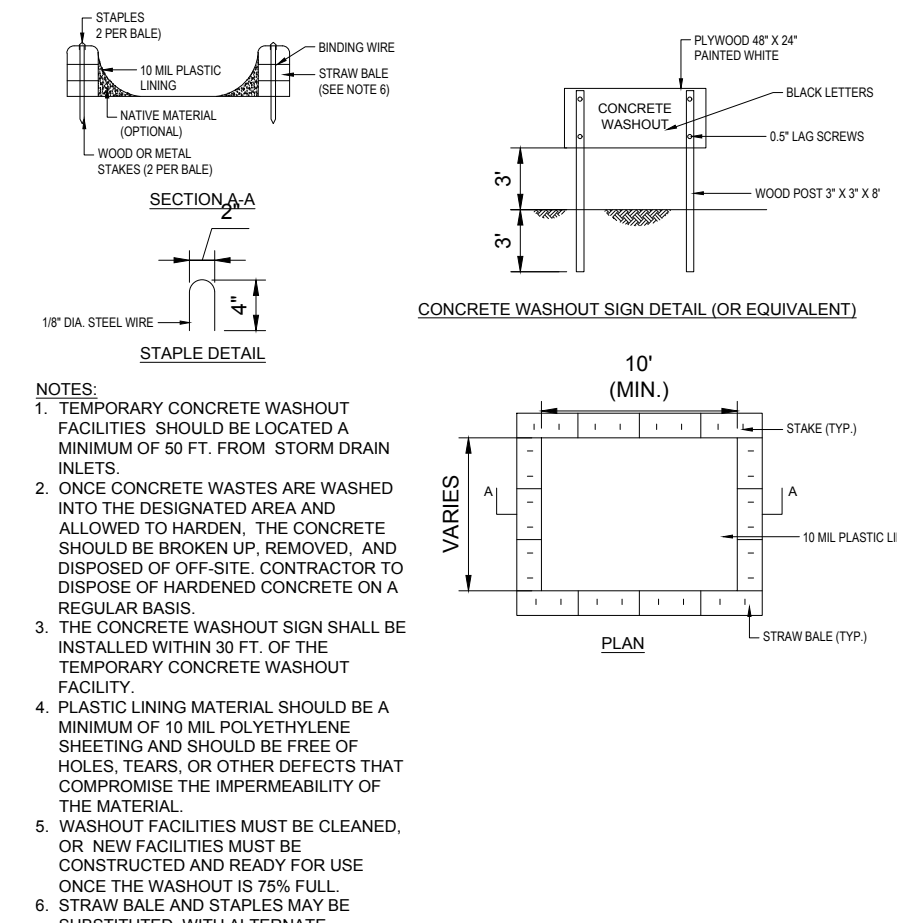
- MAINTENANCE REQUIREMENTS OF MEASURES DURING CONSTRUCTION OF PROJECT
 - THE SPECIFIC EROSION AND SEDIMENTATION CONTROL MEASURES, WHICH INCLUDE A BARRIER OF TRENCHED SILTATION FENCE, STAKED HAY BALES, AND INLET PROTECTION WILL, THROUGHOUT ALL PHASES OF CONSTRUCTION, SHALL BE INSPECTED (IN ADDITION TO THE INTERVALS EXPLAINED ABOVE) AT THE END OF EACH WORKDAY IF PRECIPITATION IS FORECAST AND AFTER EACH RAINFALL. AT THE END OF EACH WORKWEEK, PRIOR TO WEEKENDS, ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSPECTED.
 - THROUGHOUT THE CONSTRUCTION PROCESS, EXTRA STOCKS OF HAY BALES AND SILTATION FENCING WILL BE KEPT ON-SITE TO REPLACE THOSE THAT BECOME DAMAGED AND/OR DETERIORATED.
 - AREAS, WHICH ARE MULCHED OR SEED FOR TEMPORARY VEGETATIVE COVER, WILL BE INSPECTED FOR PROPER COVER AT THE END OF EACH WORKDAY IF PRECIPITATION IS FORECAST AND ALSO PRIOR TO WEEKENDS. CONTRACTOR SHALL KEEP PAVING CLEAR AT ALL TIMES. ADDITIONAL SEEDING OR MULCH WILL BE PLACED AS NECESSARY.
 - TEMPORARY EROSION AND SEDIMENT CONTROL SYSTEMS WILL NOT BE REMOVED UNTIL ALL STORMWATER DRAINAGE SYSTEM COMPONENTS ARE IN PLACE, CLEANED AND WORKING PROPERLY AND UNTIL PERMANENT VEGETATIVE COVER AND OTHER STABILIZATION MEASURES ARE ESTABLISHED.
- MAINTENANCE REQUIREMENTS OF PERMANENT MEASURES AFTER PROJECT COMPLETION.
 - POTENTIAL LONG-TERM EROSION AND SEDIMENTATION IMPACTS WILL BE CONTROLLED BY THE USE OF THE BMP'S ON-SITE. THE STORMWATER MANAGEMENT SYSTEM WAS DESIGNED TO CONTROL THE PEAK RATE OF RUNOFF AND THE OUTFLETS OF THE STORMWATER COLLECTION SYSTEMS HAVE BEEN DESIGNED TO DISSIPATE AND DISPERSE THE RUNOFF AND PREVENT SCOURING OF THE RECEIVING AREA.
- OPERATION AND MAINTENANCE PLAN:
 - ALL STORMWATER COMPONENTS SHOULD BE CHECKED PERIODICALLY IN A MAINTENANCE LOG AND KEPT IN FULL WORKING ORDER. ULTIMATELY, THE REQUIRED FREQUENCY OF INSPECTION AND SERVICE WILL DEPEND ON RUNOFF QUANTITIES, POLLUTANT LOADING, AND CLOGGING DUE TO DEBRIS. AT A MINIMUM, WE RECOMMEND THAT ALL STORMWATER COMPONENTS BE INSPECTED AND SERVICED TWICE PER YEAR, ONCE BEFORE WINTER BEGINS AND ONCE DURING SPRING CLEANUP.
 - SWEEPING WILL BE COMPLETED AT LEAST SEMIANNUALLY (ONCE IN THE SPRING AND ONCE IN THE FALL), OR MORE FREQUENTLY IF ACCUMULATED PARTICULATE MATTER IS OBSERVED.
 - CATCH BASIN SUMPS WILL BE INSPECTED SEMIANNUALLY AND CLEANED WHEN SEDIMENT IS WITHIN 12 INCHES OF THE OUTLET INVERT OR HALF THE SUMP DEPTH.
 - MANHOLES/JUNCTION BOXES SHALL BE INSPECTED AND REPAIRED ON AN ANNUAL BASIS.
 - DRAINAGE PIPING UNLESS SYSTEM PERFORMANCE INDICATES DEGRADATION OF PIPING, COMPREHENSIVE VIDEO INSPECTION OF STORM DRAINAGE PIPING SHOULD OCCUR ONCE EVERY TEN YEARS.
 - CONTROL STRUCTURES (ORIFICE, WEIR, ETC.) SHALL BE COMPLETELY CLEANED OF ACCUMULATED DEBRIS AND SEDIMENTS AT THE COMPLETION OF CONSTRUCTION. ANY REPAIRS SHALL BE PERFORMED. FOR THE FIRST YEAR, CONTROL STRUCTURES SHALL BE INSPECTED ON A QUARTERLY BASIS, THEN TWICE PER YEAR AFTER THE SECOND YEAR (ONCE IN THE SPRING AND ONCE IN THE FALL, AFTER FALL CLEANUP OF LEAVES HAS OCCURRED).
 - GRASS SWALES WILL BE INSPECTED AT LEAST SEMIANNUALLY AND CLEANED OF SEDIMENT/DEBRIS AS NECESSARY.
 - HYDRODYNAMIC SEPARATORS SHALL BE COMPLETELY CLEANED OF ACCUMULATED DEBRIS AND SEDIMENTS AT THE COMPLETION OF CONSTRUCTION. FOR THE FIRST YEAR, THE HYDRODYNAMIC SEPARATOR SHALL BE INSPECTED ON A QUARTERLY BASIS, THEN TWICE PER YEAR AFTER THE SECOND YEAR.
 - DRAINAGE OUTFALLS/SPLASH PADS/SCOUR HOLES/LEVEL SPREADERS WILL BE INSPECTED ON A QUARTERLY BASIS FOR THE FIRST YEAR THEN TWICE PER YEAR AFTER THE SECOND YEAR. ANY EROSION SHALL BE REPAIRED, AND THE CAUSE OF EROSION SHALL BE IDENTIFIED AND CORRECTED.



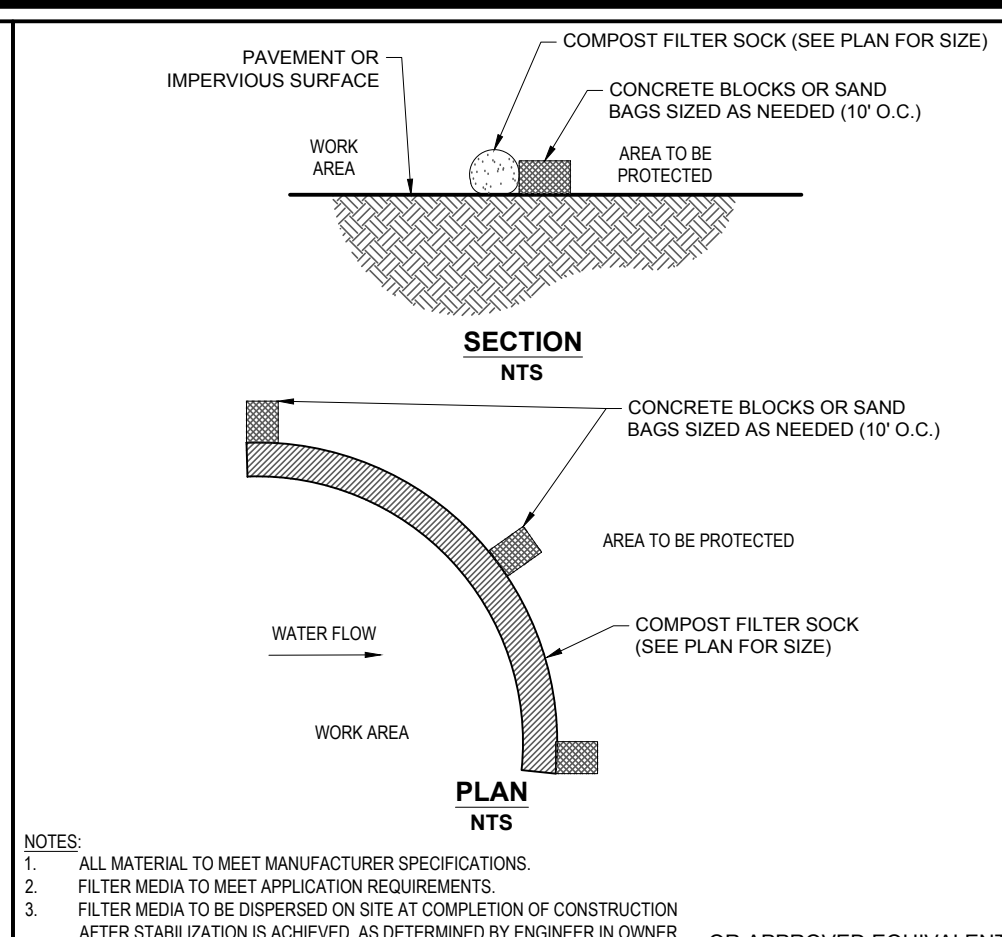
TYP. SILTATION FENCE
NOT TO SCALE



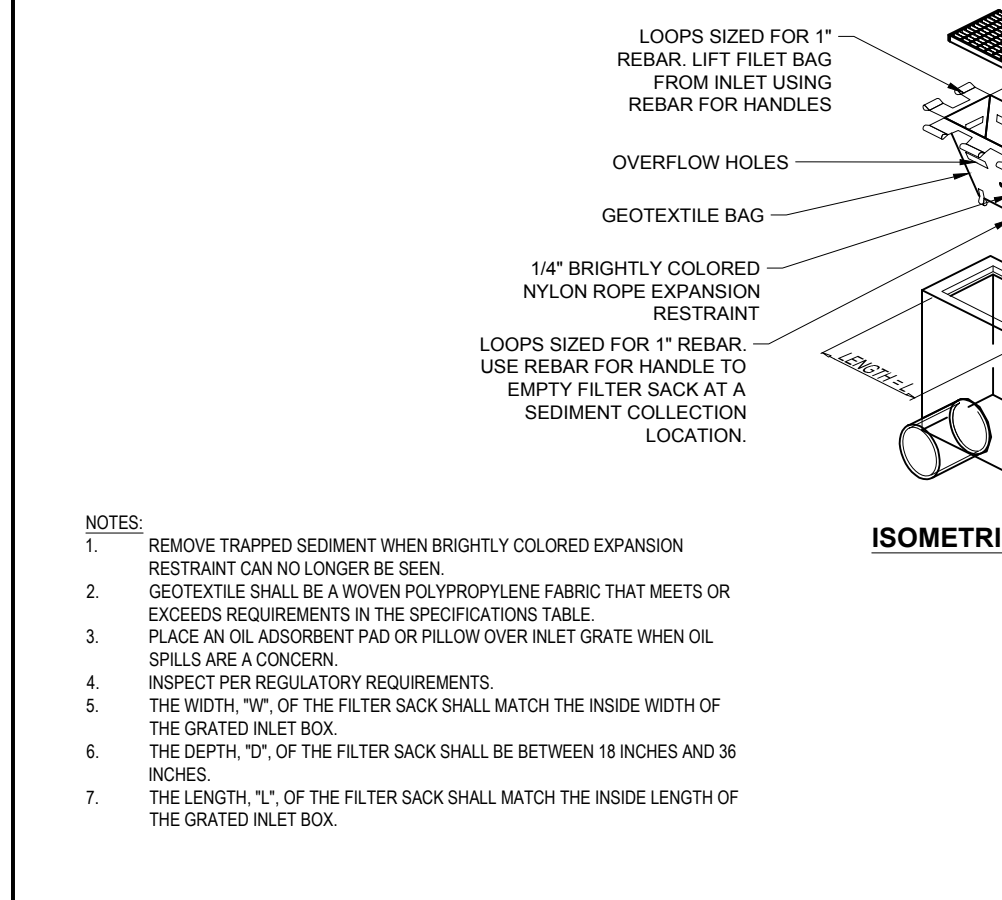
CONSTRUCTION ENTRANCE ANTI TRACKING PAD
NOT TO SCALE



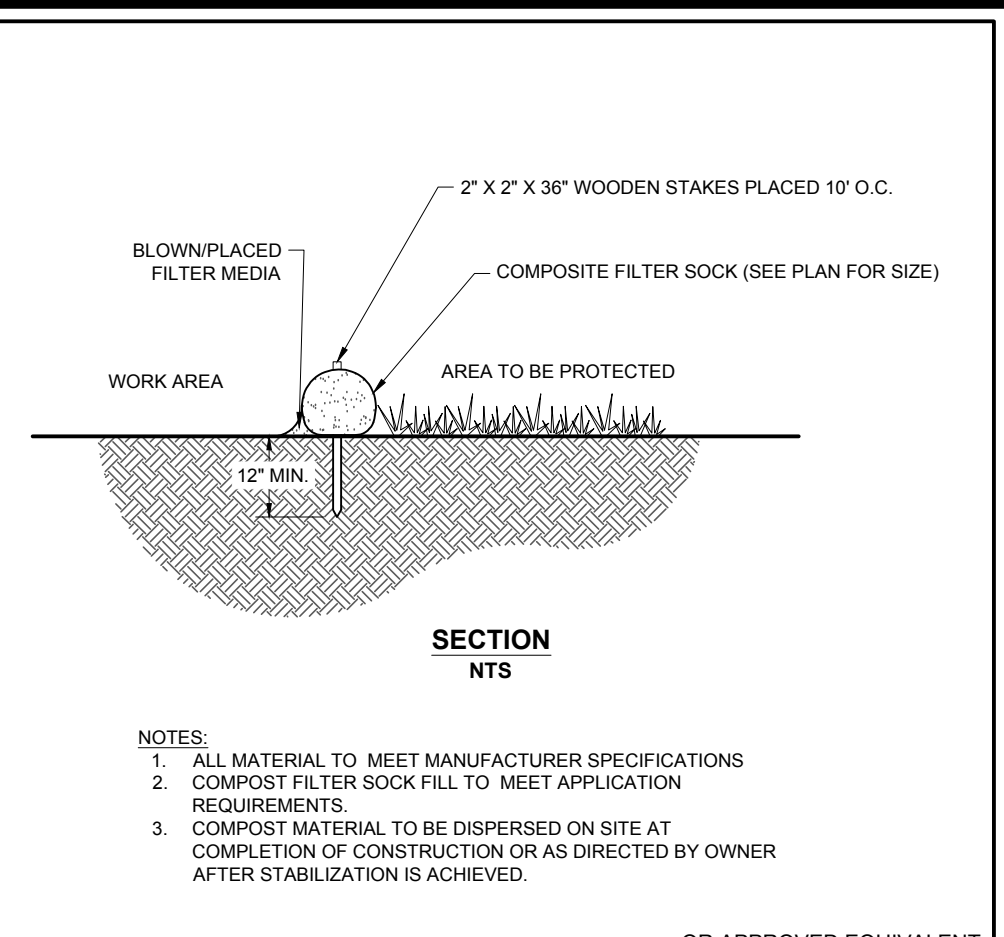
CONCRETE WASTE MANAGEMENT AREA
NOT TO SCALE



COMPOST FILTER SOCK (PAVED CONDITION)
NOT TO SCALE



COMPOST FILTER SOCK (UNPAVED CONDITION)
NOT TO SCALE



COMPOST FILTER SOCK (UNPAVED CONDITION)
NOT TO SCALE

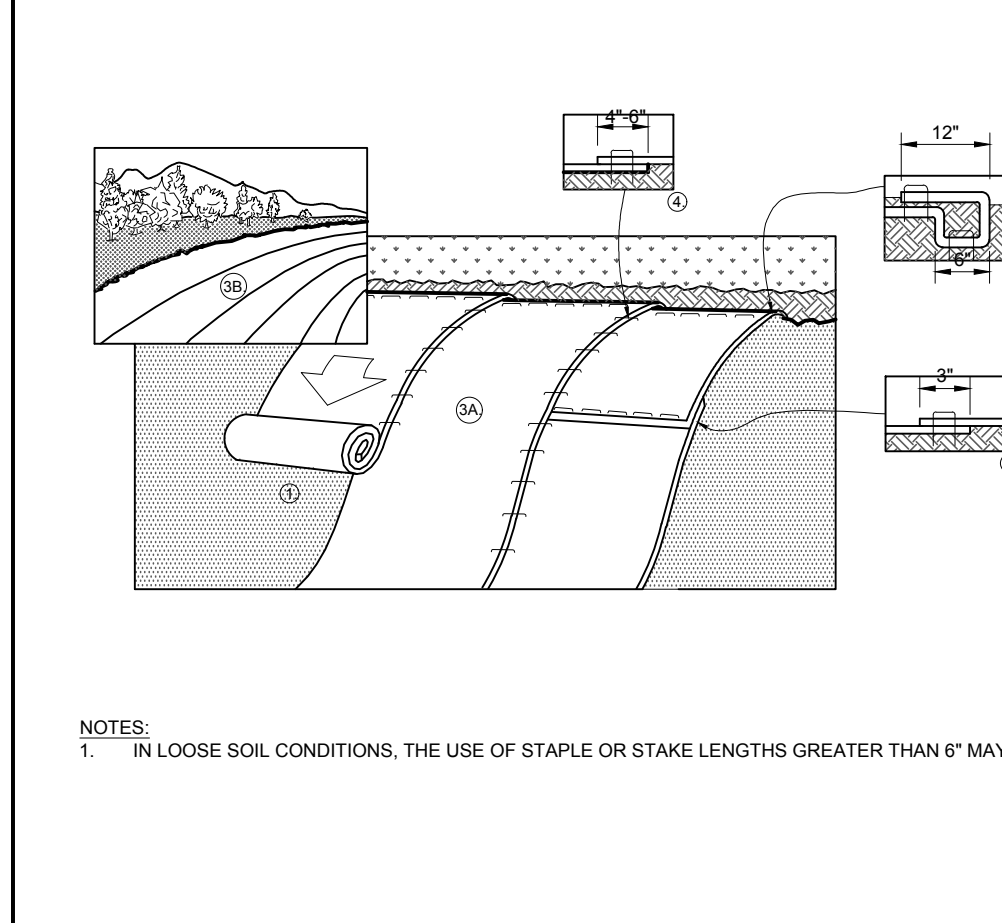
ISO-METRIC VIEW

- REMOVE TRAPPED SEDIMENT WHEN BRIGHTLY COLORED EXPANSION RESTRAINT CAN NO LONGER BE SEEN
- GEOTEXTILE SHALL BE A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS REQUIREMENTS IN THE SPECIFICATIONS TABLE
- PLACE AN OIL ABSORBENT PAD OR PILLOW OVER INLET GRATE WHEN OIL SPILLS ARE A CONCERN
- INSPECT PER REGULATORY REQUIREMENTS
- THE WIDTH "W" OF THE FILTER SACK SHALL MATCH THE INSIDE WIDTH OF THE GRATED INLET BOX.
- THE DEPTH "D" OF THE FILTER SACK SHALL BE BETWEEN 18 INCHES AND 36 INCHES
- THE LENGTH "L" OF THE FILTER SACK SHALL MATCH THE INSIDE LENGTH OF THE GRATED INLET BOX.

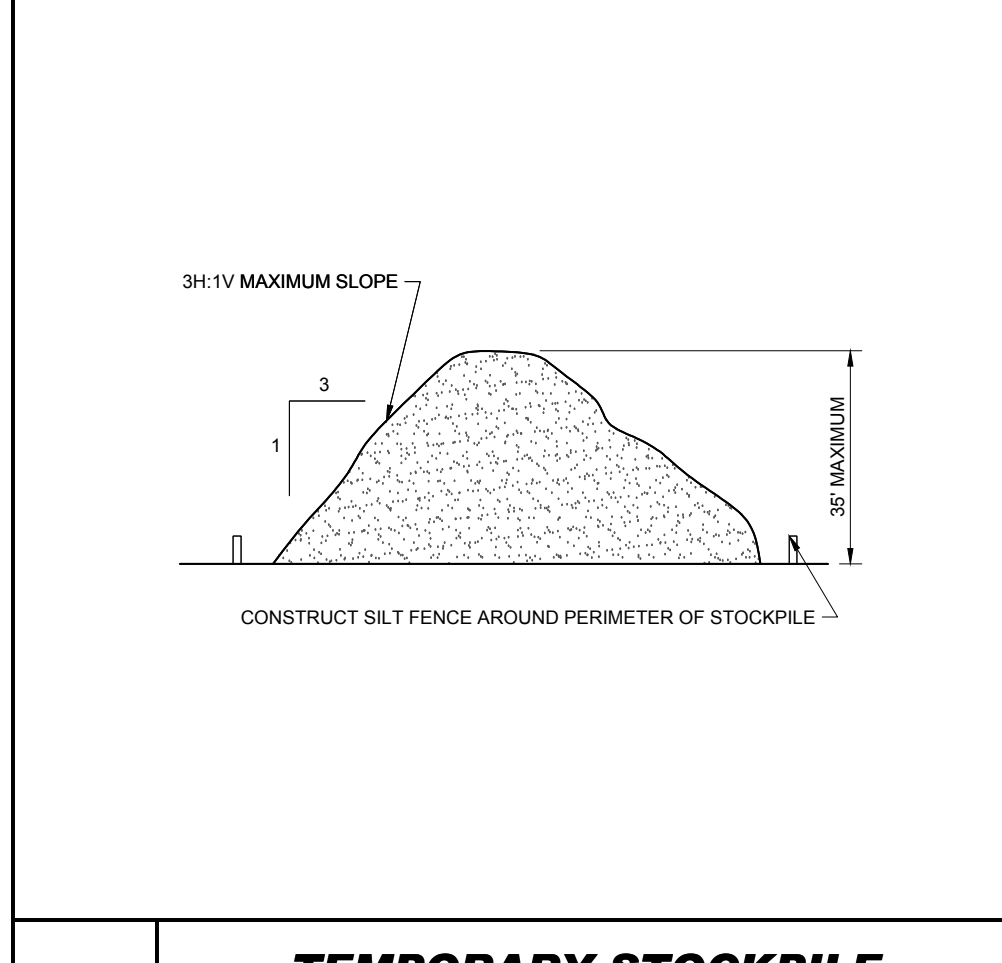
PROPERTY	TEST METHOD	UNITS
GRAV TENSILE STRENGTH	ASTM D-4622	300 LBS
GRAV TENSILE ELONGATION	ASTM D-4622	20%
PUNCTURE	ASTM D-4633	120 LBS
MULLEN BURST	ASTM D-3786	400 PSF
TRAPEZOID TEAR	ASTM D-4533	120 LBS
UV RESISTANCE	ASTM D-4355	80%
APPARENT OPENING SIZE	ASTM D-4751	40 US SIEVE
FLOW RATE	ASTM D-4491	40 GAL/MIN@2 FT 0.46 SEC
PERMEABILITY	ASTM D-4491	0.46 SEC

PROPERTY	TEST METHOD	UNITS
GRAV TENSILE STRENGTH	ASTM D-4622	400 LBS
GRAV TENSILE ELONGATION	ASTM D-4622	20%
PUNCTURE	ASTM D-4633	150 LBS
MULLEN BURST	ASTM D-3786	420 PSF
TRAPEZOID TEAR	ASTM D-4533	150 LBS
UV RESISTANCE	ASTM D-4355	80%
APPARENT OPENING SIZE	ASTM D-4751	20 US SIEVE
FLOW RATE	ASTM D-4491	200 GAL/MIN@2 FT 0.5 SEC
PERMEABILITY	ASTM D-4491	0.5 SEC

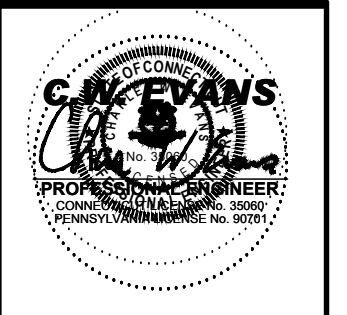
INLET PROTECTION
NOT TO SCALE



EROSION CONTROL BLANKET
NOT TO SCALE



TEMPORARY STOCKPILE
NOT TO SCALE



Buddy Webb, NCARB, AIA
Architect - Consultant
3057 EAST CAIRO
SPRINGFIELD, MISSOURI 65802
(417) 877-1385 TELEPHONE
(417) 877-9236 FAX

PROJECT:
NEW O'REILLY AUTO PARTS STORE
215 MONROE TURNPIKE
MONROE, CONNECTICUT
EROSION CONTROL DETAILS

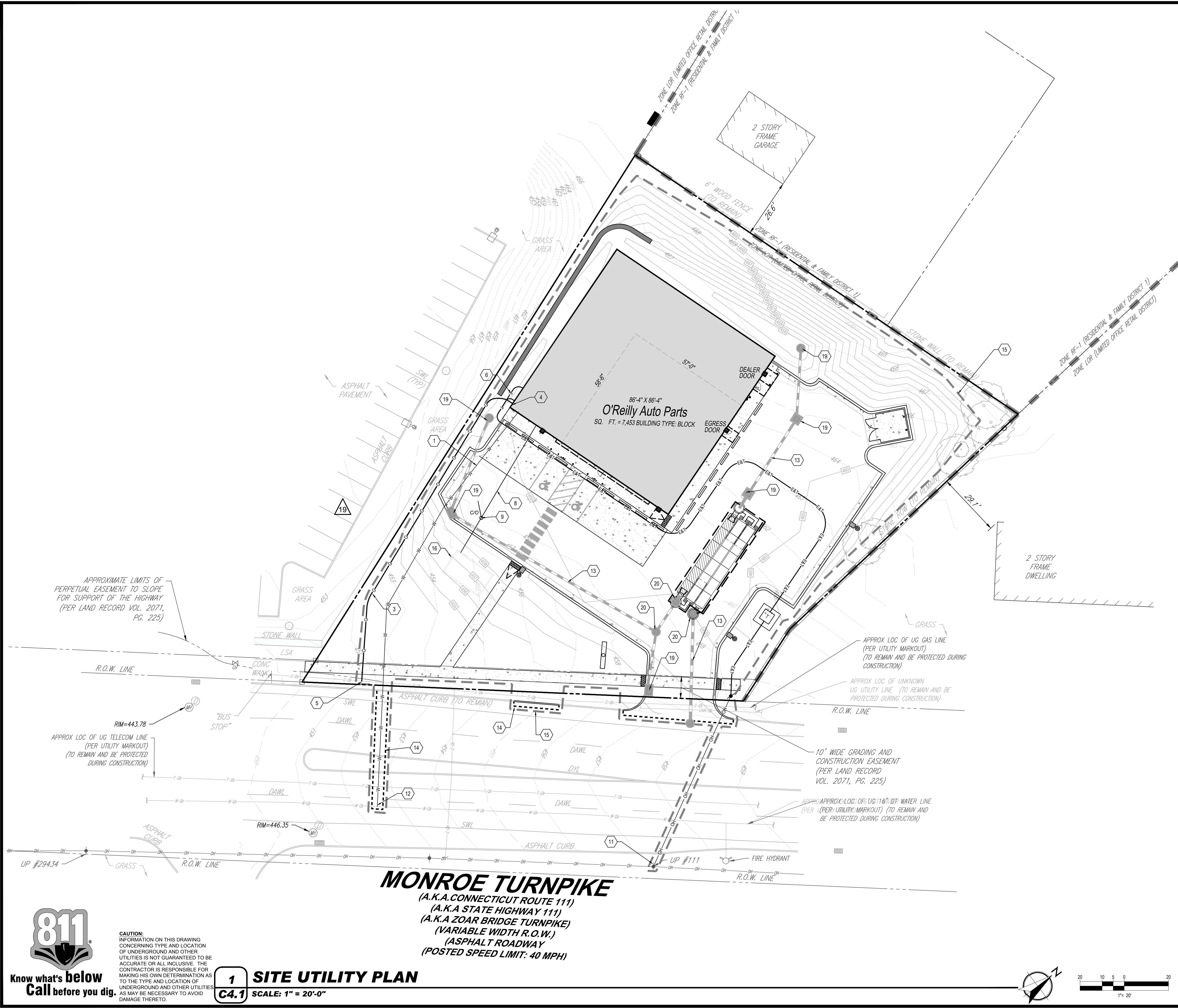
O'Reilly AUTO PARTS
CORPORATE OFFICES
233 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65802
(417) 862-2074 TELEPHONE

COMM # MR1
DATE: 10-13-2023
REVISION
DATE:

SHEET #
C3.2



PROJECT No.: CTA230039.00 SCALE: AS NOTED
DRAWN BY / CHECKED BY: CMCE CAD I.D.: CTA230039.00-SPPD-0a



GENERAL NOTES

- A. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- B. SITE CONDITIONS BASED UPON SURVEY PROVIDED BY OWNER. FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION. NOTIFY ARCHITECT IF EXISTING CONDITIONS DEVIATE SUBSTANTIALLY FROM THOSE INDICATED HEREIN.
- C. ALL UTILITY WORK WITHIN THE R.O.W. MUST BE APPLIED FOR VIA ENCROACHMENT PERMIT APPLICATIONS WITH THE CONNECTICUT DEPARTMENT OF TRANSPORTATION (CTDOT).
- D. ALL WATER PIPES AND VALVES SHALL HAVE A MINIMUM DEPTH OF 4.5 FT PER THE WALLINGFORD WATER DIVISION REGULATIONS.

KEY NOTES

- 1 PROP. 1-1/4" TYPE K COPPER WATER SERVICE. REFER TO DETAIL 1/C4.2 AND ARCH.MEP PLANS. GC TO COORDINATE WITH WATER DEPT. PRIOR TO CONSTRUCTION (1)
 - 2 NOT USED
 - 3 GAS LINE PER GAS COMPANY REQUIREMENTS (2)
 - 4 GAS METER. REFER TO MECHANICAL PLANS BY OTHERS (2)
 - 5 GC TO CONNECT TO EXIST. GAS SERVICE PER GAS COMPANY REGULATIONS. GC SHALL VERIFY THE SIZE, LOCATION AND CONDITION OF EXIST. SERVICE WITHIN THE R.O.W. PRIOR TO CONSTRUCTION. (2)
 - 6 UNDERGROUND ELECTRIC AND TELEPHONE CONDUITS. (2)
 - 7 ELECTRIC METER. REFER TO MECHANICAL PLANS. (2)
 - 8 6" SDR-35 PVC SEWER LINE. REFER TO DETAIL 2/C4.2
 - 9 CLEAN OUT. REFER TO DETAIL 3/C4.2
 - 10 NOT USED
 - 11 GC TO COORDINATE NEW UNDERGROUND ELECTRIC AND TELEPHONE SERVICE CONNECTION TO EXISTING UTILITY POLE & POLE-MOUNTED TRANSFORMER. (2)
 - 12 GC TO CONNECT TO EXIST. WATER MAIN PER WATER DEPARTMENT REGULATIONS. GC SHALL VERIFY THE SIZE, LOCATION AND CONDITION OF EXIST. WATER STUB PRIOR TO CONSTRUCTION. (1)
 - 13 STORM PIPING. REFER TO SITE GRADING PLAN C1.1
 - 14 APPROX. SAWCUT LINE
 - 15 APPROX. LIMIT OF WORK
 - 16 SEPTIC TANK
 - 17 NOT USED
 - 18 NOT USED
 - 19 PRECAST CONCRETE DEEP SUMP CATCH BASIN. REFER TO DETAIL 3/C4.2
 - 20 PRECAST CONCRETE DRAIN MANHOLE. REFER TO DETAIL 4/C4.2
- (1) PER WATER DEPARTMENT REQS
 (2) GC TO COORDINATE WITH UTILITY COMPANY PRIOR TO CONSTRUCTION

UTILITIES CONTACTS:

ELECTRIC: CONNECTICUT LIGHT & POWER: 800-286-2000
 TELEPHONE: FRONTIER COMMUNICATIONS: 800-778-9140
 WATER / SEWER: THE AQUARIUM WATER COMPANY: 800-732-9678
 TOWN OF MONROE HEALTH DEPARTMENT: 203-452-2818
 GAS: EVERSOURCE-YANKEE GAS: 877-400-6811

ENVIRONMENTAL GENERAL NOTES

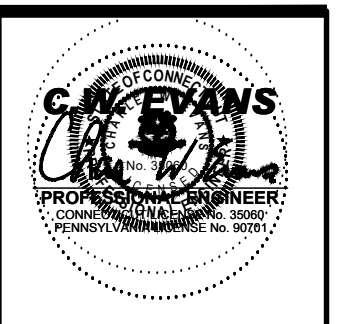
- A. AN ENVIRONMENTAL ANALYSIS HAS BEEN PERFORMED ON THE EXISTING SITE. REFER TO PROJECT MANUAL.
- B. IF THIS PROJECT CONTAINS HAZARDOUS MATERIALS, CONTRACTOR TO PROVIDE WORK REQUIRED FOR PROPER REMOVAL, HANDLING, AND DISPOSAL PER ENVIRONMENTAL ANALYSIS RECOMMENDATIONS.

PLAN REFERENCES

- REFER TO GENERAL NOTES SHEET FOR DEMOLITION NOTES
- THIS PLAN TO BE UTILIZED FOR DEMOLITION/REMOVAL PURPOSES ONLY



PROJECT No.: CTA230039.00 SCALE: AS NOTED
 DRAWN BY / CHECKED BY: CM/CE CAD I.D.: CTA230039.00-SPDD-04



Buddy Webb, NCARB, AIA
Architect - Consultant
 3057 EAST CAIRO
 SPRINGFIELD, MISSOURI 65802
 (417) 877-1385 TELEPHONE
 (417) 877-9736 FAX

PROJECT:
NEW O'REILLY AUTO PARTS STORE
215 MONROE TURNPIKE
MONROE, CONNECTICUT
SITE UTILITY PLAN

O'Reilly AUTO PARTS
 CORPORATE OFFICES
 233 SOUTH PATTERSON
 SPRINGFIELD, MISSOURI 65802
 (417) 862-2674 TELEPHONE

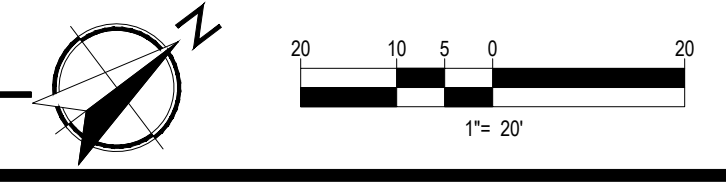
COMM # MR1
 DATE: 10-13-2023
 REVISION DATE:
 SHEET #
C4.1



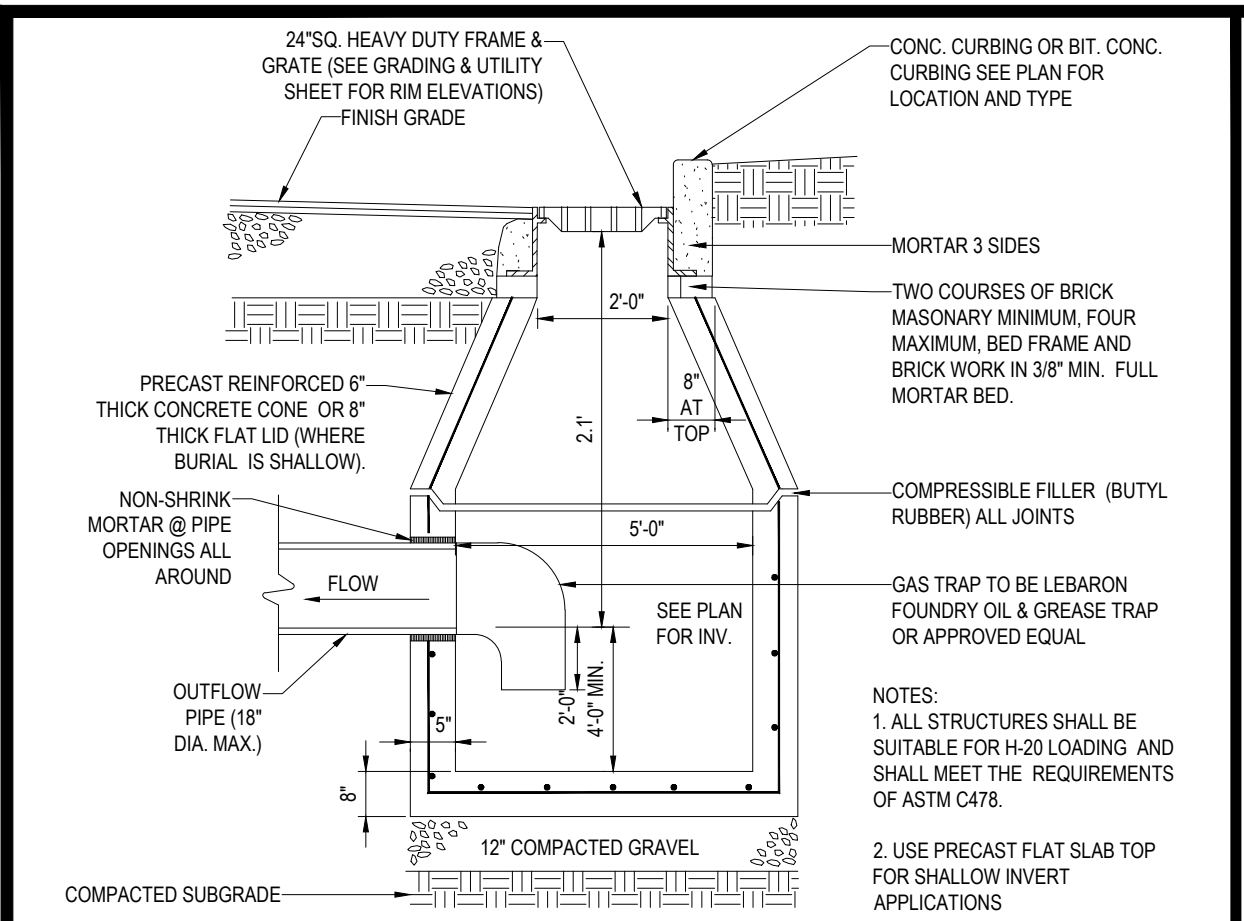
CAUTION:
 INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.

1 SITE UTILITY PLAN
C4.1 SCALE: 1" = 20'-0"

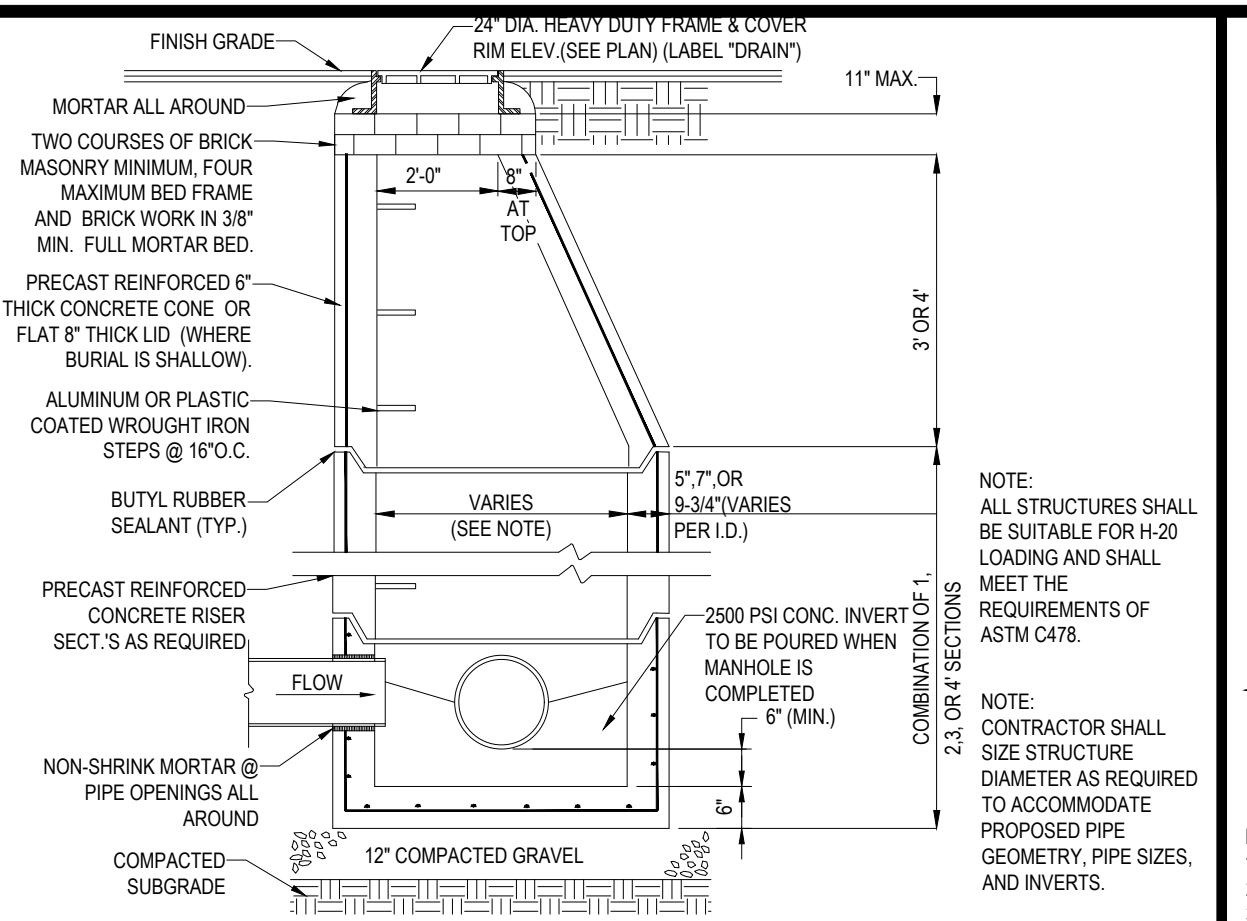
MONROE TURNPIKE
 (A.K.A. CONNECTICUT ROUTE 111)
 (A.K.A. STATE HIGHWAY 111)
 (A.K.A. ZOAR BRIDGE TURNPIKE)
 (VARIABLE WIDTH R.O.W.)
 (ASPHALT ROADWAY)
 (POSTED SPEED LIMIT: 40 MPH)



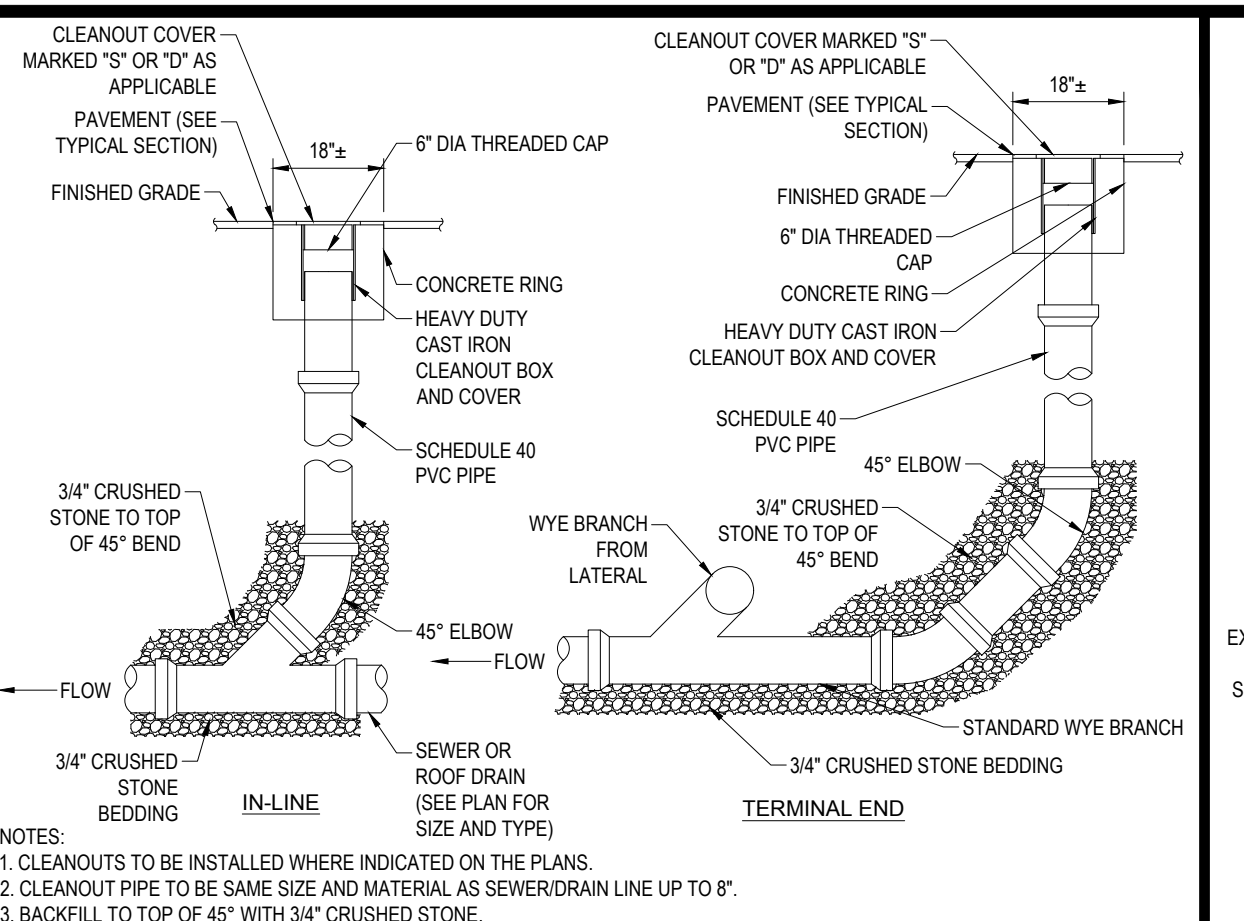
P:\2023\CTA230039\00\CA04\Drawings\Plan\Site\SitePlan.ctb Site Plan.ctb 13-C4.1.dwg, 13-C4.1.dwg, 10/10/2023, 4:28:09 PM, cmack, xmp0510-1.dwg, User:cm, 1:1



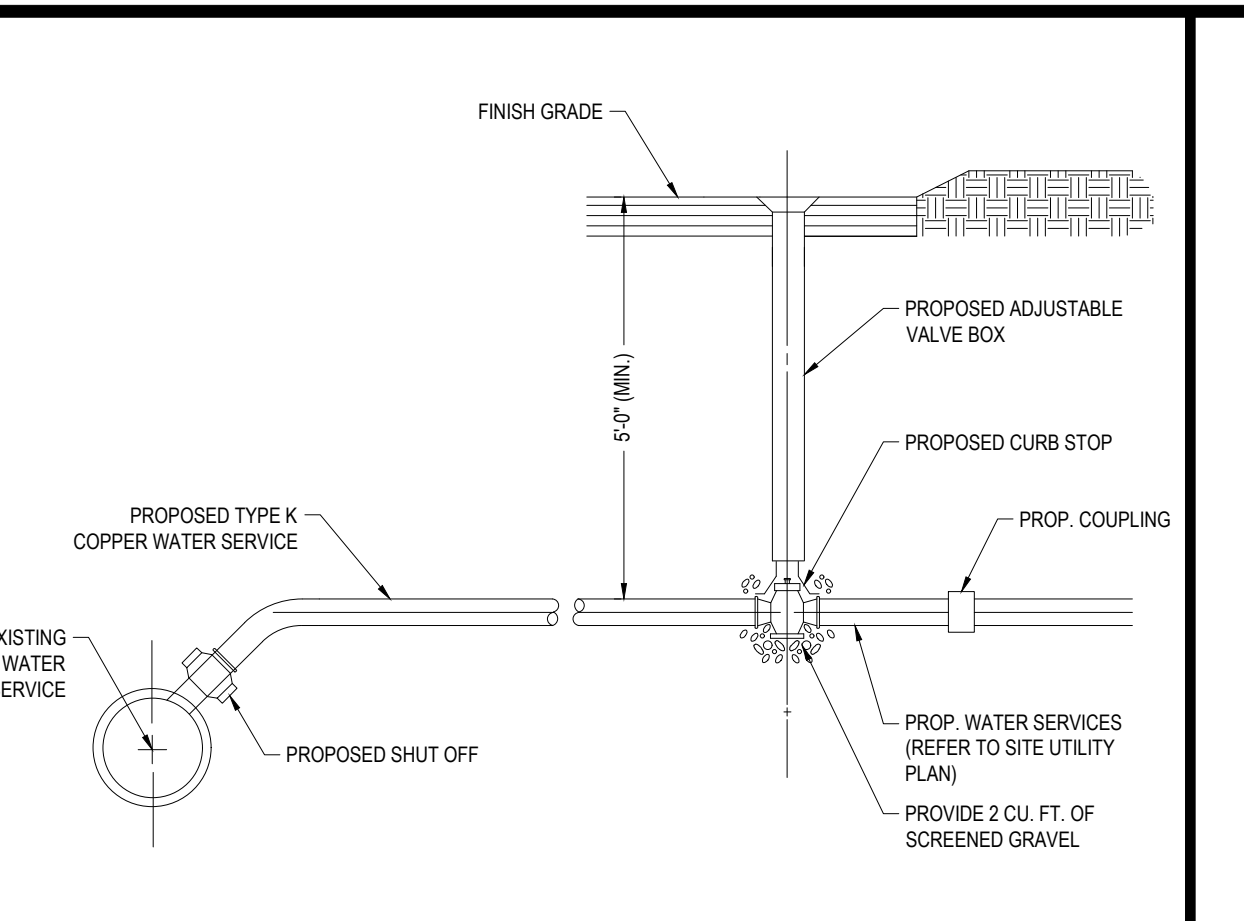
1 PRECAST CONCRETE DEEP SUMP CATCH BASIN
 C4.2 SCALE: NTS



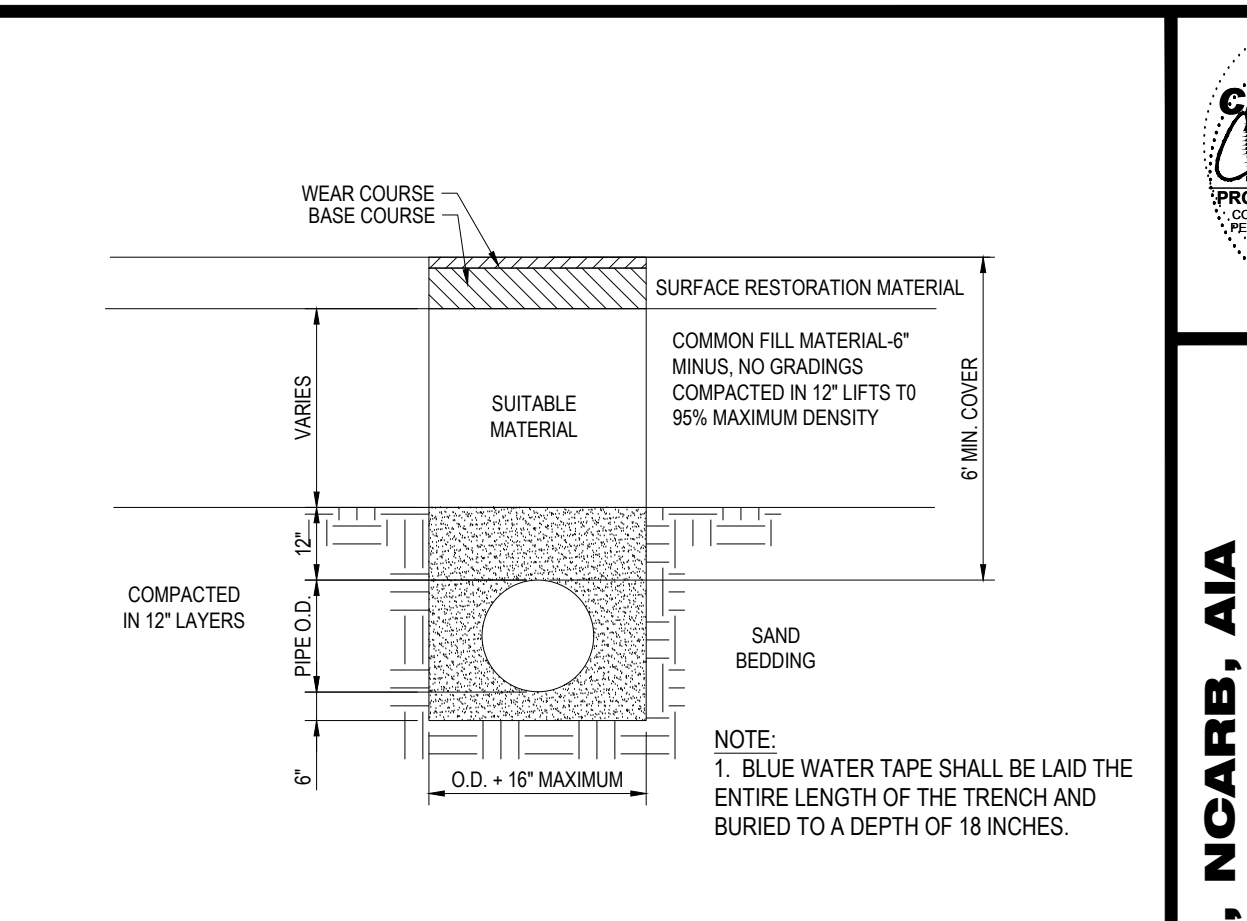
2 PRECAST CONCRETE DRAIN MANHOLE
 C4.2 SCALE: NTS



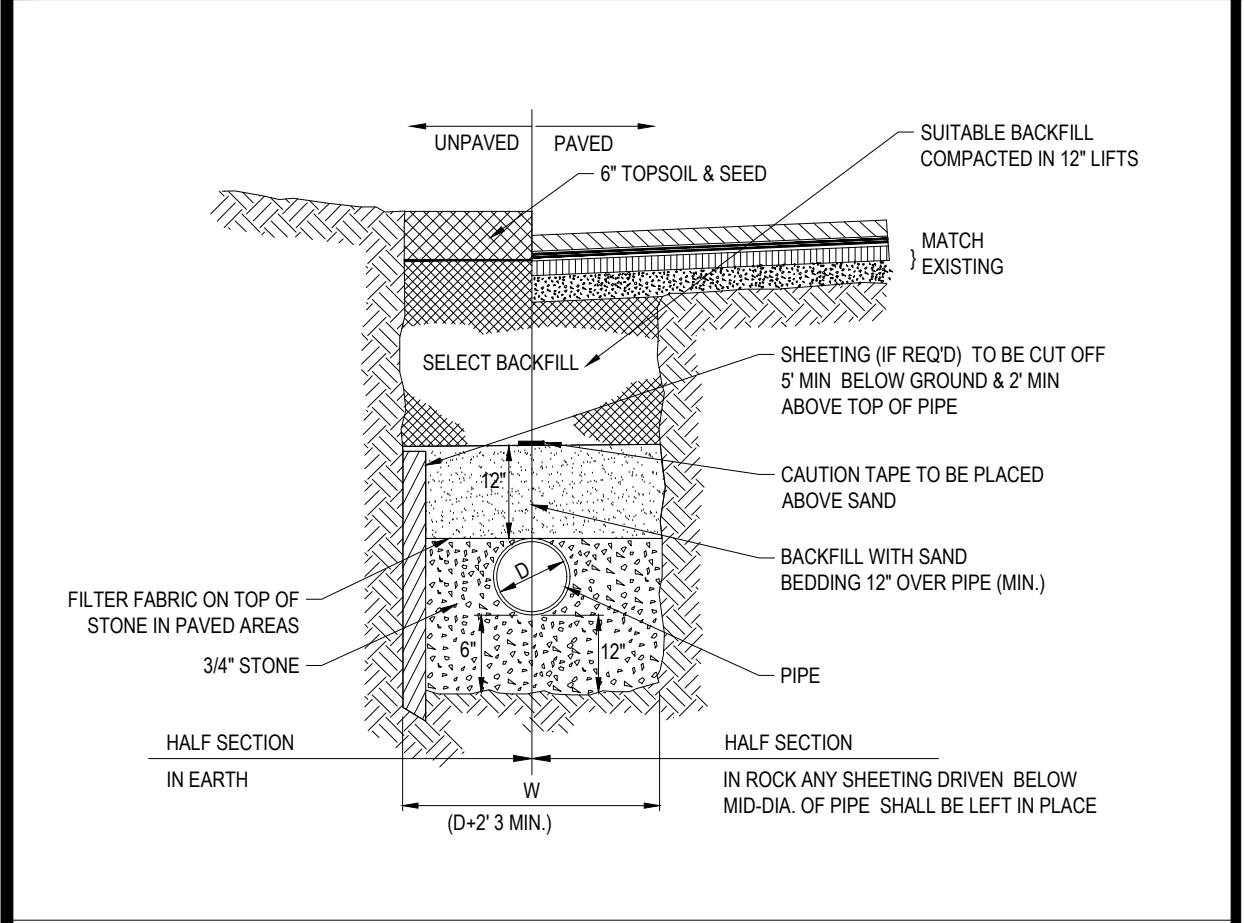
3 CLEANOUT
 C4.2 SCALE: NTS



4 WATER SERVICE CONNECTION DETAIL
 C4.2 SCALE: NTS



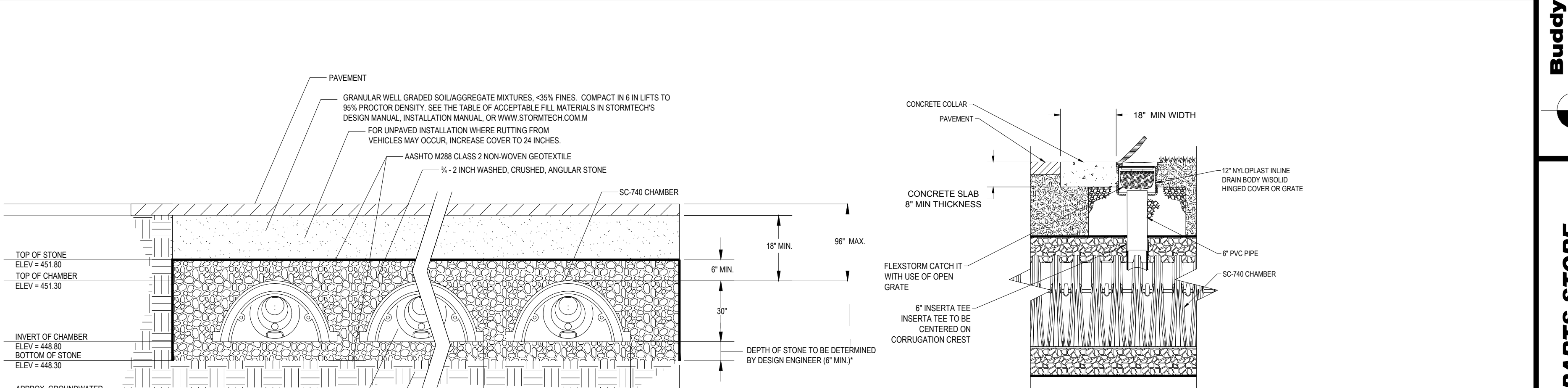
5 TYPICAL WATER LINE TRENCH SECTION
 C4.2 SCALE: NTS



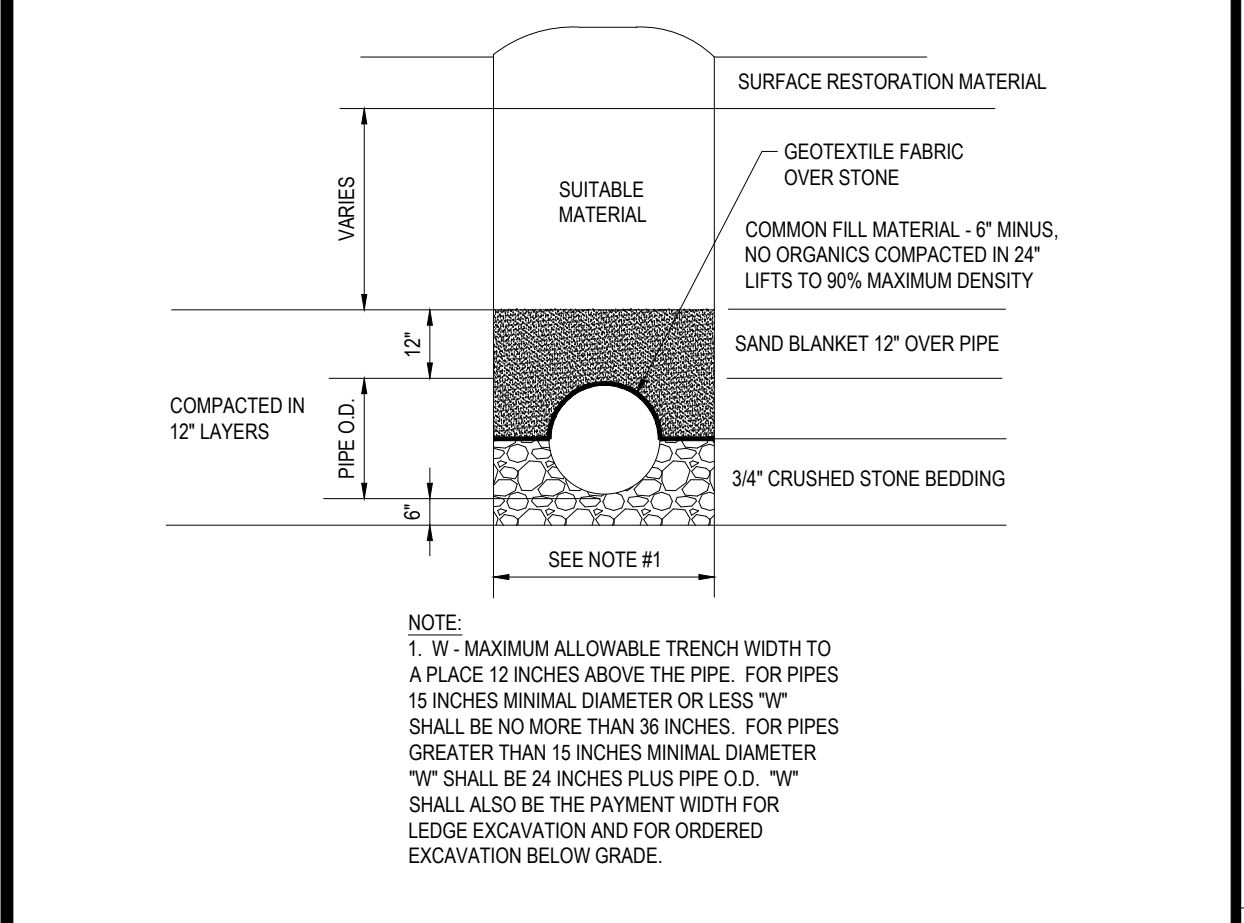
6 TYPICAL UTILITY TRENCH
 C4.2 SCALE: NTS

PIPE DIA.	MIN. TRENCH WIDTH
6"	23"
8"	26"
10"	28"
12"	30"
15"	34"
18"	39"
24"	48"
30"	56"
36"	64"
48"	80"
60"	96"

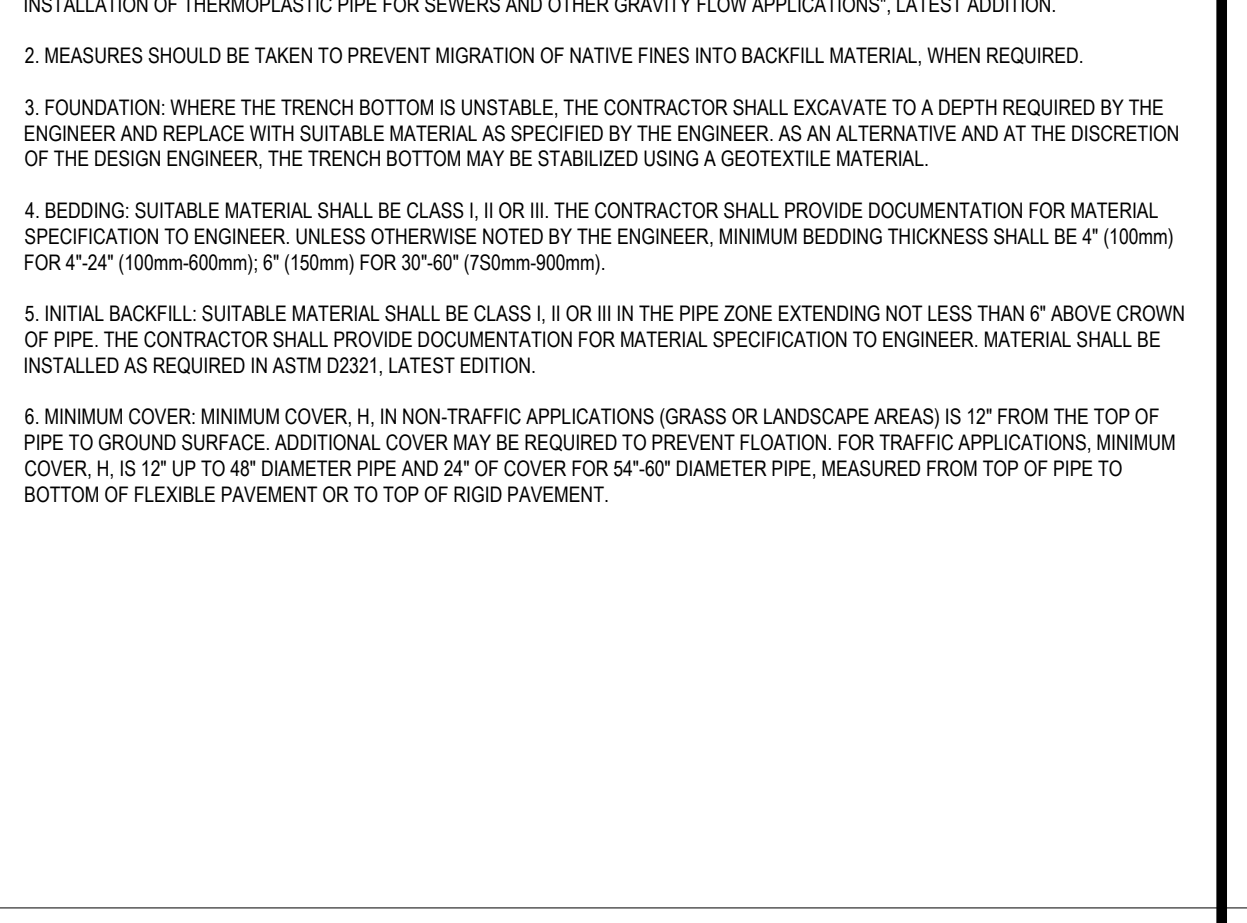
7 TYPICAL SEWER TRENCH SECTION
 C4.2 SCALE: NTS



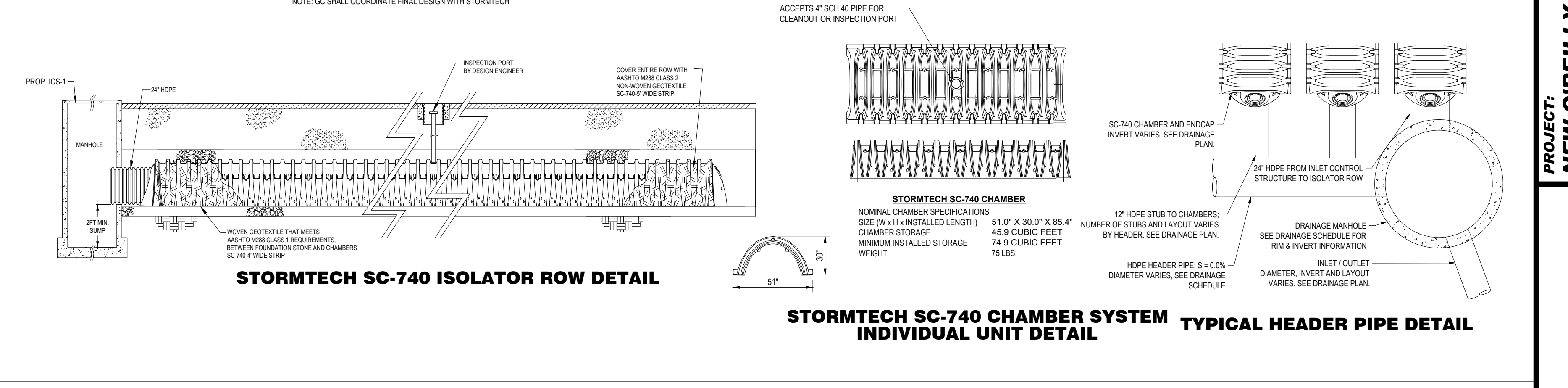
8 HDPE STORM DRAINAGE TRENCH
 C4.2 SCALE: NTS



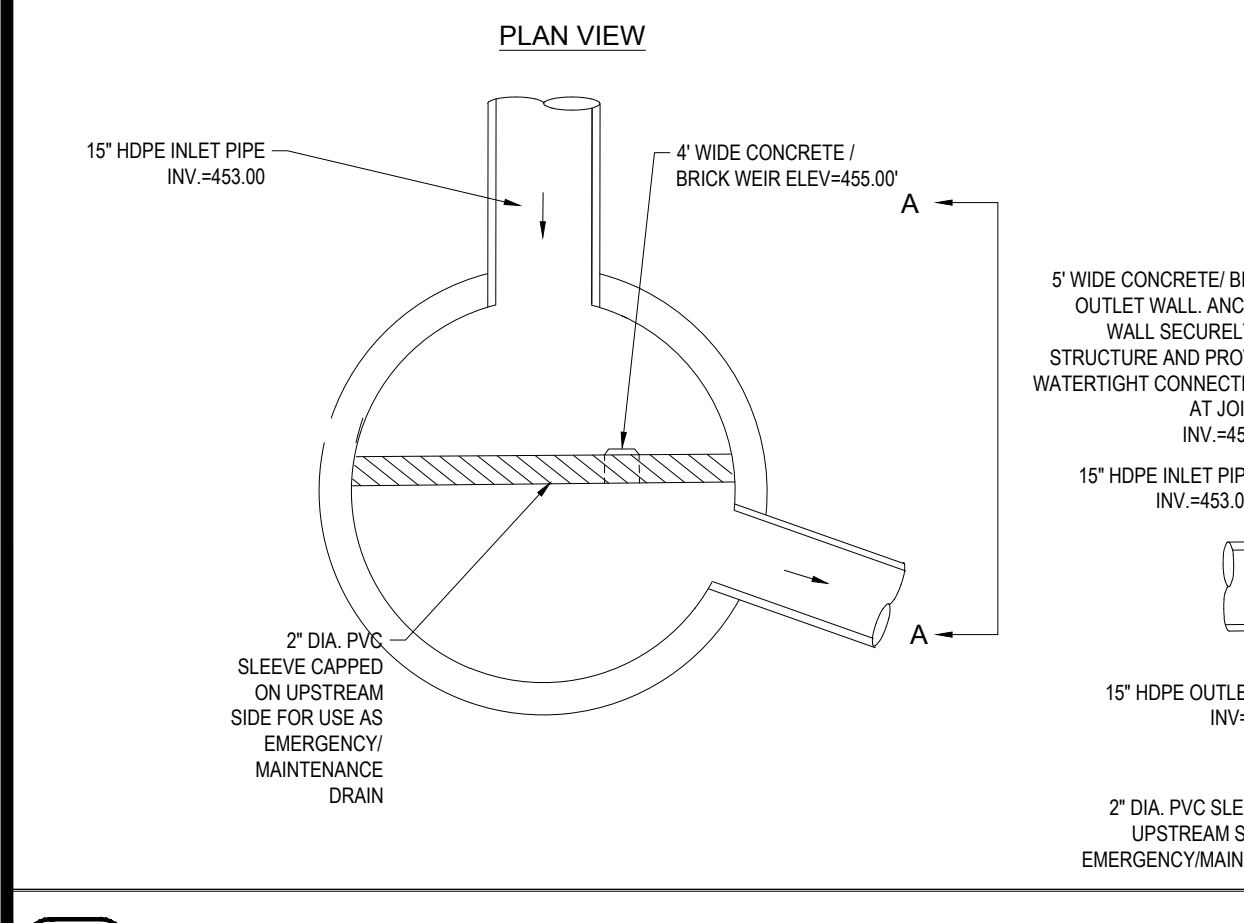
9 STORMTECH SC-740 UNDERGROUND INFILTRATION SYSTEM
 C4.2 SCALE: NTS



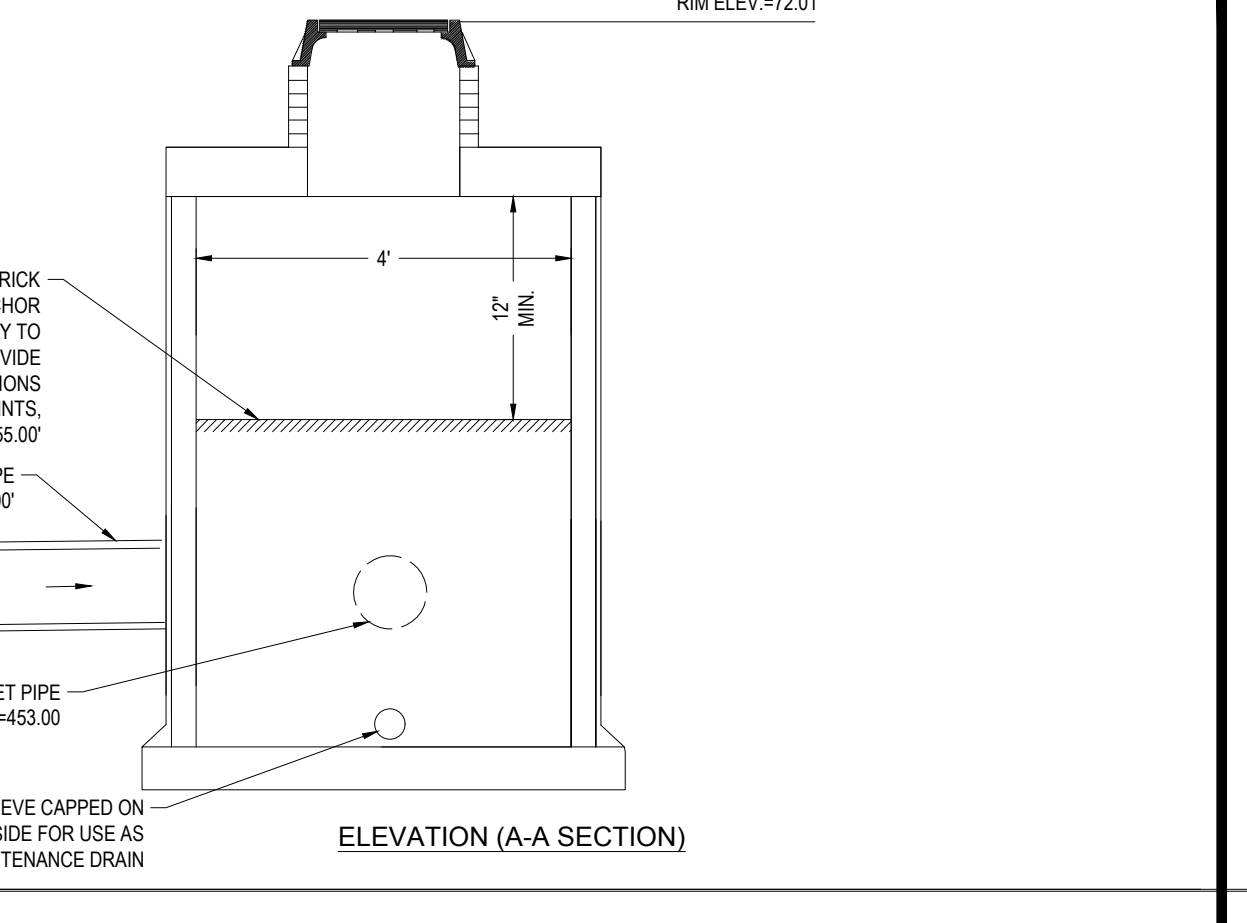
10 OUTLET CONTROL STRUCTURE (OCS-1)
 C4.2 SCALE: NTS



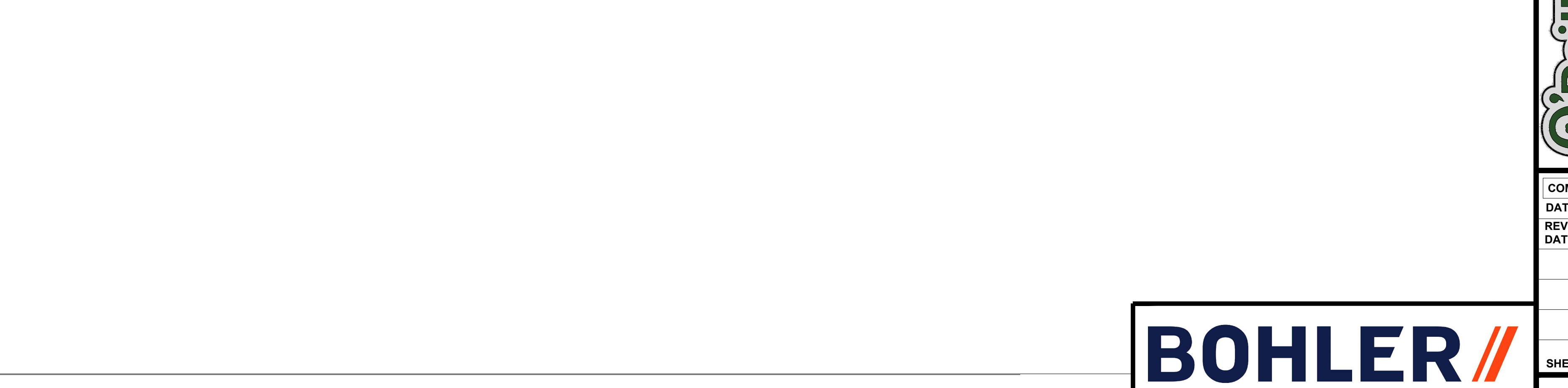
11 STORMTECH SC-740 CHAMBER SYSTEM INSPECTION PORT DETAIL
 C4.2 SCALE: NTS



12 STORMTECH SC-740 ISOLATOR ROW DETAIL
 C4.2 SCALE: NTS



13 STORMTECH SC-740 CHAMBER SYSTEM INDIVIDUAL UNIT DETAIL
 C4.2 SCALE: NTS



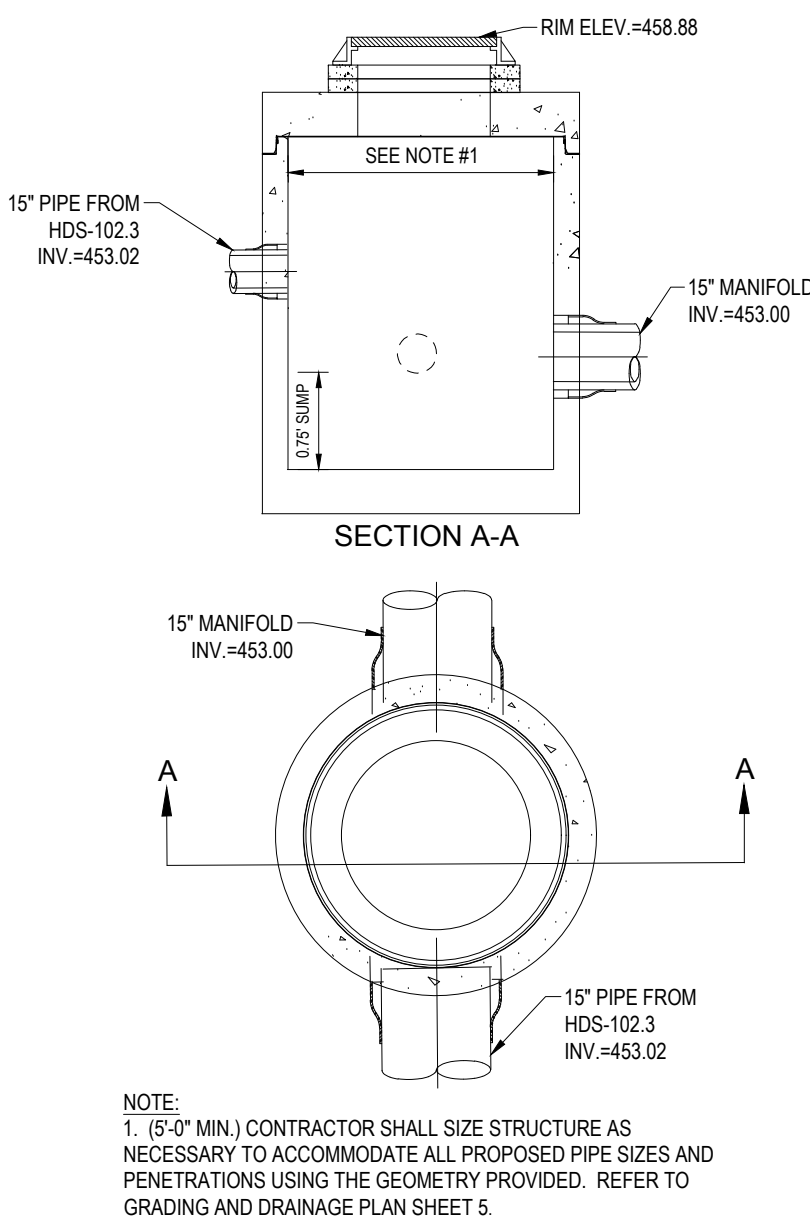
14 TYPICAL HEADER PIPE DETAIL
 C4.2 SCALE: NTS

Buddy Webb, NCARB, AIA
Architect - Consultant
 3057 EAST CAIRO
 SPRINGFIELD, MISSOURI 65802
 (417) 877-1385 TELEPHONE
 (417) 877-9736 FAX

PROJECT:
NEW O'REILLY AUTO PARTS STORE
215 MONROE TURNPIKE
MONROE, CONNECTICUT
SITE UTILITY DETAILS

O'Reilly AUTO PARTS
 CORPORATE OFFICES
 233 SOUTH PATTERSON
 WASHINGTON, MISSOURI 63091
 (417) 862-2674 TELEPHONE

COMM # MR1
 DATE: 10-13-2023
 REVISION DATE:
 SHEET # **C4.2**



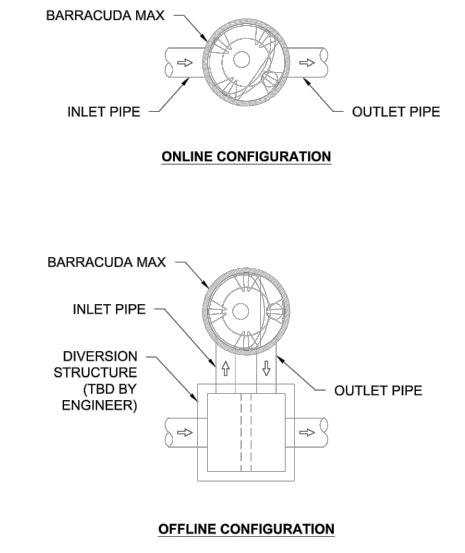
NOTE:
1. (5'-0\"/>

13 INLET CONTROL STRUCTURE DETAIL
C4.3 SCALE: NTS

BARRACUDA MAX MINIMUM RIM TO INVERT OUT

MODEL	INCH (MM)
S3	36 (914)
S4	36 (914)
S5	36 (914)
S6	41 (1041)

THE S3, S4, S5, AND S6 CAN BE INSTALLED IN A STANDARD 36\"/>

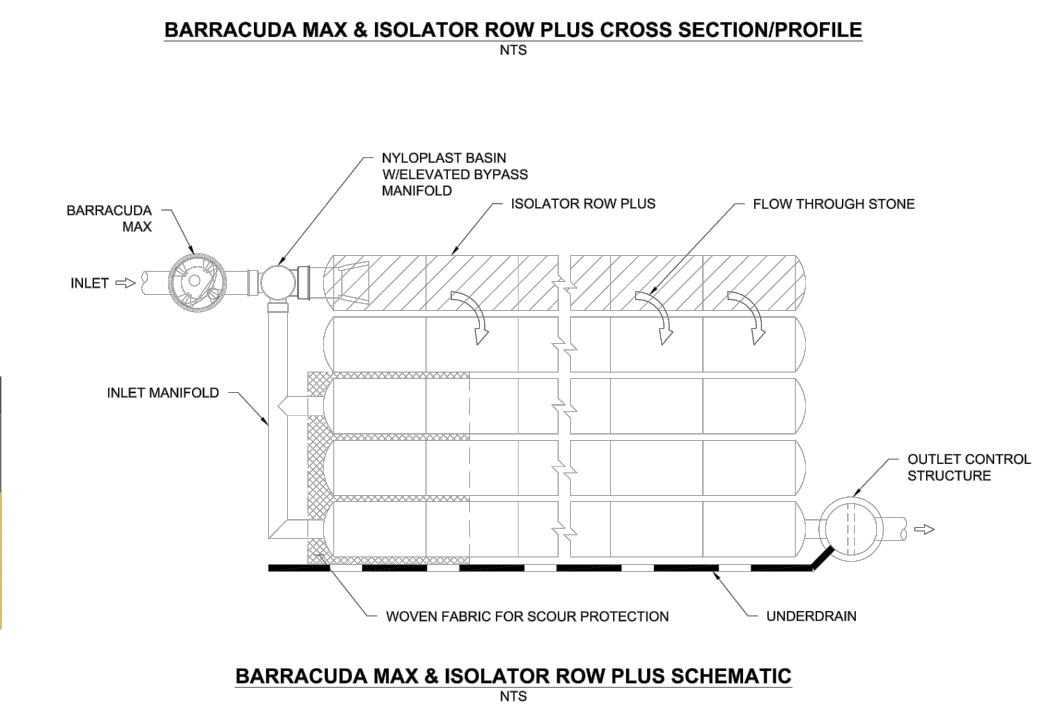
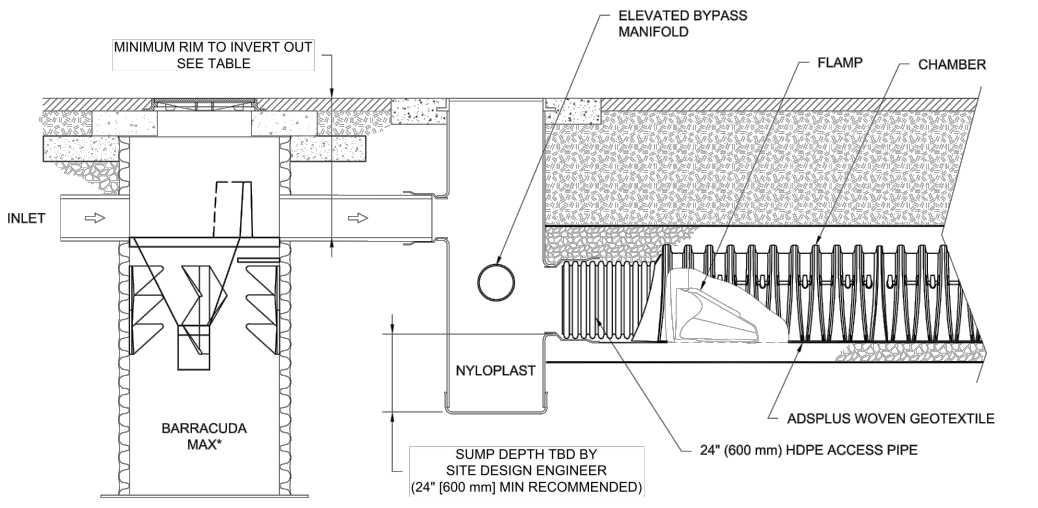


ISOLATOR ROW PLUS FLOW RATES

CHAMBER MODEL	SURFACE LOADING RATE (GPM/FT ² L/SQ FT)	EFFECTIVE FILTRATION RATE (GPM/FT ²)	MFR (L/SF)
SC360	4.13 (2.8)	11.42 (1.96)	0.11 (2.93)
SC360	4.13 (2.8)	17.7 (3.64)	0.16 (4.72)
SC780	4.13 (2.8)	27.8 (2.85)	0.26 (7.24)
SC1080	4.13 (2.8)	37.8 (3.92)	0.36 (9.74)
MC360	4.13 (2.8)	42.9 (3.98)	0.40 (11.37)
MC780	4.13 (2.8)	59.1 (2.76)	0.58 (16.45)
MC1080	4.13 (2.8)	80.1 (4.65)	0.81 (23.02)

*PER CHAMBER LOADING RATES BASED ON AUCAT VERIFICATION TESTING OF THE STORMTECH SC360 ISOLATOR ROW PLUS IN ACCORDANCE WITH NDEP LABORATORY PROTOCOL TO ACCESS TOTAL SUSPENDED SOLIDS REMOVAL BY FILTRATION MANUFACTURED TREATMENT DEVICES, 2013.

14 HYDRODYNAMIC SEPARATOR DETAIL
C4.3 SCALE: NTS



- KEY BENEFITS OF THE BARRACUDA MAX**
- VERSATILE MANHOLE DESIGN
 - VARIABLE INLET/OUTLET ANGLE CONFIGURATIONS (NOT JUST 180 DEGREE ORIENTATION)
 - INTERNAL WELPS FOR IN-LINE INSTALLATION (WHERE APPLICABLE)
 - ALL UNITS CAN BE INSTALLED INTO A STANDARD PRECAST MANHOLE
 - 2 & 4 UNITS CAN BE FACTORY FABRICATED IN 10' MANHOLES FOR QUICK DELIVERY WITH A LIGHT, EASY TO INSTALL STRUCTURE
 - MULTIPLE COMPONENTS FOR QUICK DELIVERY
 - NO ELEVATION LOSS BETWEEN THE INLET AND OUTLET
 - SURFACE INSPECTION AND MAINTENANCE WITH NO CONFINED SPACE ENTRY
 - DESIGNED FOR EASY MAINTENANCE USING A VACUUM TRUCK OR SIMILAR EQUIPMENT
 - FIELD ENGINEERS AND INTERNAL ENGINEERING SERVICES DEPARTMENT TO ASSIST ENGINEERING WITH SUBGRADE FALLS

BARRACUDA DESIGN TOOL

https://www.iads.com/resources/online-design-tool

BARRACUDA MAX TREATMENT FLOW (BPL TBS)

MODEL	CFS (L/S)
S3	0.23 (6.4)
S4	1.52 (43.0)
S5	3.40 (96.3)
S6	6.08 (172.2)

BARRACUDA MAX CAN BE CONFIGURED WITH AN OIL POUGH OR TRASH GUARD FOR ENHANCED TREATMENT

- KEY BENEFITS OF A BARRACUDA MAX & ISOLATOR PLUS DESIGN**
- ENHANCED SEDIMENT REMOVAL BY COMBINING TWO HEAVY DUTY PRESEN DEVICES
 - EXTENDED MAINTENANCE CYCLES
 - EASY TO INSTALL AND CONFORM TO SPECIFIC SITE CONSTRAINTS
 - ONLINE DESIGN TOOLS ALLOW ENGINEERS TO EASILY CREATE LAYOUTS AND DETAILS

KEY BENEFITS OF STORMTECH CHAMBERS

- LARGE FAMILY OF CHAMBERS TO FIT YOUR SITE
- EARLY CONSIDERABLE FOR IRREGULAR SHAPED BERS
- MEETS PRODUCT REQUIREMENTS OF ASTM F2918 FOR IN AND ASTM F2992 AND DESIGN REQUIREMENTS OF ASTM D2777
- EXCEEDS ASTM TO LHD DESIGN SPECIFICATIONS FOR 100-300 LBS LIVE LOADS & DEEP BURIAL APPLICATIONS
- PATENTED ISOLATOR ROW PLUS FOR LESS PRECIPITANT MAINTENANCE, WATER QUALITY AND LONG TERM PERFORMANCE
- THIRD PARTY VERIFIED PERFORMANCE
- FIELD ENGINEERS AND INTERNAL ENGINEERING SERVICES DEPARTMENT TO ASSIST ENGINEERING WITH LAYOUTS

STORMTECH DESIGN TOOL

https://www.stormtech.com

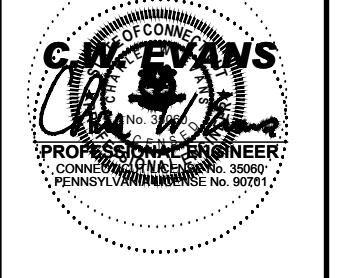
STORMTECH® WOSTD DETAIL

BARRACUDA MAX & ISOLATOR ROW PLUS

DATE: 10/13/2023 DRAWN: RJJ

4460 TULLAMAH BLVD
HILLAND, OH 44821

1 OF 1



Buddy Webb, NCARB, AIA
Architect - Consultant
3057 EAST CAIRO
SPRINGFIELD, MISSOURI 65802
(417) 877-1385 TELEPHONE
(417) 877-9736 FAX

PROJECT:
NEW O'REILLY AUTO PARTS STORE
215 MONROE TURNPIKE
MONROE, CONNECTICUT

O'Reilly AUTO PARTS
CORPORATE OFFICES
233 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65802
(417) 862-2874 TELEPHONE

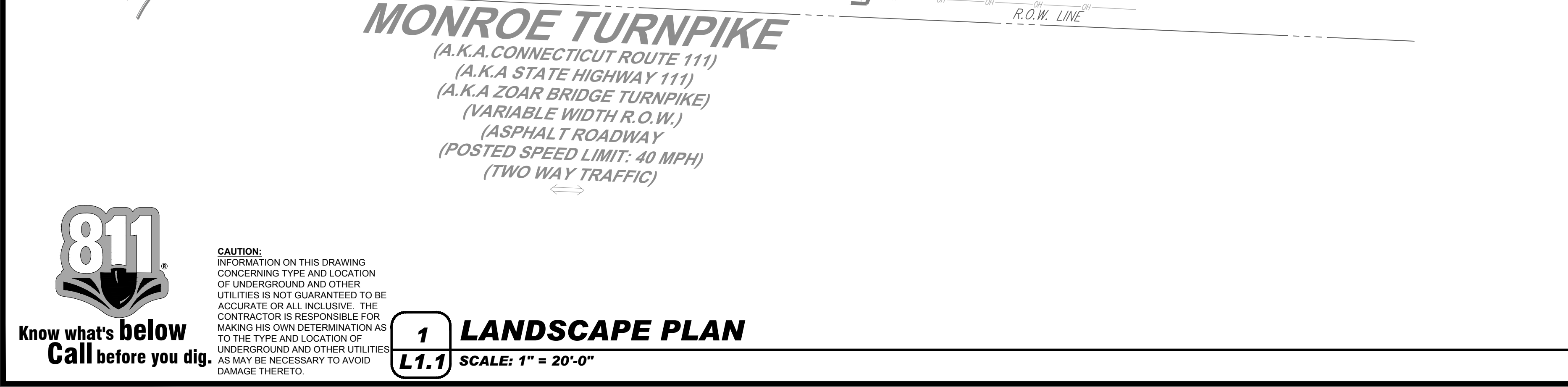
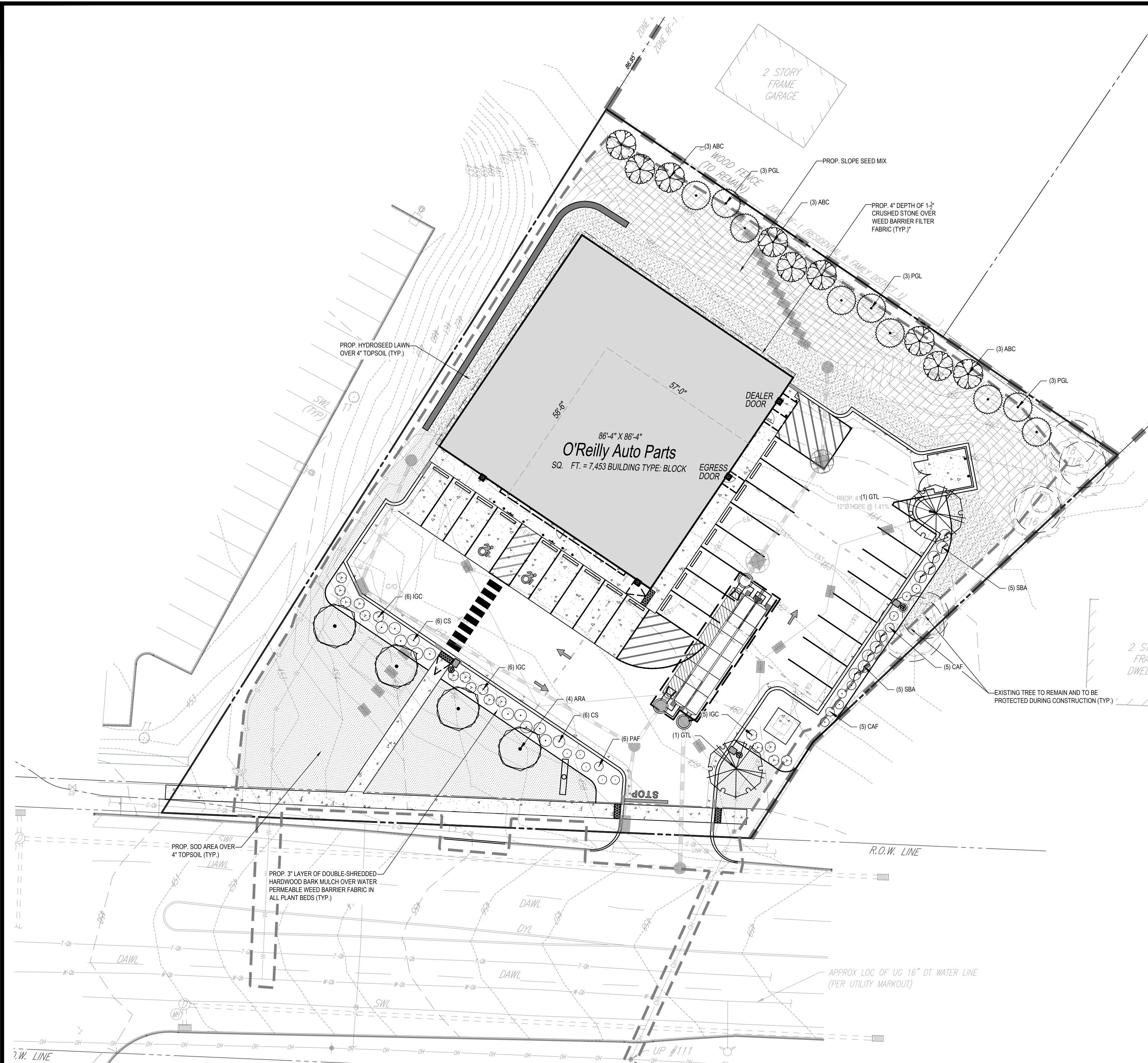
COMM # MR1
DATE: 10-13-2023
REVISION
DATE:

SHEET #

C4.3

BOHLER

PROJECT No.: CTA230039.00 SCALE: AS NOTED
DRAWN BY / CHECKED BY: CM/CE CAD I.D.: CTA230039.00-SPPD-0a

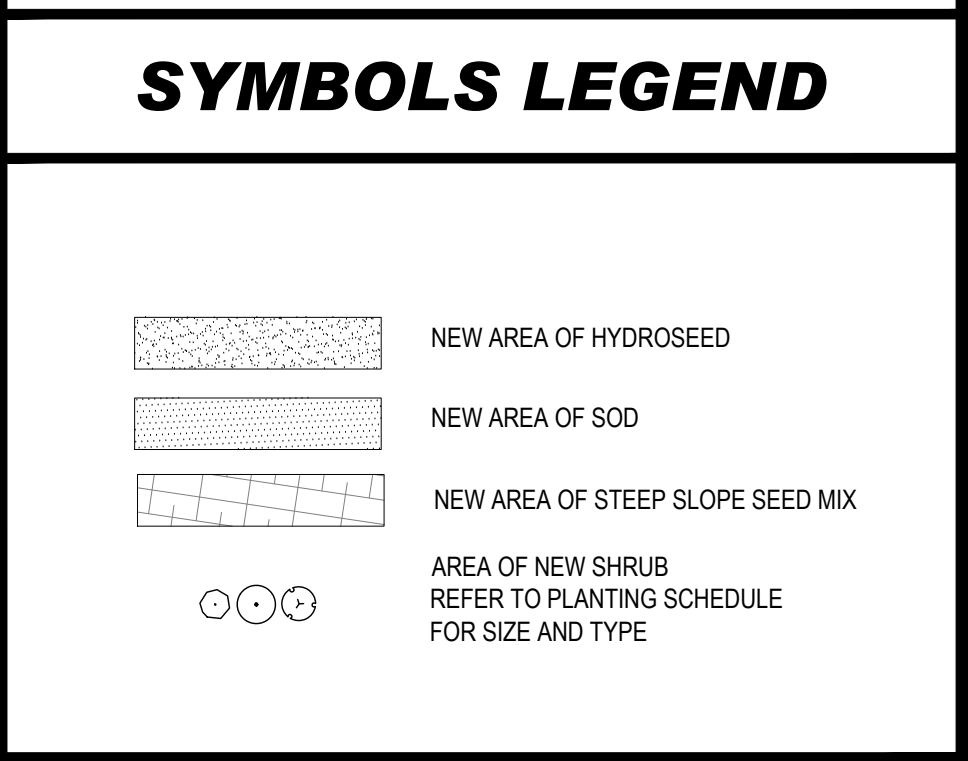


CITY OF MONROE LANDSCAPE REQUIREMENTS			
SECTION	REQUIREMENTS	CALCULATIONS/PROPOSED	
6.2 LANDSCAPING AND LIGHTING	E. LANDSCAPING (1) EXISTING VEGETATION SHALL BE PRESERVED AS MUCH AS POSSIBLE BY MINIMIZING CLEARING AND GRADING IN NEW DEVELOPMENTS AND BY AVOIDING THE DRIP-LINE AREA OF EXISTING TREES TO REMAIN IN ORDER TO PROTECT THE TREE'S ROOT SYSTEM. (2) NEW LANDSCAPING SPECIES SHALL BE SELECTED TO MINIMIZE THE NEED FOR IRRIGATION, PESTICIDES, HERBICIDES, AND FERTILIZERS APPLICATION. (3) A VARIETY OF SHADE TREE SPECIES TO PROVIDE VISUAL INTEREST, TO PROTECT AGAINST THE SAME SPECIES' DIE-OUT OR DISEASE, AND FOR TOLERANCE OF ROAD SALT SHALL BE PROVIDED, LARGE-LEAVED AND/OR FRUITING TREES THAT MAY BE CONSIDERED A NUISANCE SHALL BE AVOIDED. (4) EXISTING TREES TWENTY (20) INCHES OR MORE IN DIAMETER AT BREAST HEIGHT (DBH), OR TREES OF LESSER DIAMETER AS DETERMINED BY THE COMMISSION AND/OR WHICH ARE DEEMED TO BE LOCALLY IMPORTANT, SHALL BE PRESERVED TO THE MAXIMUM EXTENT PRACTICAL. LOCALLY IMPORTANT TREES INCLUDE BUT ARE NOT LIMITED TO: RARE OR UNUSUAL SPECIES, TREES ASSOCIATED WITH HISTORIC EVENTS OR PERSONS, OR TREES THAT CONTRIBUTE TO AN IDENTIFIED SCENIC VIEWSHED. (5) NEW DEVELOPMENT SHALL BE GENEROUSLY LANDSCAPED TO PROVIDE VISUAL INTEREST IN ALL FOUR SEASONS BY INCLUDING DECIDUOUS TREES, CONIFERS, PERENNIALS AND ANNUAL BULBS. LANDSCAPE PLANTS THAT ARE LIMITED TO DECIDUOUS TREES AND SHRUBS LEAVE A BARREN WINTER LANDSCAPE WHICH FAILS TO SCREEN NEW DEVELOPMENT FROM THE ROADWAY AND FROM NEIGHBORING PROPERTIES. THE LANDSCAPING OF A SITE SHALL BLEND IN WITH THE PREVAILING SCALE, APPEARANCE AND NEIGHBORING USES. AN SHALL EFFECTIVELY SCREEN INCOMPATIBLE DEVELOPMENT FROM ITS NEIGHBORS. (7) LANDSCAPE PLANTINGS OF SHRUBS, GROUND COVER, AND SHADE AND EVERGREEN TREES, AS WELL AS PERENNIALS MAY ALSO BE INTEGRATED INTO THE LANDSCAPE PLAN, AND IS ENCOURAGED. (8) LANDSCAPING IN COMBINATION WITH FENCING AND WALLS SHALL BE REQUIRED TO PROVIDE ALL SEASONS SCREENING AND BUFFERING OF PARKING, LOADING AND SERVICES AREAS, AS WELL AS SITE UTILITIES, FROM VIEW OF ADJACENT PROPERTIES AND ROADWAYS. (9) LANDSCAPING SHALL BE USED AND DESIGNED TO CREATE BOUNDARIES, TRANSITIONS, SCREENS AND BUFFERS BETWEEN AREAS OF DIFFERING DEVELOPMENT INTENSITIES, AS WELL AS TO SEPARATE AREAS OF INCOMPATIBLE LAND USES. (10) LANDSCAPING SHALL BE PROVIDED GENERALLY AT THE BASE OF AND SURROUNDING BUILDINGS, STRUCTURES, REFUSE ENCLOSURES, RECYCLING ENCLOSURES, MECHANICAL EQUIPMENT, FREE-STANDING SIGNS AND SIMILAR SITE FEATURES. (12) CERTAIN LANDSCAPING SHALL BE INSTALLED WITH THE FOLLOWING MINIMUM SIZES: DECIDUOUS SHADE TREES 3-3 1/2 INCHES DBH ORNAMENTAL TREES 2-2 1/2 INCHES DBH EVERGREEN SCREEN TREES 10-12 FEET IN HEIGHT EVERGREEN TREES, GENERAL 6-8 FEET IN HEIGHT SHRUBS 2-3 FEET IN HEIGHT/24"-36" SPREAD (13) ALL DISTURBED AREAS TO BE LANDSCAPED SHALL BE RESTORED WITH TOPSOIL, IN AN AMOUNT NOT LESS THAN SIX (6) INCHES UNLESS OTHERWISE PERMITTED BY THE COMMISSION AND SPECIFIED ON THE LANDSCAPE PLAN.	6 TREES PROTECTED NATIVE PLANTS PROVIDED PROVIDED PROVIDED TO EXTENT POSSIBLE PROVIDED PROVIDED PROVIDED PROVIDED PROVIDED PROVIDED PROVIDED PROVIDED PROVIDED	
	6.2.4 LANDSCAPE BUFFERS AND SCREENING	(2) BUFFER LANDSCAPING SHALL INCLUDE RETENTION OF EXISTING VEGETATION, SUPPLEMENTED AND AUGMENTED WITH NEW PLANTINGS, WHERE AT THE DISCRETION OF THE COMMISSION, SUFFICIENT NATURAL VEGETATION EXISTS, IT MAY BE SUBSTITUTED IN TOTAL OR PORTIONS IN LIEU OF REQUIRED NEW LANDSCAPING. PROVIDED SAID LANDSCAPE BUFFER IS EFFECTIVE IN ACHIEVING THE INTENT OF THESE REGULATIONS. (2) LANDSCAPE BUFFERS MAY CONSIST OF A COMBINATION OF DECIDUOUS AND EVERGREEN TREES AND SHRUBS, FENCING, WALLS, AS WELL AS CONSTRUCTED PLANTED BERMS OR NATURAL LANDFORMS. THE SPECIES TYPE AND COMBINATION OF PLANTINGS SHALL ADDRESS LONG-TERM PROVISIONS TO MAINTAIN AN EFFECTIVE BUFFER AND/OR SCREEN AS THE PLANTS GROW AND AGE (I.E. SELECTION OF EVERGREEN TREES AND SHRUBS WHICH REMAIN FULL TO THE GROUND AND INCLUSION OF MID-SIZE EVERGREEN PLANTINGS COMBINED WITH TREE PLANTINGS TO MAXIMIZE UNDERSTORY PROTECTION AS THE TREES MATURE AND LOWER BRANCHES THIN-OUT). (3) SCREENING CONSISTING OF EVERGREEN TREES AND SHRUBS SHALL BE CONFIGURED IN STAGGERED ROWS TO PROVIDE MAXIMIZED PROTECTION.	PROVIDED

SEED MIX KEY	
	PROPOSED HYDROSEED

PLANT SCHEDULE					
CANOPY TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
ARA	4	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG RED MAPLE	2.5' CAL.	B&B
GTL	2	GLEDITSIA TRIACANTHOS VAR. INERMIS	THORNLESS HONEY LOCUST	2.5' CAL.	B&B
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
ABC	9	ABIES CONCOLOR	WHITE FIR	6-8"	B&B
PGL	9	PICEA GLAUCA	WHITE SPRUCE	6-8"	B&B
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
CS	12	CORNUS SERICEA	RED TWIG DOGWOOD	2-3"	B&B
IGC	17	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY	24-30"	CONTAINER
SBA	10	SPIRAEA X BUMALDA 'ANTHONY WATERER'	ANTHONY WATERER SPIREA	18-24"	CONT.
GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
CAF	10	CALAMAGROSTIS X ACUTIFLORA	FEATHER REED GRASS	18-24" HT.	CONT.
PAF	6	PENNISETUM ALOPECUROIDES	FOUNTAIN GRASS	18-24" HT.	CONTAINER

- ### GENERAL NOTES
- (A) REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
 - (B) SITE CONDITIONS BASED UPON SURVEY PROVIDED BY OWNER. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION. NOTIFY ARCHITECT IF EXISTING CONDITIONS DEVIATE SUBSTANTIALLY FROM THOSE INDICATED HEREIN.
 - (C) REFER TO CIVIL DRAWINGS FOR ADDITIONAL REQUIREMENTS. COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
 - (D) ALL PLANTING TYPES SHALL COMPLY WITH LOCAL GOVERNING CODES AND REGULATIONS. CONFORM TO REQUIREMENTS OF PLANT LIST AND TO THE AMERICAN ASSOCIATION OF NURSERYMEN 'AMERICAN STANDARD OF NURSERY STOCK' AND 'HORTICULTURAL STANDARDS' AS TO SPECIES, AGE, SIZE, AND PLANTING RECOMMENDATIONS.
 - (E) NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE ARCHITECT'S PRIOR WRITTEN APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED.
 - (F) PLANT LOCATIONS ARE APPROXIMATE. ADJUST AS NECESSARY TO AVOID CONFLICTS.
 - (G) QUANTITIES OF MATERIALS SHOWN ON LANDSCAPING PLAN TAKE PRECEDENCE OVER QUANTITIES SHOWN ON PLANTING SCHEDULE. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES ON LANDSCAPING PLAN.
 - (H) PROVIDE 4" TOPSOIL AT ALL SOD, SEED AND PLANTING AREAS. GRADE SHALL BE ADJUSTED FOR SOD THICKNESS. REFER TO CIVIL SITE GRADING PLAN FOR SLOPE REQUIREMENTS.
 - (I) WHEN CLAY SOIL IS ENCOUNTERED IN THE ESTABLISHED OF THE LAWN OR THE INSTALLATION OF PLANT MATERIAL IT SHALL BE IMPROVED IN ACCORDANCE WITH STANDARD TRADE PRACTICE.
 - (J) RE-ESTABLISH TURF IN AREAS DISTURBED BY GRADING OR UTILITY TRENCHING IN THE RIGHT-OF-WAY.
 - (K) PRIOR TO INSTALLATION, GENERAL CONTRACTOR TO CONFIRM THAT LIGHT POLES, LANDSCAPING AND UTILITIES DO NOT CONFLICT WITH SIGN LOCATION SHOWN. IF ANY POTENTIAL CONFLICT IS DISCOVERED, GENERAL CONTRACTOR IS TO CONTACT OWNER'S REPRESENTATIVE BEFORE PROCEEDING WITH THE WORK.
- ### KEY NOTES
- 1 AREA OF HYDRO MULCH OR SEED AND STRAW. UNLESS NOTED OTHERWISE, ALL AREAS DISTURBED BY CONSTRUCTION ARE FIRST TO BE FINE GRADED AND THEN FOLLOWED BY HYDRO MULCH OR SEED AND STRAW OVER MIN. 4" TOPSOIL STOCKPILED FROM SITE OR HAULED IN AS REQUIRED.
 - 2 AREA OF SOD, REFER TO NOTE ON SHEET L1.2.
 - 3 3" LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH OVER WATER PERMEABLE WEED BARRIER FABRIC IN ALL PLANT BEDS, REFER TO DETAIL 2/L1.2.
 - 4 LANDSCAPE EDGING, REFER TO DETAIL 2/L1.2. PROVIDE AT ALL GROUND COVER TYPE TRANSITIONS FROM MULCH.



- ### PLAN REFERENCES
- REFER TO SHEET L1.1 FOR LANDSCAPE NOTES & DETAILS
 - THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY

BOHLER

PROJECT No.: CTA230039.00 SCALE: AS NOTED
DRAWN BY / CHECKED BY: CM/CE CAD I.D.: CTA230039.00-SPPD-0a

Buddy Webb, NCARB, AIA
Architect - Consultant
3057 EAST CAIRO
SPRINGFIELD, MISSOURI 65802
(417) 877-1385 TELEPHONE
(417) 877-9736 FAX

PROJECT:
NEW O'REILLY AUTO PARTS STORE
215 MONROE TURNPIKE
MONROE, CONNECTICUT
LANDSCAPE PLAN

O'Reilly AUTO PARTS
CORPORATE OFFICES
233 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65802
(417) 862-2074 TELEPHONE

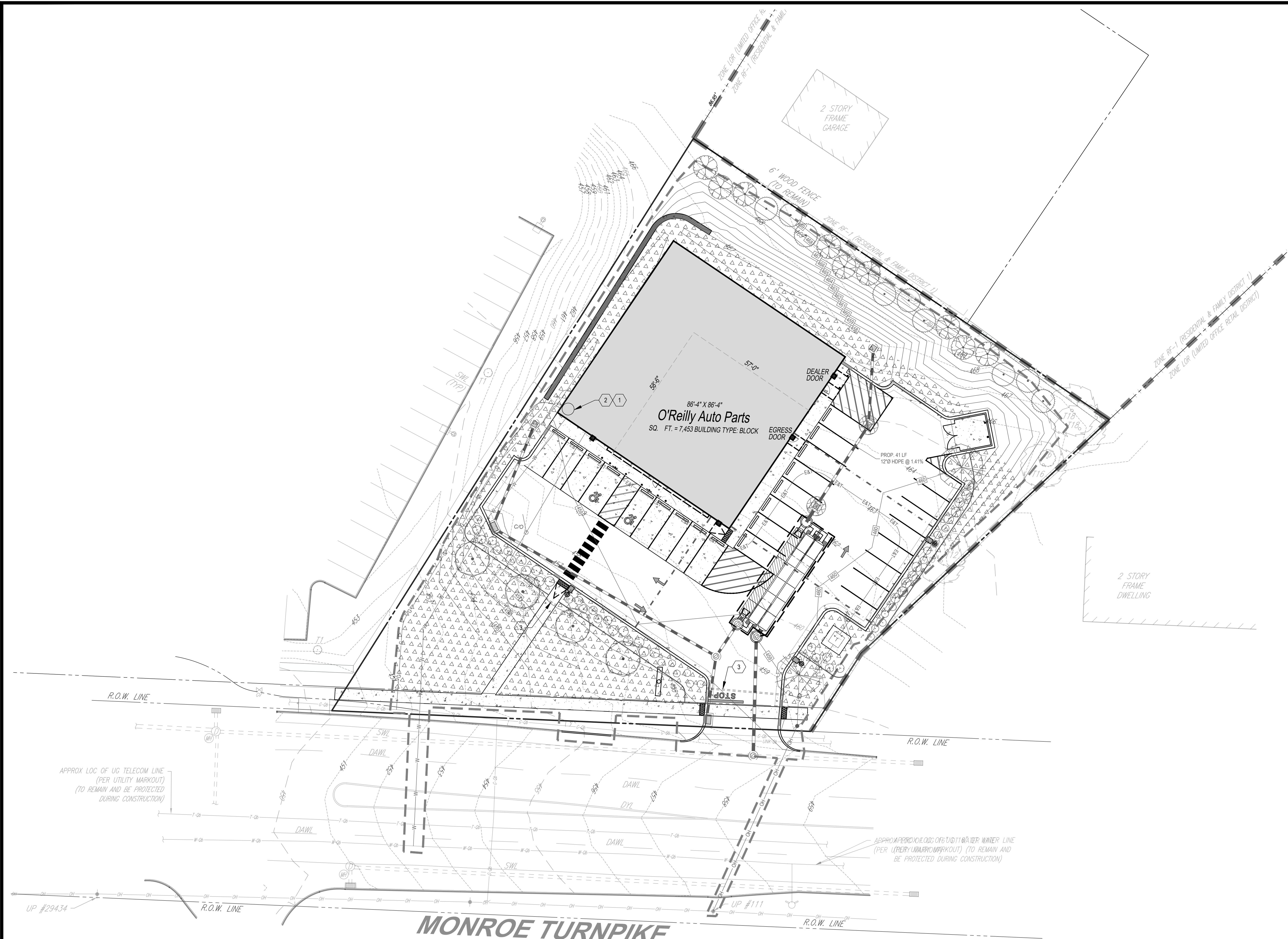
COMM #	MR1
DATE:	10-13-2023
REVISION DATE:	04-27-2021
	07-02-2021
	07-30-2021
SHEET #	L1.1

**Know what's below
Call before you dig**

CAUTION:
INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.

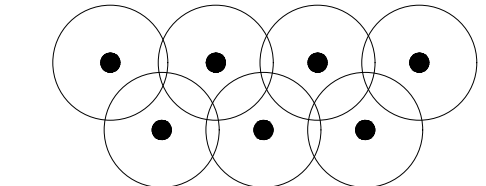
1 LANDSCAPE PLAN
L1.1 SCALE: 1" = 20'-0"

P:\2023\CTA230039.00\CAD\Drawings\Plan Set\Plan\CTA230039.00_LSCP.dwg, 10/13/2023 11:42:00 PM, cmace, Xerox9510:1, pcd, User034, 11



COVERAGE REQUIREMENTS

IRRIGATION HEAD SHALL BE PLACED TO PROVIDE 100% OVERLAP HEAD-TO-HEAD COVERAGE.



KEY NOTES

- 1 APPROXIMATE LOCATION OF LAWN IRRIGATION METER WITH BACK FLOW PREVENTION PER CITY REQUIREMENTS. REFER TO SITE UTILITIES PLAN - SEE MEP PLANS FOR LOCATION
- 2 APPROXIMATE IRRIGATION CONTROLLER LOCATION INSIDE OF BUILDING. PROVIDE FREEZE SENSOR AND RAIN SENSOR ON OUTSIDE OF BUILDING. - SEE MEP PLANS FOR LOCATION
- 3 4" DIAMETER SCHEDULE 40 PVC SLEEVES UNDER PAVEMENT FOR ROUTING OF IRRIGATION SYSTEM. PROVIDE END CAPS AND PULL WIRE.

SYMBOLS LEGEND

NOTE: REFER TO SURVEY SHEET FOR SYMBOLS LEGEND OF EXISTING CONDITIONS.



PLAN REFERENCES

- THIS PLAN TO BE UTILIZED FOR IRRIGATION PURPOSES ONLY
- NOTE: SEE MEP PLANS FOR LOCATIONS OF IRRIGATION METER, IRRIGATION CONTROLLER AND FREEZE AND RAIN SENSOR.



Buddy Webb, NCARB, AIA
Architect - Consultant
 3057 EAST CAIRO
 SPRINGFIELD, MISSOURI 65802
 (417) 877-1385 TELEPHONE
 (417) 877-9736 FAX

PROJECT:
NEW O'REILLY AUTO PARTS STORE
215 MONROE TURNPIKE
MONROE, CONNECTICUT
IRRIGATION COVERAGE PLAN

O'Reilly AUTO PARTS
 CORPORATE OFFICES
 233 SOUTH PATTERSON
 SPRINGFIELD, MISSOURI 65802
 (417) 862-2674 TELEPHONE

COMM #	MR1
DATE:	10-13-2023
REVISION DATE:	
SHEET #	

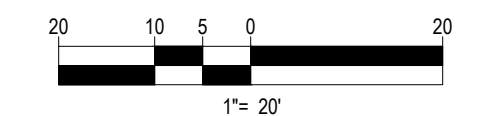
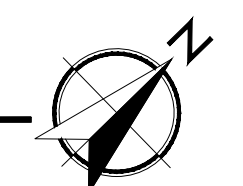
L1.3

MONROE TURNPIKE
 (A.K.A. CONNECTICUT ROUTE 111)
 (A.K.A. STATE HIGHWAY 111)
 (A.K.A. ZOAR BRIDGE TURNPIKE)
 (VARIABLE WIDTH R.O.W.)
 (ASPHALT ROADWAY)
 (POSTED SPEED LIMIT: 40 MPH)
 (TWO WAY TRAFFIC)



CAUTION:
 INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.

1 LANDSCAPE IRRIGATION PLAN
L1.3 SCALE: 1" = 20'-0"



BOHLER

PROJECT No.: CTA230039.00 SCALE: AS NOTED
 DRAWN BY / CHECKED BY: CM/CE CAD I.D.: CTA230039.00-SPPD-04

P:\2023\CTA230039.00\CAD\Drawings\Plan Set\Civil Site Plan\CTA230039.00_SPPD.dwg, 34.1.3 (10/13/2023, 4:28:00 PM), cmack, xno0510-1.plt, User38, 11

EXCEPTIONS:

- 6 A MORTGAGE FROM ZWALLY REAL ESTATE, LLC TO NEWTOWN SAVINGS BANK IN THE ORIGINAL PRINCIPAL AMOUNT OF \$380,250.00 DATED MARCH 3, 2016 AND RECORDED MARCH 7, 2016 IN VOLUME 1910 AT PAGE 226 OF THE MONROE LAND RECORDS - NOT SURVEY RELATED.
7 ABSOLUTE ASSIGNMENT OF LEASES FROM ZWALLY REAL ESTATE, LLC TO NEWTOWN SAVINGS BANK DATED MARCH 3, 2016 AND RECORDED MARCH 7, 2016 IN VOLUME 1910 AT PAGE 252 OF THE MONROE LAND RECORDS - NOT SURVEY RELATED.
8 TEMPORARY ACCESS AND GRADING EASEMENT BETWEEN ZWALLY REAL ESTATE, LLC (GRANTOR) AND 205 MONROE TURNPIKE, LLC (GRANTEE) DATED FEBRUARY 10, 2020 AND RECORDED FEBRUARY 12, 2020 IN VOLUME 2071 AT PAGE 225 OF THE MONROE LAND RECORDS - 10' WIDE GRADING AND CONSTRUCTION EASEMENT SHOWN.

EXHIBIT A:

ALL THAT CERTAIN PIECE OR PARCEL OF LAND TOGETHER WITH ALL OF THE BUILDINGS AND IMPROVEMENTS THEREON, SITUATED IN THE TOWN OF MONROE, COUNTY OF FAIRFIELD AND STATE OF CONNECTICUT AND BEING KNOWN AND DESIGNATED AS PARCEL NUMBER ONE AS SHOWN ON "MAP OF PROPERTY OF CLARA W. LEWIS", MADE BY JOHN J. CURLEY, REGISTERED LAND SURVEYOR, DATED DECEMBER 1, 1969, WHICH MAP IS ON FILE IN THE MONROE TOWN CLERK'S OFFICE AS MAP NO. 970, SAID PARCEL BEING MORE PARTICULARLY BONDED AND DESCRIBED AS FOLLOWS:

NORTHERLY: BY THE NORTHERLY PARCEL OF LAND NOW OR FORMERLY OF CLARA W. LEWIS, AS SHOWN ON SAID MAP, 206.47 FEET;
EASTERLY: BY LAND NOW OR FORMERLY OF CLIFFORD H. AND DOROTHY F. HUDSON, BY AN IRREGULAR LINE, A TOTAL DISTANCE OF 190.30 FEET;
SOUTHERLY: ALONG MONROE TURNPIKE (ROUTE 111) A TOTAL DISTANCE OF 200.0 FEET;
WESTERLY: BY LAND NOW OR FORMERLY OF O. ELMO QUINN AND MARILYN M. QUINN, AS SHOWN IN SAID MAP, 292.80 FEET.

EXCEPTING THEREFROM SO MUCH THEREOF AS WAS TAKEN BY THE STATE OF CONNECTICUT AS DESCRIBED IN THE CERTIFICATE OF TAKING DATED AUGUST 21, 1992 RECORDED AUGUST 27, 1992 IN VOLUME 547 AT PAGE 85 AS AMENDED BY CERTIFICATE DATED MARCH 12, 1993 RECORDED MARCH 23, 1993 IN VOLUME 572 AT PAGE 13 OF THE TOWN OF MONROE LAND RECORDS.

AS-SURVEYED DESCRIPTION:

METES AND BOUNDS DESCRIPTION
MAP 14, LOT 62
LANDS NOW OR FORMERLY
ZWALLY REAL ESTATE, LLC
CITY OF MONROE, FAIRFIELD COUNTY
STATE OF CONNECTICUT
BEGINNING AT A POINT ON THE NORTHWESTERLY RIGHT-OF-WAY OF MONROE TURNPIKE (A.K.A. CONNECTICUT ROUTE 111, A.K.A. STATE HIGHWAY 111, A.K.A. ZOAR BRIDGE TURNPIKE, VARIABLE WIDTH RIGHT-OF-WAY) AND FROM SAID POINT OF BEGINNING RUNNING, THENCE:

- 1. ALONG THE DIVIDING LINE OF MAP 14, LOT 62 AND MAP 6, LOT 10, LANDS NOW OR FORMERLY TWO HUNDRED FIVE MONROE TPKE, LLC, NORTH 21 DEGREES - 10 MINUTES - 17 SECONDS WEST, A DISTANCE OF 291.94 FEET TO A POINT, THENCE;
2. ALONG THE COMMON DIVIDING LINE BETWEEN MAP 14, LOT 62 AND MAP 14, LOT 69 AND MAP 14, LOT 68, NORTH 70 DEGREES - 39 MINUTES - 15 SECONDS EAST, A DISTANCE OF 209.12 FEET TO A POINT, THENCE;
3. SOUTH 06 DEGREES - 45 MINUTES - 10 SECONDS EAST, A DISTANCE OF 141.87 FEET TO A POINT, THENCE;
4. SOUTH 20 DEGREES - 37 MINUTES - 22 SECONDS EAST, A DISTANCE OF 38.74 FEET TO A POINT, THENCE;
5. ALONG THE NORTHWESTERLY RIGHT-OF-WAY LINE OF MONROE TURNPIKE, SOUTH 39 DEGREES - 00 MINUTES - 44 SECONDS WEST, A DISTANCE OF 199.77 FEET TO THE POINT AND PLACE OF BEGINNING.

CONTAINING 42,298 SQUARE FEET OR 0.971 ACRE

LEGEND

- EXISTING CONTOUR
EXISTING SPOT ELEVATION
EXIST. TOP OF CURB ELEVATION
EXIST. BOTTOM OF CURB ELEVATION
EXIST. TOP OF WALL ELEVATION
EXIST. BOTTOM OF WALL ELEVATION
OVERHEAD WIRES
APPROX. LOC. UNDERGROUND CABLE LINE
APPROX. LOC. UNDERGROUND NATURAL GAS LINE
APPROX. LOC. UNDERGROUND WATER LINE
SUBSURFACE UTILITY QUALITY LEVEL B
HYDRANT
WATER VALVE
GAS VALVE
UNKNOWN MANHOLE
SANITARY/SEWER MANHOLE
DRAINAGE/STORM MANHOLE
CATCH BASINS
UTILITY POLE
SIGN
MAIL BOX
AREA LIGHT
DECIDUOUS TREE & TRUNK SIZE
PARKING SPACE COUNT
EDGE OF PAVEMENT
LANDSCAPED AREA
MASONRY BLOCK WALL
TYPICAL
SOLID WHITE LINE
SOLID BLUE LINE
DOUBLE YELLOW LINE
DASHED WHITE LINE
BUILDING
EVIDENCE FOUND
UNKNOWN TERMINUS
TITLE REPORT EXCEPTION

REFERENCES:

- 1. THE TAX ASSESSOR'S MAP OF TOWN OF MONROE, FAIRFIELD COUNTY, STATE OF CONNECTICUT, MAP 14.
2. MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, FAIRFIELD COUNTY, CONNECTICUT (ALL JURISDICTIONS), PANEL 286 OF 626; MAP NUMBER 09001C 0286 F, EFFECTIVE DATE: JUNE 18, 2010.
3. FIELD SKETCH ENTITLED "215MONROETPKE-MONROE-CT" SUE NUMBER 08-220684-00 PREPARED BY CONTROL POINT ASSOCIATES, INC. DATE 04/19/2023.
4. IMAGES DEPICTING UNDERGROUND WATER LINES PROVIDED BY AQUARIUM WATER COMPANY.
5. IMAGE DEPICTING UNDERGROUND TELECOMMUNICATIONS LINES PROVIDED BY CHARTER SPECTRUM.
6. IMAGE DEPICTING UNDERGROUND FIBER OPTIC LINES PROVIDED BY CROWN CASTLE.
7. IMAGES DEPICTING UNDERGROUND ELECTRIC LINES PROVIDED BY EVERSOURCE.
8. IMAGES DEPICTING UNDERGROUND CABLE LINES PROVIDED BY FRONTIER.
9. MAP ENTITLED "MAP OF PROPERTY OF CLARA W. LEWIS, MONROE, CONN. DATED DEC. 1, 1969. FILED WITH MONROE TOWNSHIP AS PLAN NO. 970.
10. MAP ENTITLED "MAP OF PROPERTY OF HENRY R. RYDECKI, MONROE, CONN. DATED OCT. 17, 1973. FILED WITH MONROE TOWNSHIP AS PLAN NO. 1128.
11. MAP ENTITLED "EASEMENT MAP, TOWN OF MONROE, MAP SHOWING EASEMENTS ACQUIRED FROM 205 MONROE TURNPIKE, LLC BY THE STATE OF CONNECTICUT, DEPARTMENT OF TRANSPORTATION, MONROE TURNPIKE (CT RTE. 111), DATED SEPTEMBER 6, 2019, PREPARED BY THE BUREAU OF ENGINEERING AND CONSTRUCTION.
12. MAP ENTITLED "RIGHT OF WAY SURVEY, STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION, RIGHT OF WAY MAP, TOWN OF MONROE, MONROE TURNPIKE, FROM TRUMBULL TOWN LINE NORTHERLY ABOUT 450 FEET" DATED 04-98, NUMBER 84-90, SHEET 1 OF 4.
13. MAP ENTITLED "STATE OF CONNECTICUT DEPT. OF TRANSPORTATION, RECONSTRUCTION OF CONN. ROUTE 111" PROJ. NO. 144-159, YEAR 1991, SHEET 30A OF 97, LAST REVISED 3-26-93.
14. MAP ENTITLED "ZONING MAP, TOWN OF MONROE, FAIRFIELD COUNTY, CONNECTICUT" EFFECTIVE DATE APRIL, 29, 2022, REVISION UPDATE MAY 18, 2022.

ZONING TABLE
ZONING INFORMATION
LOR (LIMITED OFFICE RETAIL) DISTRICT
TOWN OF MONROE ZONING REGULATIONS §5.1.5
BULK REQUIREMENTS
ITEM REQUIRED
MIN LOT AREA 1.5 AC. (63,340 SF)
MIN FRONTAGE 150 FEET
MIN SQUARE* 140 x 140 FEET
MIN FRONT YARD 50 FEET
MIN RIGHT-OF-WAY RESERVE** 15 FEET
MIN YARD AT RESIDENTIAL ZONE BOUNDARY 50 FEET
MIN SIDE YARD 30 FEET
MIN REAR YARD 30 FEET
MAX BUILDING HEIGHT 2.5 STORIES / 35 FEET
MAX BUILDING COVERAGE 25%
MIN NON-RESIDENTIAL FLOOR AREA 2,400 SF (NEW CONSTRUCTION)
*EACH LOT SHALL BE OF SUCH SHAPE THAT A SQUARE ONE-HUNDRED-FORTY (140) FEET ON EACH SIDE CAN BE PLACED ENTIRELY WITHIN THE LOT LINES, WITH ONE (1) SIDE PARALLEL TO AND ON THE LOT SIDE OF THE STREET LOT LINE.
**A MINIMUM OF FIFTEEN (15) FEET IS RESERVED FOR EXPANSION OF THE ROAD RIGHT-OF-WAY FOR FUTURE CONVEYANCE, AS MAY BE REQUIRED, TO THE CONTROLLING AGENCY IN CASE OF NEED FOR ROAD WIDENING OR RELATED IMPROVEMENTS. THIS AREA MAY NOT BE INCLUDED WITHIN THE STREET YARD REQUIREMENT. SHOULD THIS AREA BE USED FOR RIGHT-OF-WAY EXPANSION, THE RESERVE REQUIREMENT SHALL NOT BE DEEMED TO HAVE BECOME NONCONFORMING BY SUCH USE.
NOTE: ZONING CRITERIA IDENTIFIED HEREON ARE BASED UPON PRELIMINARY RESEARCH AND PRESENTED FOR REFERENCE ONLY. SAME MUST BE CONFIRMED WITH LOCAL ZONING OFFICIAL AND LEGAL COUNSEL TO CONFIRM VALIDITY.

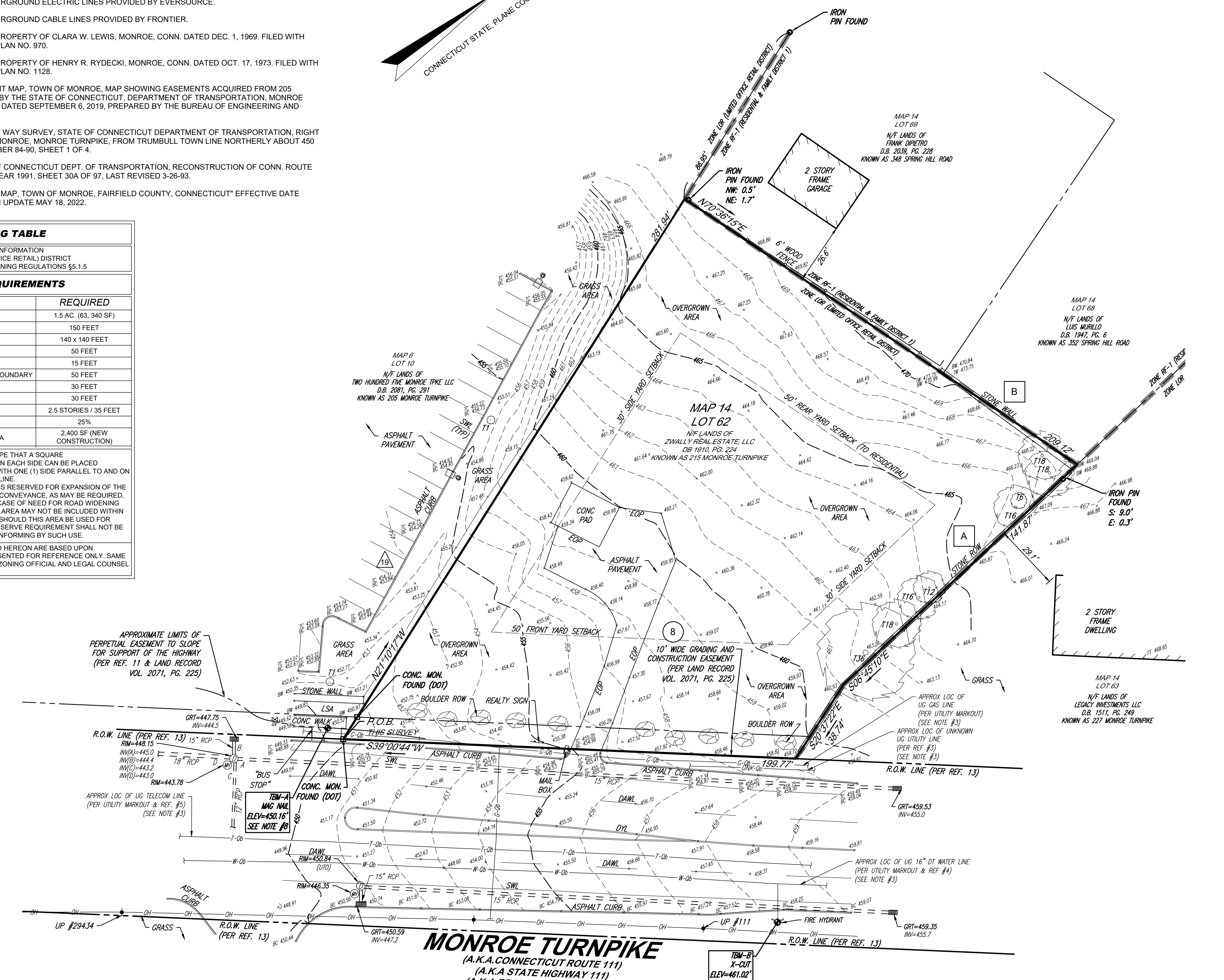
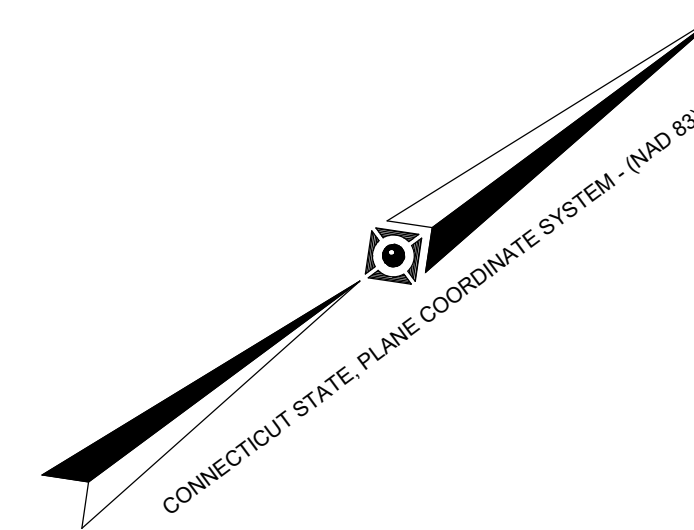
TABLE OF SIGNIFICANT OBSERVATIONS

- A STONE ROW MEANDERS ON AND ACROSS EASTERLY PROPERTY LINE.
B STONE ROW MEANDERS ON AND ACROSS NORTHERLY PROPERTY LINE.
NOTE: THESE ARE THE SIGNIFICANT OBSERVATIONS NOTED DURING THE PROCESS OF CONDUCTING THE FIELD WORK. THERE MAY BE OTHERS NOT RECOGNIZED BY THE SURVEYOR.

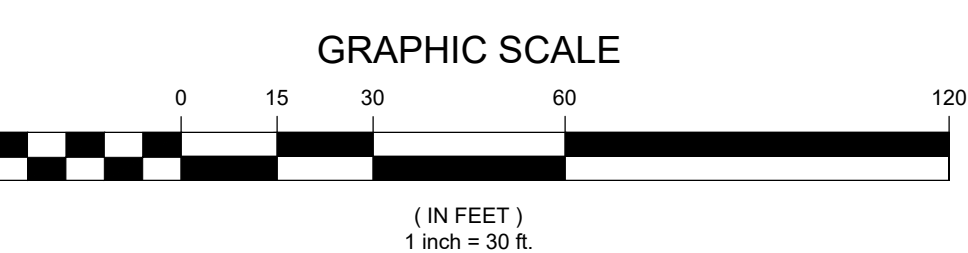
UTILITIES:

THE FOLLOWING COMPANIES WERE NOTIFIED AND REQUESTED INFORMATION REGARDING THE LOCATION OF UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST.

UTILITY COMPANY PHONE NUMBER
FRONTIER (203) 238-5019
LUMEN (877) 453-8353
AQUARIUM WATER COMPANY (203) 605-6498
SPECTRUM (203) 905-7801
CROWN CASTLE (724) 743-6065
EVERSOURCE ENERGY (508) 948-3000
HEALTH DEPARTMENT (203) 452-2818



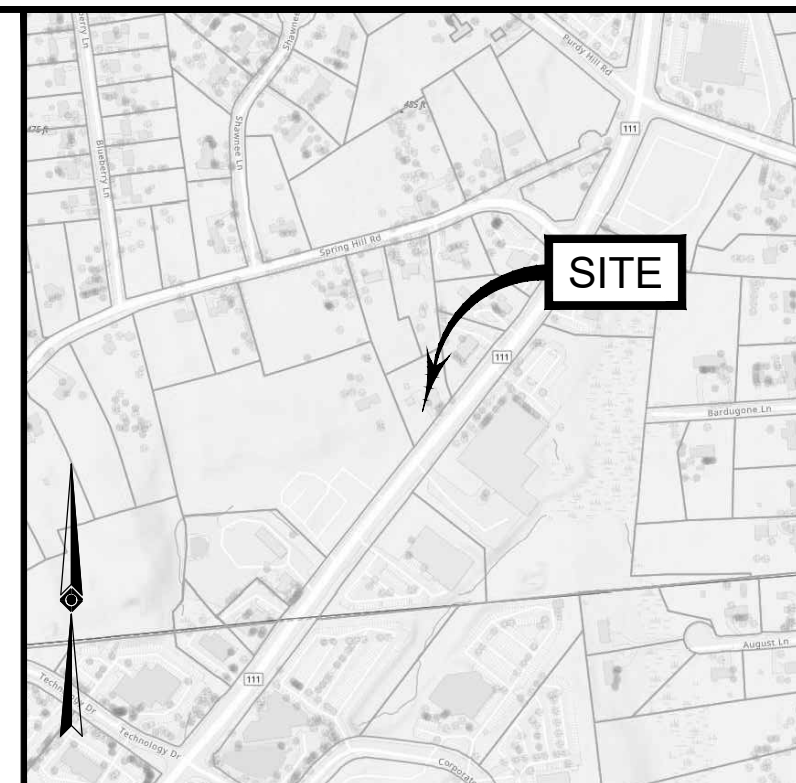
MONROE TURNPIKE
(A.K.A. CONNECTICUT ROUTE 111)
(A.K.A. STATE HIGHWAY 111)
(A.K.A. ZOAR BRIDGE TURNPIKE)
(VARIABLE WIDTH R.O.W.)
(ASPHALT ROADWAY)
(POSTED SPEED LIMIT: 40 MPH)
(TWO WAY TRAFFIC)



THIS SURVEY IS CERTIFIED TO: O'REILLY AUTOMOTIVE STORES, INC., A MISSOURI CORPORATION CHICAGO TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(a), 6(b), 7(a), 7(b), 7(c), 8, 9, 11(a), 11(b), 13 & 14 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 04-18-23.

CHRISTOPHER R. MICHAUD, PLS
CONNECTICUT PROFESSIONAL LAND SURVEYOR #70283



NOTES:

- 1. THIS IS A BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED IN ACCORDANCE WITH THE STANDARDS OF A CLASS A-2 AND T-2 SURVEY AS DEFINED IN THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTION 20-300B, EFFECTIVE DATE JUNE 21, 1996, PARTIALLY AMENDED OCTOBER 26, 2018. THIS SURVEY IS ALSO PREPARED IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT, ADOPTED ON SEPTEMBER 26, 2019, BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS INC., THE BOUNDARY LINES SHOWN HEREON ARE BASED UPON A RESURVEY OF THE SUBJECT PROPERTY.
2. PROPERTY KNOWN AS LOT 62 AS SHOWN ON THE TOWN OF MONROE, FAIRFIELD COUNTY, STATE OF CONNECTICUT, MAP NO. 14. AREA = 42,298 SQUARE FEET OR 0.971 ACRES.
3. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE ASBUILT PLANS AND UTILITY MARK-OUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
THE SOURCE OF UNDERGROUND UTILITIES ARE SHOWN UTILIZING A QUALITY LEVEL SYSTEM:
QUALITY LEVEL D - UTILITIES SHOWN BASED UPON REFERENCE MAPPING OR ORAL HISTORY. NOT FIELD VERIFIED.
QUALITY LEVEL C - LOCATION OF UTILITY SURFACE FEATURES SUPPLEMENTS REFERENCE MAPPING. INCLUDES MARKOUT BY OTHERS.
QUALITY LEVEL B - UTILITY LOCATION DATA IS COLLECTED THROUGH GEOPHYSICAL SENSING TECHNOLOGY TO SUPPLEMENT SURFACE FEATURES AND OR REFERENCE MAPPING. INCLUDES MARKOUT BY CONTROL POINT ASSOCIATES, INC.
QUALITY LEVEL A - HORIZONTAL AND VERTICAL LOCATION OF UTILITIES ARE OBTAINED USING VACUUM EQUIPMENT EXCAVATION OR OTHER METHODS TO EXPOSE THE UTILITY. LOCATION SHOWN AT SINGLE POINT WHERE EXCAVATION OCCURRED UNLESS UTILITY WAS LOCATED PRIOR TO FILLING.
ALL FOUR TYPES MAY NOT BE PRESENT ON THIS SURVEY.
4. THIS PLAN IS BASED ON INFORMATION PROVIDED BY CLIENT, A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
5. THIS SURVEY WAS PREPARED WITH REFERENCE TO A TITLE REPORT PREPARED BY CHICAGO TITLE INSURANCE COMPANY, HAVING A COMMITMENT NO. 11071822, WITH A COMMITMENT DATE OF 04/13/2023. SEE EXCEPTIONS LIST FOR SURVEY RELATED EXCEPTIONS THAT APPEAR IN SCHEDULE B, PART II.
6. EXISTING FIRM: BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% CHANCE FLOODPLAIN) PER MAP REF #2.
7. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
8. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS).
TEMPORARY BENCH MARKS SET:
TBM-A: MAG NAIL SET IN CONC WALK, ELEVATION= 450.16'
TBM-B: X-CUT SET ON FIRE HYDRANT, ELEVATION= 461.02'
PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.
9. THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
10. SURVEYED PROPERTY LOCATED IN ZONE LOR (LIMITED OFFICE RETAIL DISTRICT) & MAIN STREET DESIGN DISTRICT PER REF. 14.
11. NO DESIGNATED PARKING SPACES WERE OBSERVED AT TIME OF SURVEY.
12. NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES HAVE BEEN MADE AVAILABLE TO THE SURVEYOR BY THE CONTROLLING JURISDICTION.
13. THE CLOSEST FIRE HYDRANT IS LOCATED NEAR THE WESTERLY RIGHT OF WAY OF MONROE TURNPIKE, APPROXIMATELY 73 FEET FROM THE NORTHWESTERLY CORNER OF THE SURVEYED PROPERTY.

FIELD DATE 04-18-23
FIELD BOOK NO. 23-04
FIELD BOOK PG. 83, 84
FIELD CREW B.S.B.
DRAWN P.V.
REVIEWED K.W.B.A.R.
APPROVED G.L.H.
DATE 05-08-2023
SCALE 1" = 30'
FILE NO. 03-220458-00
DWS. NO. SV1

CONTROL POINT ASSOCIATES, INC. - ALL RIGHTS RESERVED. ORIGINAL PRODUCT OR SERVICE PROVIDED BY CONTROL POINT ASSOCIATES, INC. IS PROTECTED BY COPYRIGHT AND TRADEMARK LAWS. THIS DOCUMENT IS UNLAWFULLY REPRODUCED WITHOUT THE WRITTEN PERMISSION OF CONTROL POINT ASSOCIATES, INC.