

Monroe Senior Housing

195–211 Main Street
Monroe, CT

September 22, 2020

Town Comment Responses October 28, 2020

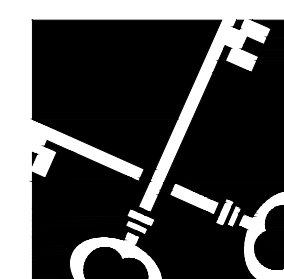


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Owner:

Connecticut Housing Partners
1235 Huntington Turnpike
Trumbull, CT 06611
860-359-6940



Architect:

Crosskey Architects LLC
750 Main Street, Suite 150
Hartford, CT 06103
860-724-3000

Landscape Architect:

todesign

SITE DESIGN
LANDSCAPE ARCHITECTURE
URBAN PLANNING

114 West Main Street
Suite 202
New Britain, CT 06051
860-612-1700

Civil Engineer:



SPATH-BJORKLUND ASSOCIATES, INC.
PO Box 324, Monroe, Connecticut 06468
Phone: 203-268-5216

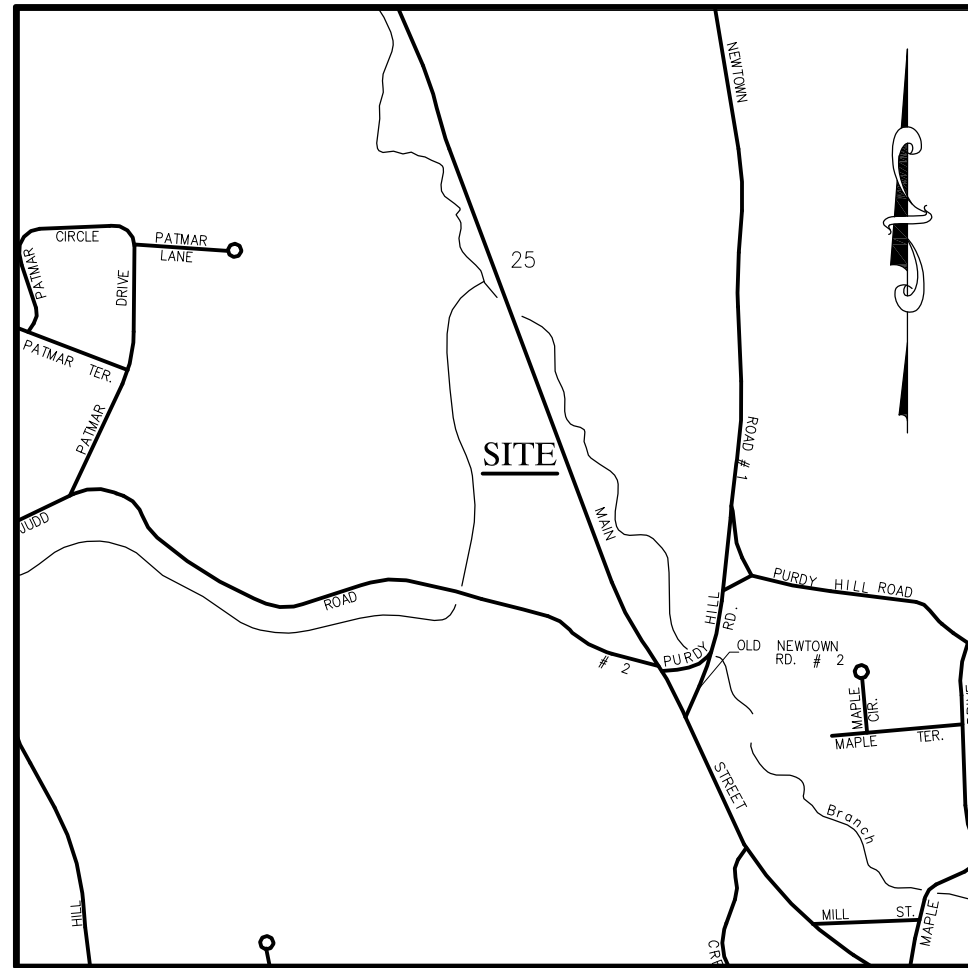
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Monroe, CT 06468-0324
203-268-5216

Structural Engineer:

PES Structural Engineers
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West Hartford, CT 06117
860-479-1737

Mech./Electrical/Plumbing Engineer:

Acorn Consulting Engineers
244 Farms Village Road
P.O. Box 311
West Simsbury, CT 06092
860-651-1949



Vicinity Map
Scale: 1"=1000'

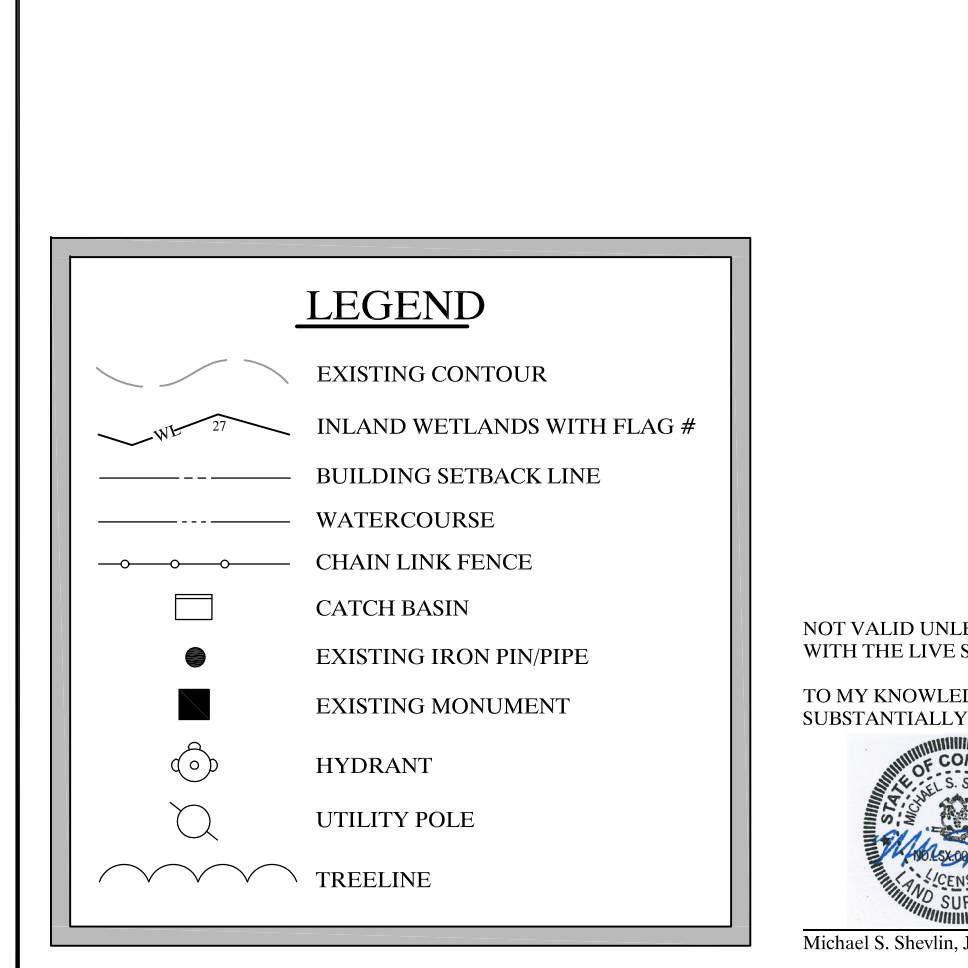
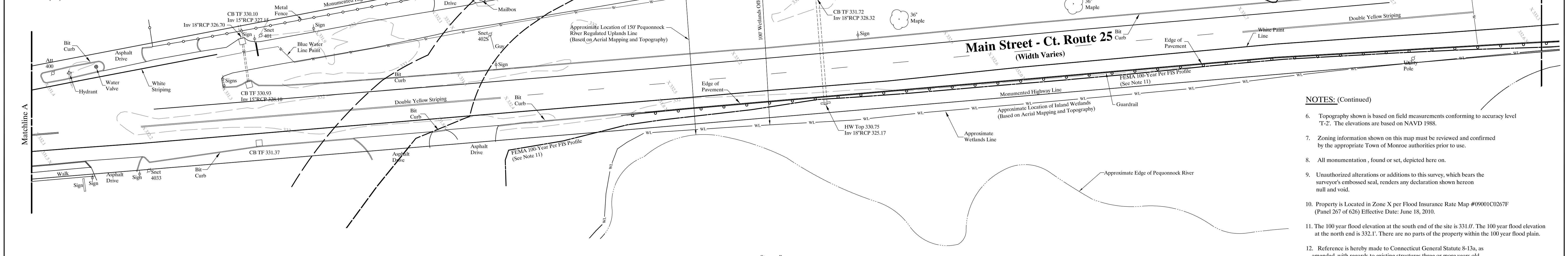
NOTES:

- This survey and map has been prepared in accordance with the Sections 20-300b-1 through 20-300b-20 of the Regulations of Connecticut State Agencies - "Minimum Standards for Survey and Maps in the State of Connecticut" as endorsed by the Connecticut Association of Land Surveyors, Inc. It is a "Data Accumulation Plan" based on a Resurvey and conforms to Horizontal Accuracy Class A-2 and Topographical Class T-2.
- Reference is made to the following documents:
 - "Property Survey prepared for Graystone Group Limited, Limited Partnership; 195, 201, and 211 Main Street (Rte. 25), Monroe, Connecticut; July 13, 2004; revised to September 9, 2004; prepared by Ochman Associates, Inc."
 - "Topographic Map prepared for BHC Company; Monroe, Ct.; Sept. 11, 1996; prepared by Ochman Associates, Inc."
 - "Connecticut State Highway Department Right of Way Map; Town of Monroe Bridgeport-Newtown Road From The Trumbull Town Line Northerly About 6,800 Feet; Route No.122; Scale: 1"=40'; Dated: 1931"
 - Volume 651 Page 153; Volume 610 Page 13; Volume 609 Page 350.
 - Record Map Numbers 093, and 1846.
- The north arrow is based on the map referenced in note 2A.
- The underground utilities shown, if any, have been located from visible field survey information. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although the surveyor does hereby declare that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.
- Property is Located in Zone B-1.

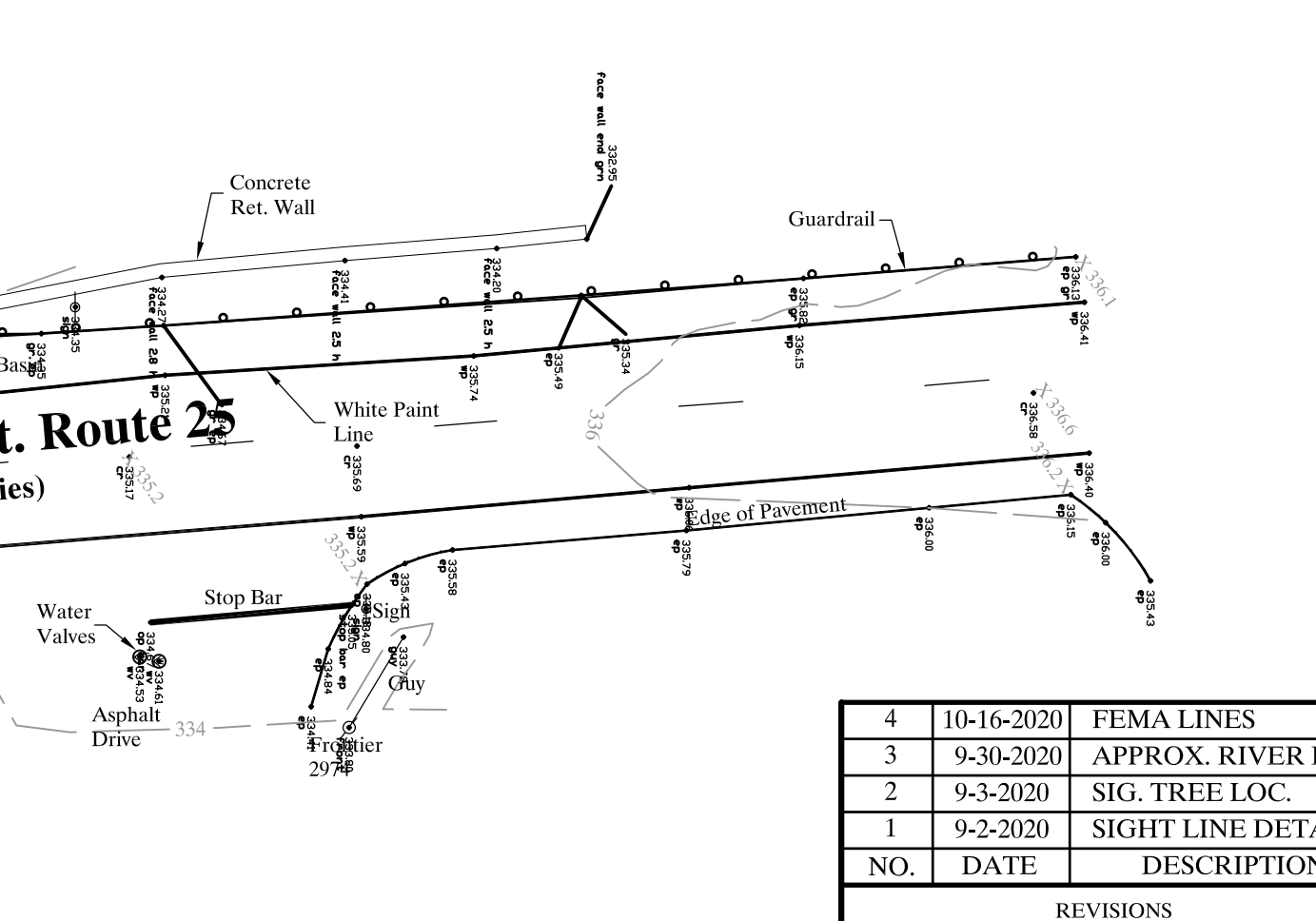
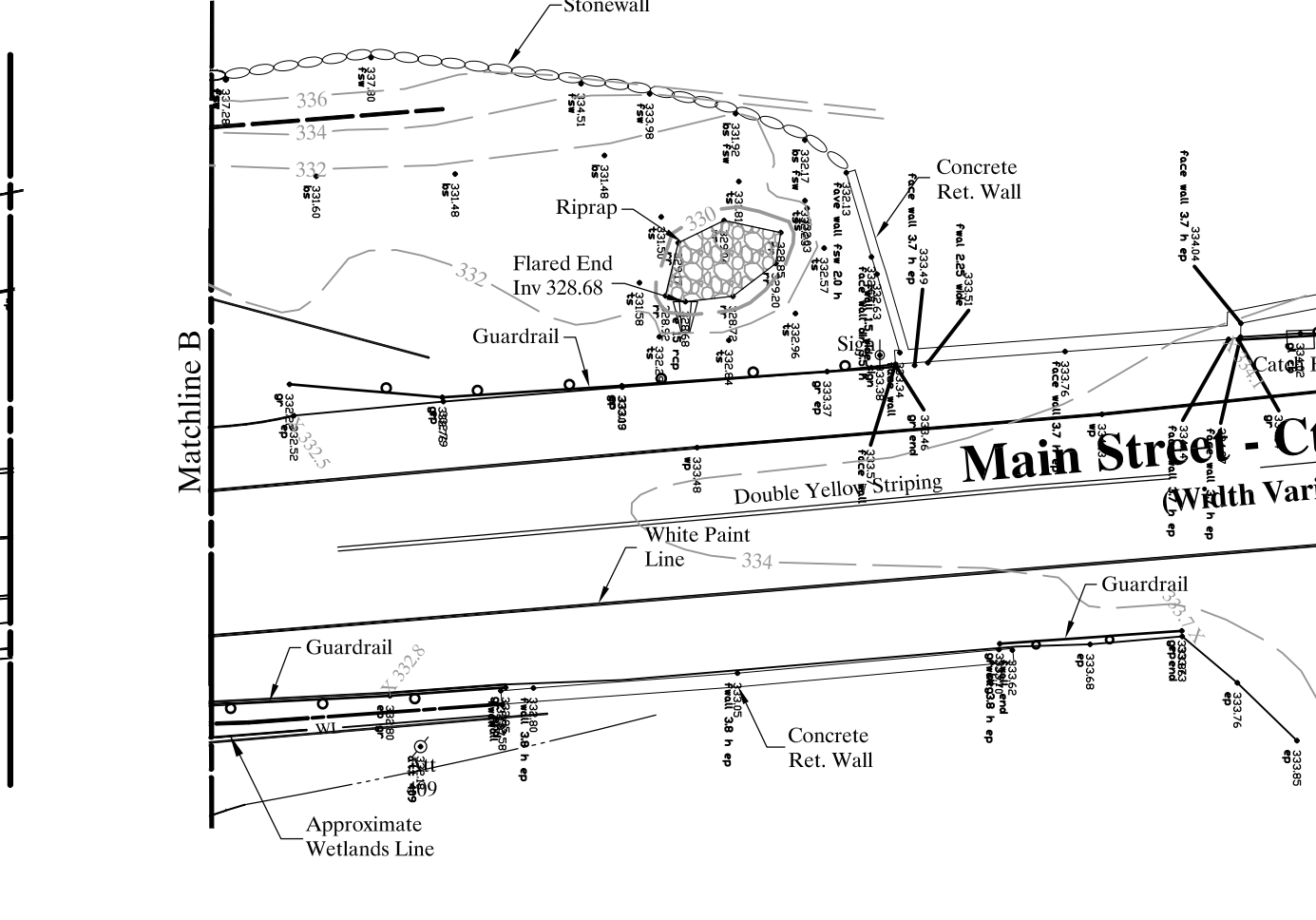
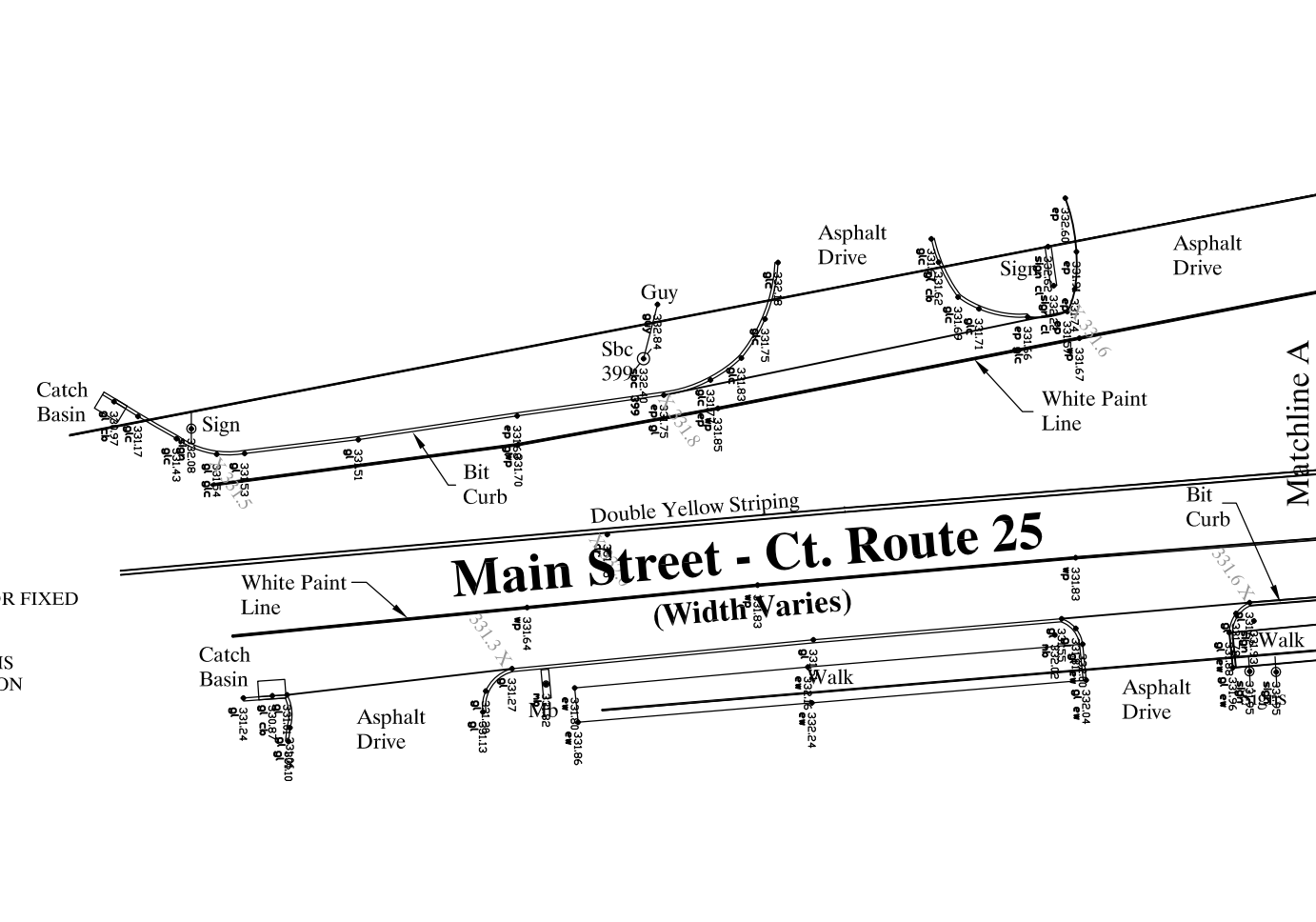
RESIDENCE ZONE B-1 (195 MAIN STREET)	MINIMUM REQUIRED MAXIMUM ALLOWED	EXISTING CONDITIONS	PROPOSED CONDITIONS	AS-BUILT CONDITIONS	RESIDENCE ZONE B-1 (201 MAIN STREET)	MINIMUM REQUIRED MAXIMUM ALLOWED	EXISTING CONDITIONS	PROPOSED CONDITIONS	AS-BUILT CONDITIONS	RESIDENCE ZONE B-1 (211 MAIN STREET)	MINIMUM REQUIRED MAXIMUM ALLOWED	EXISTING CONDITIONS	PROPOSED CONDITIONS	AS-BUILT CONDITIONS
Minimum Lot Area	43,560 SF	15,434 SF			Minimum Lot Area	43,560 SF	29,705 SF			Minimum Lot Area	43,560 SF	45,142 SF		
Minimum Lot Frontage	125'	100.15'			Minimum Lot Frontage	125'	188.57'			Minimum Lot Frontage	125'	296.55'		
Minimum Square	125' x 125'	99' x 125'			Minimum Square	125' x 125'	125' x 125'			Minimum Square	125' x 125'	125' x 125'		
Setback From Front Property Line	50'	68.7 +/-			Setback From Front Property Line	50'	68.2 +/-			Setback From Front Property Line	50'	N.A.		
Setback From Residential Zone Boundary	30'	59.3 +/-			Setback From Residential Zone Boundary	30'	47.2 +/-			Setback From Residential Zone Boundary	30'	N.A.		
Setback From Easement or Right of Way	30'	N.A.			Setback From Easement or Right of Way	30'	N.A.			Setback From Easement or Right of Way	30'	N.A.		
Setback From Side Property Lines	20'	16.3 +/-			Setback From Side Property Lines	20'	34.7 +/-			Setback From Side Property Lines	20'	N.A.		
Setback From Rear Property Lines	20'	59.3 +/-			Setback From Rear Property Lines	20'	47.2 +/-			Setback From Rear Property Lines	20'	N.A.		
Maximum Height For A Building Or Structure	2-1/2 Stories - 35'	1 Story - 21' +/-			Maximum Height For A Building Or Structure	2-1/2 Stories - 35'	1 Story - 26' +/-			Maximum Height For A Building Or Structure	2-1/2 Stories - 35'	N.A.		
Maximum Building and Impervious Area Lot Coverage As A Percentage Of Lot Area	25%	29.7%			Maximum Building and Impervious Area Lot Coverage As A Percentage Of Lot Area	25%	6.4%			Maximum Building and Impervious Area Lot Coverage As A Percentage Of Lot Area	25%	5.2%		
Minimum Floor Area	1,400 SF	1,227 SF			Minimum Floor Area	1,400 SF	987 SF			Minimum Floor Area	1,400 SF	N.A.		

** Garage 6.2 +/-
*** Garage 1.6 +/-

** Garage 5.0 +/-
*** Garage 2.2 +/-



NOT VALID UNLESS EMBOSSED WITH SEAL OR FIXED WITH THE LIVE STAMP OF THE SIGNATORY
TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

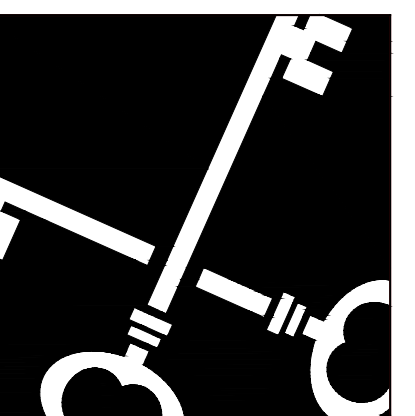
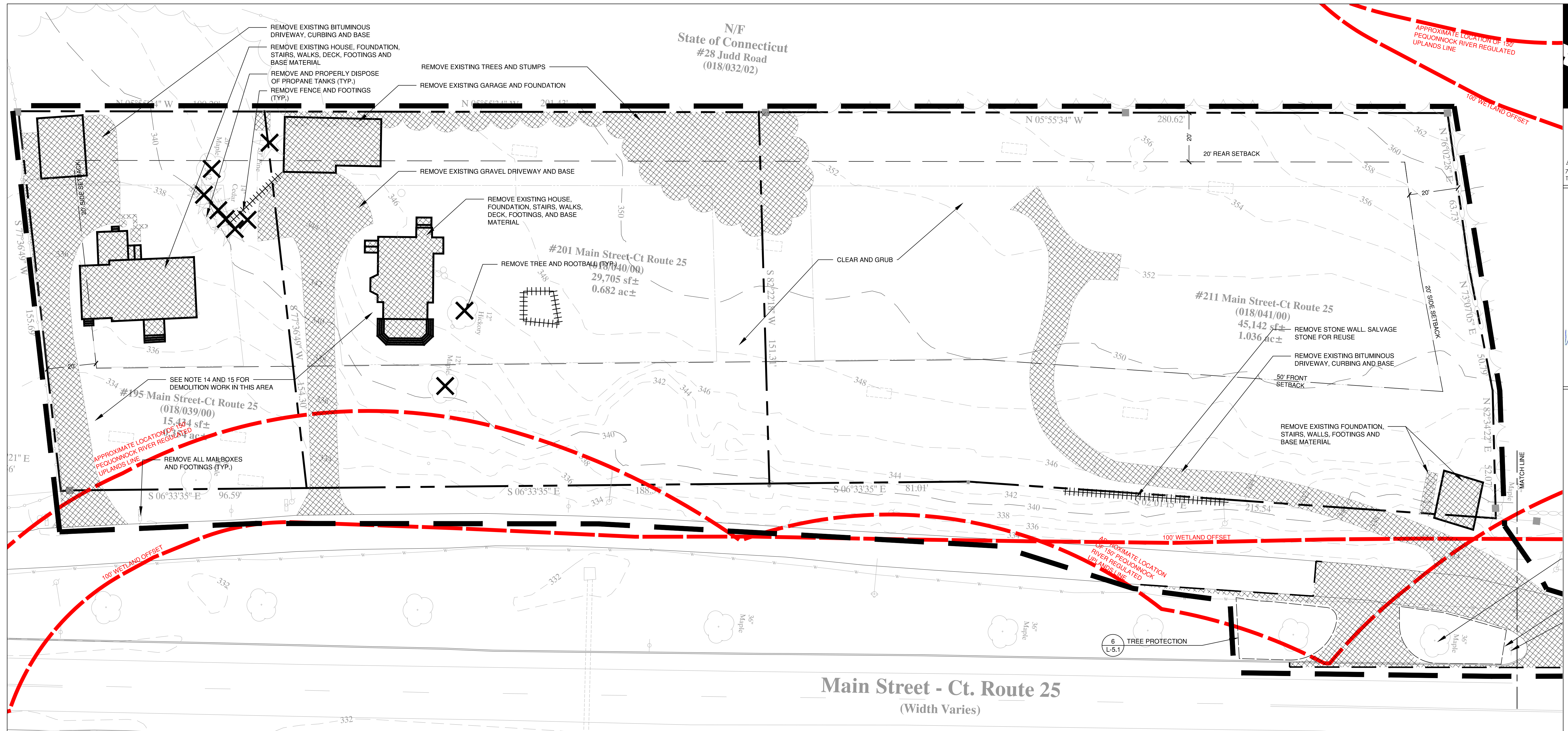


- NOTES: (Continued)**
- Topography shown is based on field measurements conforming to accuracy level T-2. The elevations are based on NAVD 1988.
 - Zoning information shown on this map must be reviewed and confirmed by the appropriate Town of Monroe authorities prior to use.
 - All monumentation, found or set, depicted here on.
 - Unauthorized alterations or additions to this survey, which bears the surveyor's embossed seal, renders any declaration shown hereon null and void.
 - Property is Located in Zone X per Flood Insurance Rate Map #09001C0267F (Panel 267 of 626) Effective Date: June 18, 2010.
 - The 100 year flood elevation at the south end of the site is 331.0'. The 100 year flood elevation at the north end is 332.1'. There are no parts of the property within the 100 year flood plain.
 - Reference is hereby made to Connecticut General Statute 8-13a, as amended, with regards to existing structures three or more years old.

DATA ACCUMULATION PLAN
PREPARED FOR
GRAYSTONE GROUP LTD PARTNERSHIP
#195, 201, AND 211 MAIN STREET - CT ROUTE 25
MONROE, CONNECTICUT

4	10-16-2020	FEMA LINES	DATE:	9-23-16	SCALE:	1"=30'	DRAFTED BY:	JOB NUMBER:	5416	FILE NUMBER:	
3	9-30-2020	APPROX. RIVER LOC.									
2	9-3-2020	SIG. TREE LOC.									
1	9-2-2020	SIGHT LINE DETAIL									
NO.	DATE	DESCRIPTION									

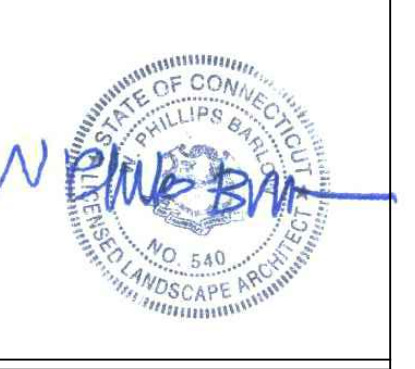
SHEVLIN LAND SURVEYING, LLC
165 Oyster Road-Field, CT 06321-218-5840
593 Main Street-Monroe, CT 06460
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SITE DESIGN
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DEMOLITION NOTES

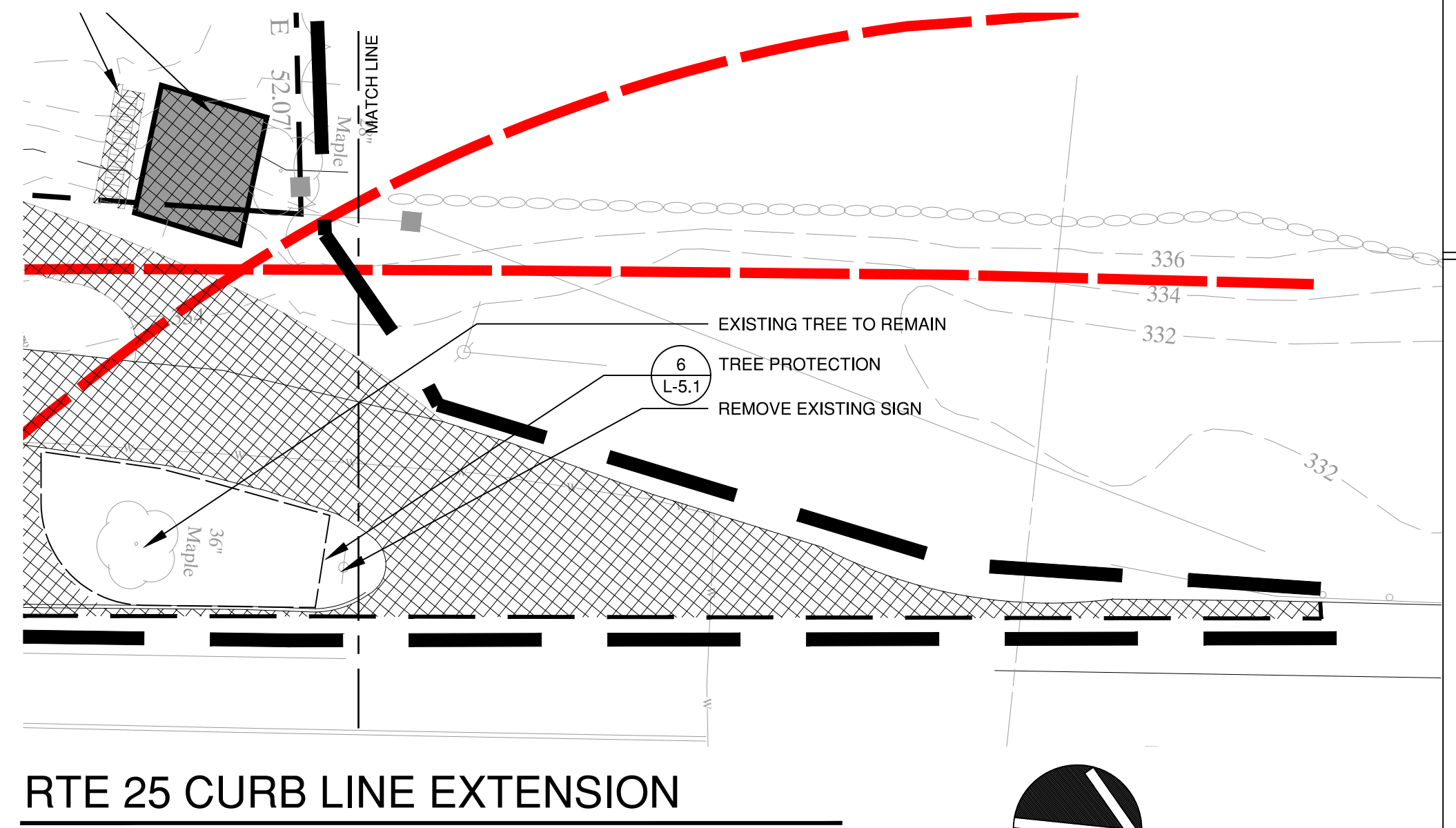
- CONTRACTOR SHALL STRIP AND STORE TOPSOIL IN ALL AREAS TO BE DISTURBED OR REGRADED. LOCATION OF TOPSOIL STOCKPILE TO BE DESIGNATED BY LANDSCAPE ARCHITECT.
- ALL MATERIAL TO BE REMOVED SHALL BE LEGALLY DISPOSED OF BY THE CONTRACTOR AWAY FROM THE SITE OR DELIVERED AS DIRECTED BY THE OWNER.
- LOCATION OF ALL UTILITIES ARE SHOWN DIAGRAMMATICALLY & MAY BE INCOMPLETE. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES DONE BY THIS WORK SHALL BE REPAIRED BY THE CONTRACTOR.
- PROTECTION OF ALL EXISTING TREES TO REMAIN SHALL BE A PRIORITY. INSTALL TREE PROTECTION AS INDICATED. DO NOT STOCKPILE, PARK OR PERFORM ANY MECHANICAL OPERATIONS WITHIN THE DRIPLINE OF EXISTING TREES AS INDICATED IN THE DETAILS. NO STORAGE OF MATERIALS OR SOIL SHALL BE ALLOWED IN THESE AREAS. ALL FILL AND EXCAVATION REQUIRED WITHIN THE DRIPLINE OF ALL EXISTING TREES TO REMAIN SHALL BE COMPLETED BY HAND UNLESS OTHERWISE APPROVED BY LANDSCAPE ARCHITECT.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING TREES AND VEGETATION. DAMAGE TO VEGETATION SHALL BE REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS BY THE CONTRACTOR.
- BEFORE BEGINNING ANY WORK, THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" AT 1.800.922.4455, THE RESPECTIVE UTILITY COMPANIES AND LOCAL AUTHORITIES TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES. ANY COSTS INCURRED BY THE CONTRACTOR AS A RESULT OF FAILURE TO CONTACT PROPER AUTHORITIES SHALL BE BORN BY THE CONTRACTOR.
- OWNER'S REPRESENTATIVE SHALL BE CONSULTED BEFORE ANY WORK SHALL COMMENCE.
- PRIOR TO COMMENCEMENT OF WORK, CONTRACTOR SHALL SECURE ALL PERMITS REQUIRED FROM ANY UTILITY COMPANY OR OTHER GOVERNMENT AGENCIES HAVING JURISDICTION OVER THE WORK.
- CARE SHOULD BE TAKEN IN ALL EXCAVATIONS DUE TO POSSIBLE EXISTENCE OF UNRECORDED UTILITY LINES.
- CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO HIS CONTRACT OPERATIONS.
- CONTRACTOR SHALL PROTECT AND SUSTAIN IN NORMAL SERVICE ALL EXISTING UTILITIES, STRUCTURES, EQUIPMENT, ROADWAYS AND DRIVEWAYS.
- CONTRACTOR SHALL MAINTAIN PROPER SIGNS, BARRICADES, AND FENCES TO PROPERLY PROTECT THE WORK EQUIPMENT, PERSONS AND PROPERTY FROM DAMAGE.
- ALL ITEMS REQUIRING REMOVAL SHALL BE REMOVED TO FULL DEPTH TO INCLUDE BASE MATERIAL AND FOOTINGS OR FOUNDATIONS AS APPLICABLE, AND LEGALLY DISPOSED OF OFF-SITE BY CONTRACTOR.
- DEMOLITION HEAVY EQUIPMENT USE SHOULD BE LIMITED EXISTING PAVED AREAS.
- NO STOCKPILING OF MATERIALS TO TAKE PLACE WITHIN PROPOSED SEWAGE DISPOSAL SYSTEM AREA.

LEGEND

EXISTING	
	PROPERTY LINE
	BUILDING
	CURB
	CONTOUR 2 FT
	CONTOUR 10 FT
	CATCH BASIN
	HYDRANT
	UTILITY POLE
	TREE TO REMAIN
	TREE OR SHRUB TO BE REMOVED
	SITE ELEMENT TO BE REMOVED
	SITE ELEMENT TO BE REMOVED
	SAW CUT
	CONTRACT LIMIT

SURVEY REFERENCE

SURVEY INFORMATION FROM PLAN ENTITLED: "DATA ACCUMULATION PLAN PREPARED FOR GRAYSTONE GROUP LTD PARTNERSHIP, #195, 201, 211 MAIN STREET - CT ROUTE 25, MONROE, CONNECTICUT", SCALE 1" = 30', DATED 9-23-16; REV 9-2-2020, BY SHEVLIN LAND SURVEYING, 165 OYSTER ROAD-FAIRFIELD, CT, 203-218-5840.



RTE 25 CURB LINE EXTENSION

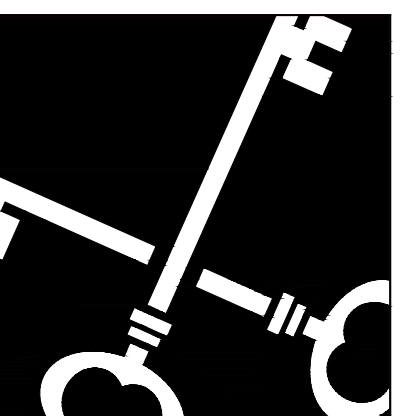
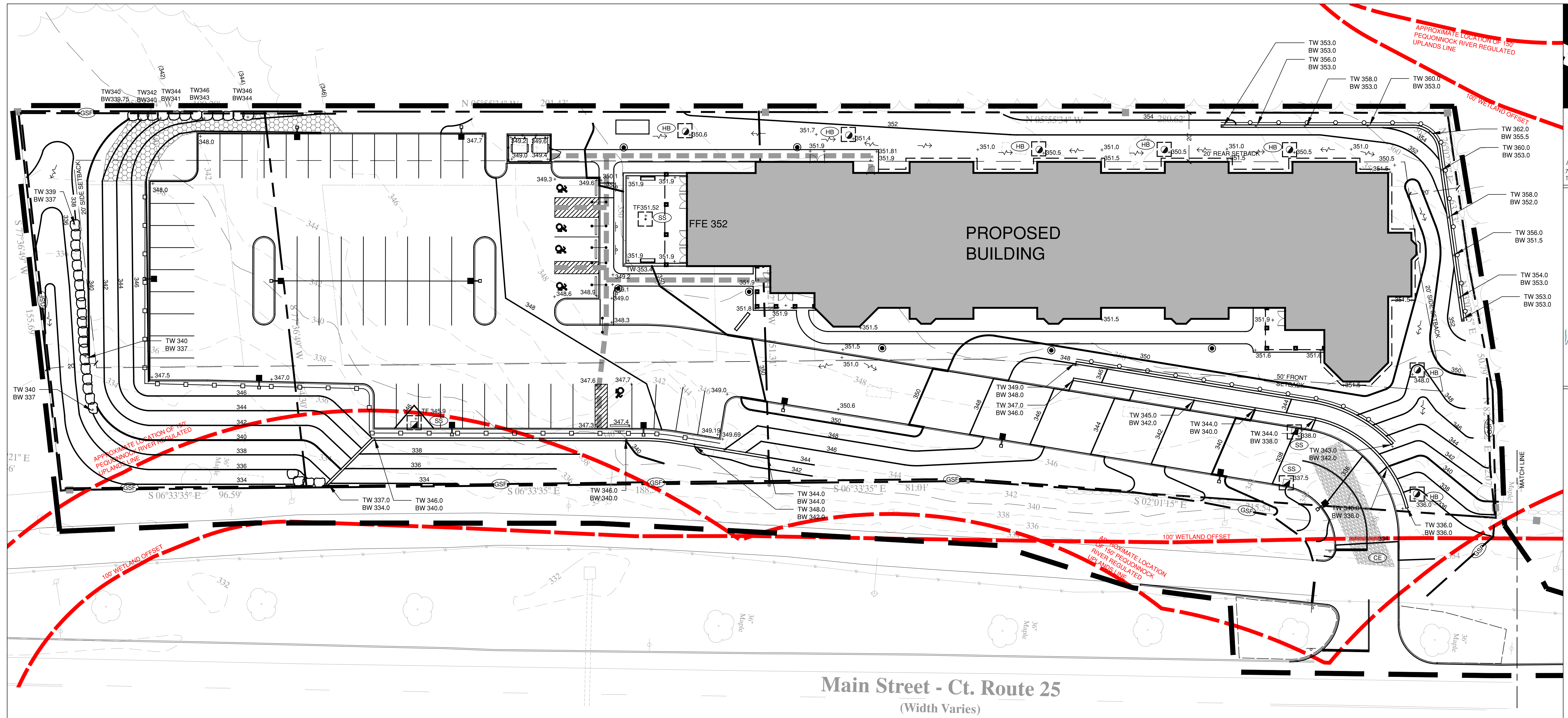
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Drawn: EW
 Date: SEPTEMBER 22, 2020
 Revisions:
 IWC COMMENTS 10/28/2020

Demolition Plan

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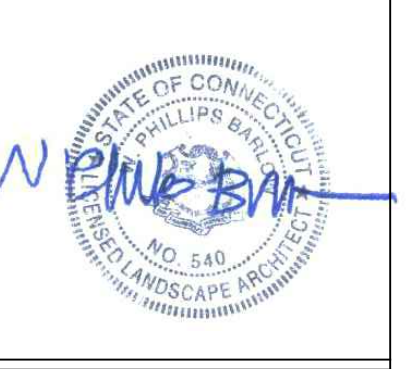
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GRADING AND UTILITY NOTES

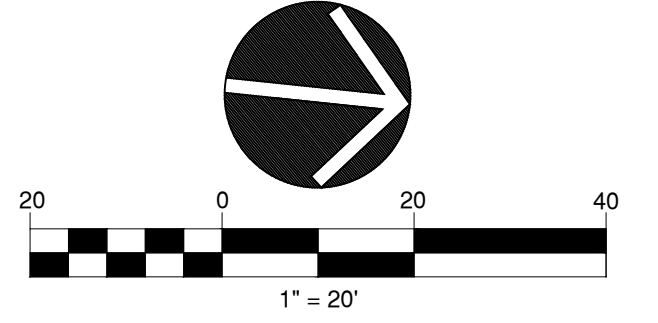
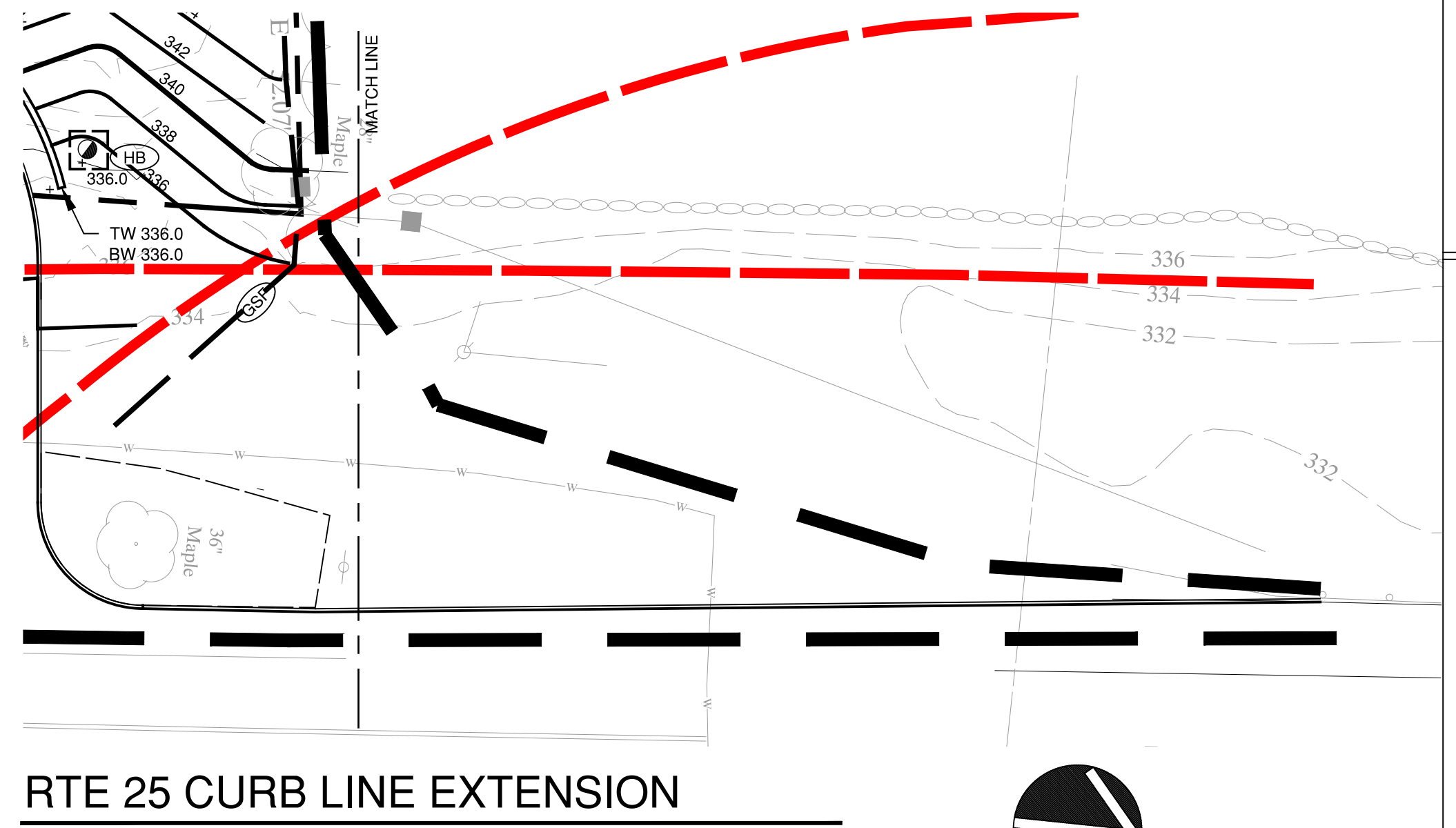
- PROPOSED GRADES INDICATE INTENT. THE CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS AS REQUIRED TO MEET FIELD CONDITIONS.
- WHERE FIELD CONDITIONS CALL FOR ON-SITE ADJUSTMENTS OF FINISHED GRADES, THE OWNER'S REPRESENTATIVE SHALL MAKE THE FINAL DETERMINATION.
- CONTRACTOR TO TAKE AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE JOB AND BE RESPONSIBLE FOR THE SAME. NOTIFY SITE PLANNER OF DISCREPANCIES PRIOR TO BEGINNING WORK.
- EROSION CONTROL FABRIC TO BE USED ON ALL SLOPES GREATER THEN 3:1
- STRIP AND STOCKPILE TOPSOIL FOR REUSE ON SITE.
- PITCH ALL WALKS AT 2% CROSS SLOPE UNLESS OTHERWISE NOTED.
- ADJUST ALL EXISTING AND PROPOSED UTILITY FRAMES, GRATES, MANHOLE COVERS, VALVE BOXES, ETC. TO BE FLUSH WITH THE PROPOSED SURFACE.
- ALL EXISTING UTILITY LINES TO BE ABANDONED SHALL BE ABANDONED ACCORDING TO UTILITY COMPANY REQUIREMENTS.
- ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH APPLICABLE STANDARDS.
- ALL EXCESS MATERIAL, EXCEPT TOPSOIL, SHALL BE LEGALLY DISPOSED OF OUTSIDE THE PROJECT LIMITS.
- REFERENCE IS MADE IN THESE DOCUMENTS TO THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES AND INCIDENTAL CONSTRUCTION, FORM 8161817 AND SUPPLEMENTS THERETO.
- DAMAGE TO EXISTING UTILITIES AS A RESULT OF THE CONTRACTOR'S OR ANY OF HIS SUBCONTRACTOR'S ACTIVITIES DURING THE CONSTRUCTION PROCESS SHALL BE REPAIRED AS DIRECTED BY THE ENGINEER AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEWATERING DURING THE EXECUTION OF HIS WORK.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES IS DEVELOPED FROM THE BEST AVAILABLE INFORMATION. THE ACTUAL LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF EXCAVATION ACTIVITIES.
- ACCESS AND UTILITIES TO EXISTING FACILITIES MUST BE MAINTAINED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR MUST MAINTAIN SUFFICIENT TRAVEL LANE(S), APPROVED BY THE OWNER, TO ENABLE ALL EMERGENCY VEHICLES TO ACCESS THE ENTIRE PROJECT SITE.
- CONTRACTOR TO VERIFY THAT ALL EXISTING UTILITIES TO BE REUSED ARE FUNCTIONAL.

LEGEND

EXISTING	PROPOSED
	PROPERTY LINE
	YARD LINE
	WETLAND LINE
	150' UPLAND REVIEW AREA LINE
	APPROXIMATE FEMA 100 YEAR LINE
	BUILDING
	CURB
	CONTOUR 2 FT
	CONTOUR 10 FT
	SPOT GRADE
	FLOW ARROW
	FLUSH CONDITION
	CATCH BASIN
	YARD DRAIN
	UTILITY POLE
	LIGHT
	SILT FENCE
	HAYBALE/SILT SACKS
	CONSTRUCTION ENTRANCE
	RIP RAP SLOPE
	CONTRACT LIMIT
	ACCESSIBLE ROUTE

ACCESSIBILITY NOTES

- SLOPES ALONG THE ACCESSIBLE ROUTE SHALL BE LESS THAN 1:20 (5%) AND THE CROSS SLOPES SHALL NOT EXCEED 1:50 (2%). CHANGES IN LEVELS SHALL NOT BE GREATER THAN 1/4 INCH.
- SLOPES ALONG THE HANDICAP ACCESSIBLE RAMP SHALL NOT EXCEED 1:12 (8.3%) AND THE CROSS SLOPE SHALL NOT EXCEED 1:50 (2%). CHANGES IN LEVEL SHALL NOT BE GREATER THAN 1/4 INCH.
- LANDINGS SHALL NOT HAVE A SLOPE GREATER THAN 1:50 (2%) IN ANY DIRECTION.
- SLOPES WITHIN THE HCP PARKING SPACE SHALL NOT EXCEED 1:50 (2%) IN ANY DIRECTION.

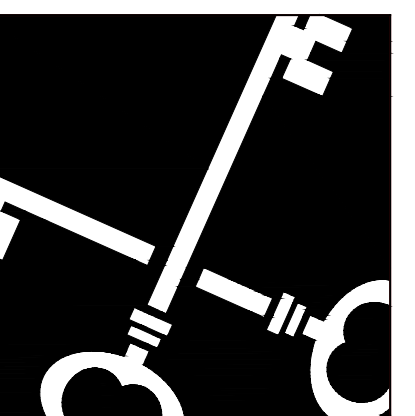
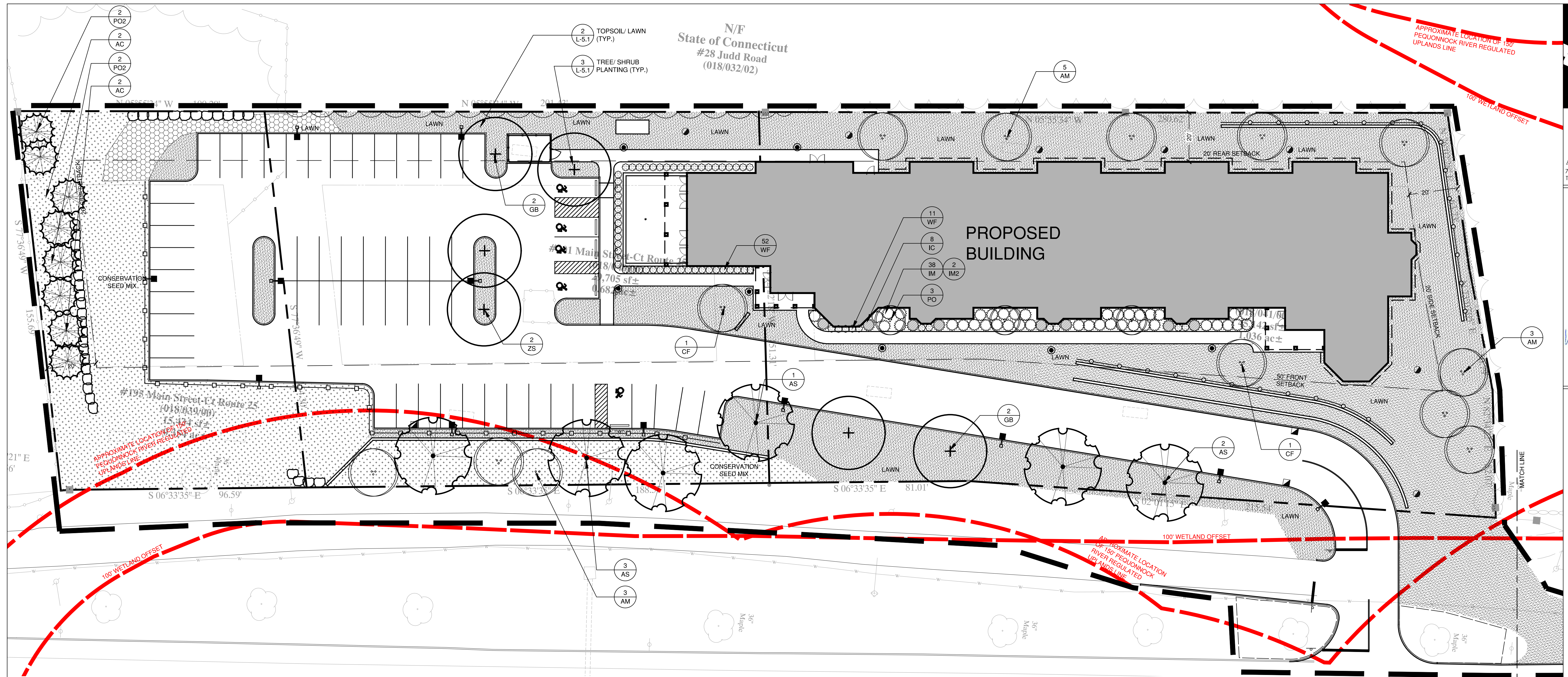


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Grading Plan

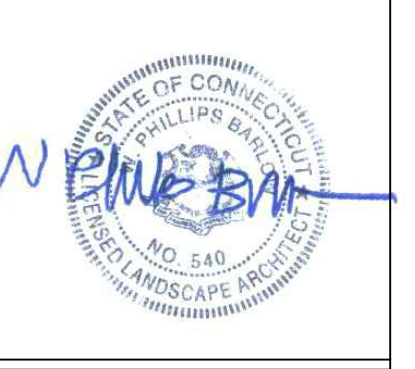
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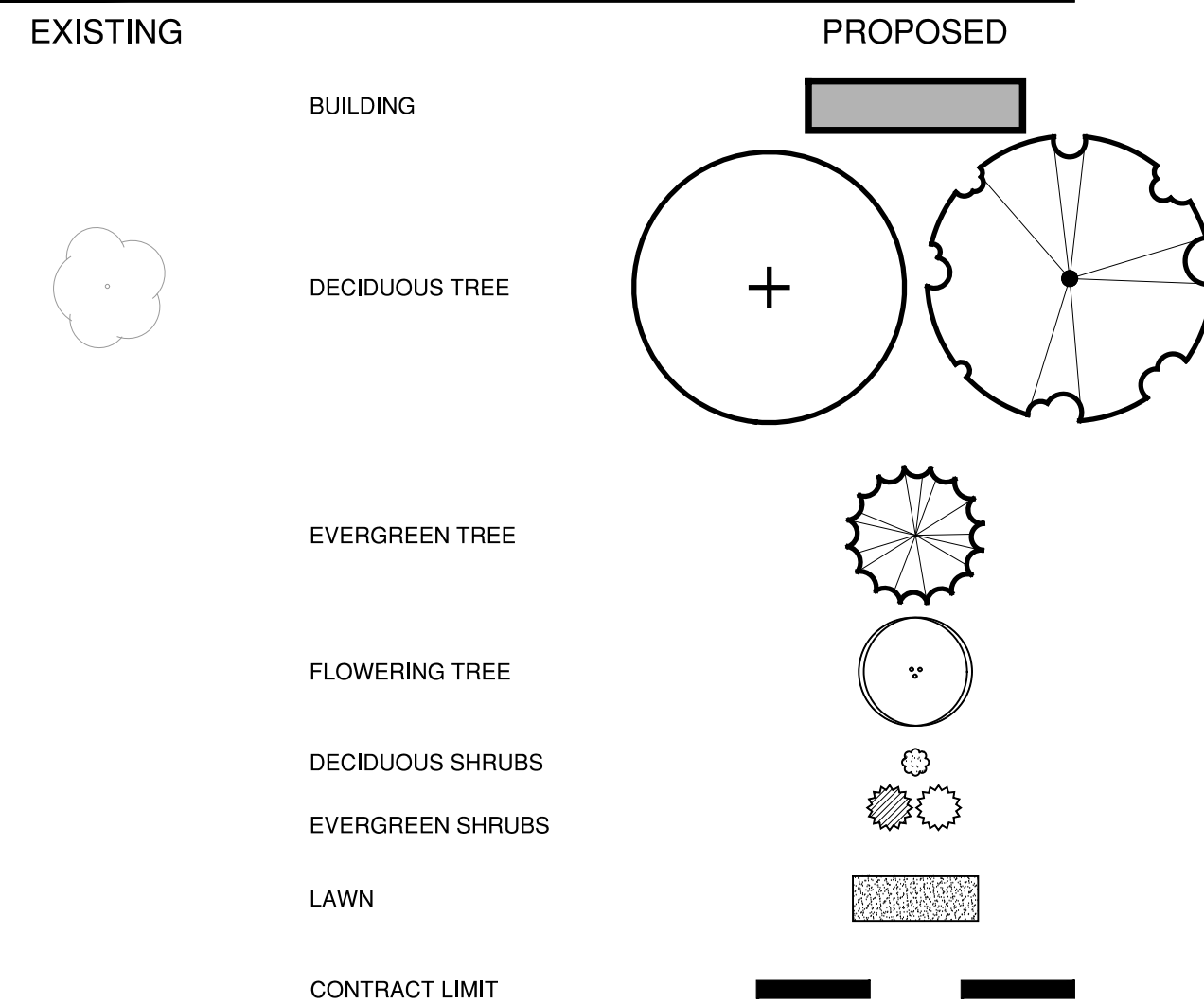


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PLANTING NOTES

- ALL PLANTING MATERIAL TO BE NURSERY GROWN STOCK SUBJECT TO APPLICABLE A.A.N. STANDARDS.
- THE CONTRACTOR SHALL SUPPLY ALL PLANTS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT LIST. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT LIST AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER NUMBER SHALL APPLY.
- ALL PLANTS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION AND SHALL BE LOCATED AT THE GROWING SITE BY THE CONTRACTOR, FOR THE APPROVAL OF THE LANDSCAPE ARCHITECT. ANY INSTALLATIONS WHICH WERE NOT APPROVED BY THE LANDSCAPE ARCHITECT AND WHICH ARE SUBSEQUENTLY REQUESTED TO BE REMOVED, WILL BE DONE AT THE CONTRACTORS EXPENSE.
- PRECISE LOCATION OF ITEMS NOT DIMENSIONED ON THE PLAN ARE TO BE FIELD STAKED BY THE CONTRACTOR AND SHALL BE SUBJECT TO THE REQUIREMENTS SPECIFIED IN THE PREVIOUS NOTE.
- ALL SHRUB AND TREE PITS SHALL BE MULCHED TO A DEPTH OF 3" WITH SHREDDED PINE BARK MULCH.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGED VEGETATION AND SHALL REPLACE OR REPAIR ANY DAMAGE, AT HIS OWN EXPENSE.
- ALL SHRUB AND GROUND COVER PLANTING AREAS SHALL HAVE CONTINUOUS BEDS OF TOPSOIL, 18" DEEP.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES IN THE FIELD. WHERE PLANT MATERIAL MAY INTERFERE WITH UTILITIES, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT TO COORDINATE THEIR INSTALLATION.
- PLANTINGS INSTALLED IN THE DRY SUMMER MONTHS AND/OR LAWN SEEDED OUT OF SPRING OR FALL PERIODS, IF ALLOWED BY OWNER, WILL REQUIRE AGGRESSIVE IRRIGATION PROGRAMS AT THE CONTRACTOR'S EXPENSE, UNLESS OTHERWISE DIRECTED BY THE OWNER.
- SUBSTITUTIONS PERMITTED ONLY UPON WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
- PLANT TAGS TO REMAIN ON ALL PLANT MATERIAL UNTIL FINAL ACCEPTANCE. CONTRACTOR TO THEN REMOVE ALL PLANT TAGS.
- WHERE A SIZE RANGE IS GIVEN IN THE PLANT SCHEDULE, AT LEAST 50% OF THE PLANTS PROVIDED SHALL BE OF THE LARGER SIZE.
- CONTRACTOR TO GUARANTEE ALL PLANT MATERIAL FOR ONE YEAR AFTER DATE OF FINAL ACCEPTANCE.
- CONTRACTOR TO MAINTAIN ALL PLANT MATERIAL UNTIL 60 DAYS AFTER FINAL ACCEPTANCE UNLESS NOTED OTHERWISE IN SPECS.
- TOPSOIL AND SEED ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES AND NOT COVERED BY OTHER SITE IMPROVEMENTS.

LEGEND



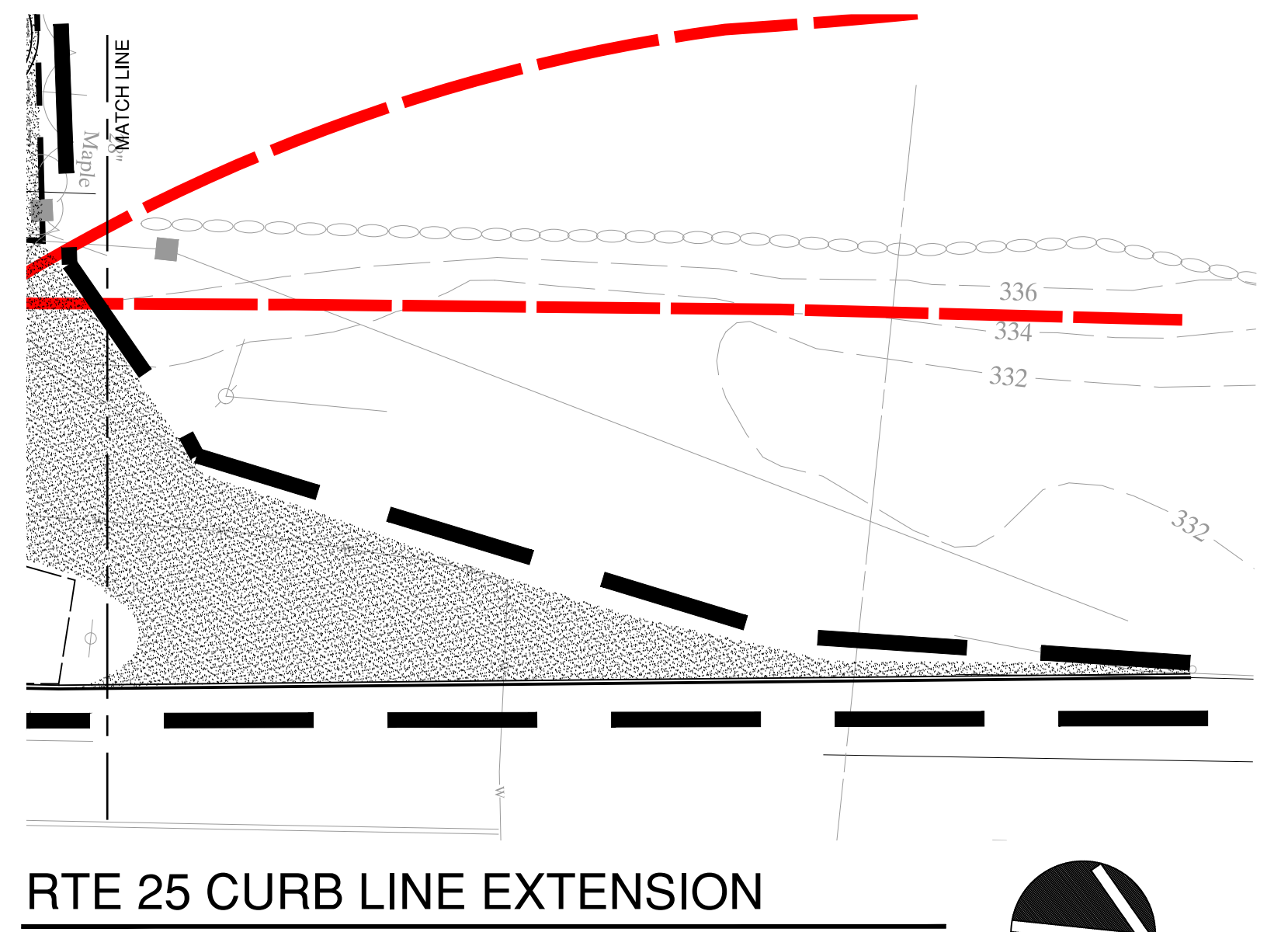
PLANT SCHEDULE

CATEGORY	SYM.	NO.	BOTANICAL NAME	COMMON NAME	SIZE	COND.
DECIDUOUS TREES	AS	6	ACER SACCHARUM 'GREEN MOUNTAIN'	GREEN MOUNTAIN SUGAR MAPLE	3 1/2" - 4" CAL.	B&B
	GB	4	GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD MAIDENHAIR TREE	3 1/2" - 4" CAL.	B&B
	ZS	2	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE ZELKOVA	3 1/2" - 4" CAL.	B&B
FLOWERING TREES	AM	11	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SHADBLOW	8' - 10' HT.	B&B
	CF	2	CORNUS FLORIDA 'CHEROKEE PRINCESS'	CHEROKEE PRINCESS DOGWOOD	2 1/2" - 3" CAL.	B&B
	PO	3	PRUNUS 'OKAME'	OKAMECHERRY	2 1/2" - 3" CAL.	B&B
EVERGREEN TREES	AC	4	ABIES CONCOLOR	WHITE FIR	8' - 10' HT.	B & B
	PO2	4	PICEA OMORIKA	SERBIAN SPRUCE	8' - 10' HT.	B & B
SHRUBS	IC	8	ILEX GRENATA 'STEEDS'	STEEDS JAPANESE HOLLY	4' - 5'	CONT.
	IM	38	ILEX X MESERVEAE 'BLUE PRINCESS'	BLUE PRINCESS HOLLY	36-48" HT.	CONTAINER
	IM2	2	ILEX X MESERVEAE 'BLUE PRINCE'	BLUE PRINCE HOLLY	36-48" HT.	CONTAINER
	WF	63	WEIGELIA FLORIDA 'WINE & ROSES'	WINE AND ROSES WEIGELIA	36-48" HT.	CONTAINER

SEEDING

LAWN:
 HART'S WEAR 'N TEAR MIX (1-860-529-2537)
 35% KENTUCKY BLUEGRASS
 35% CREEPING RED FESCUE
 20% METOLIUS PERENNIAL RYEGRASS
 10% DESCHUTES PERENNIAL RYEGRASS

CONSERVATION SEED MIX:



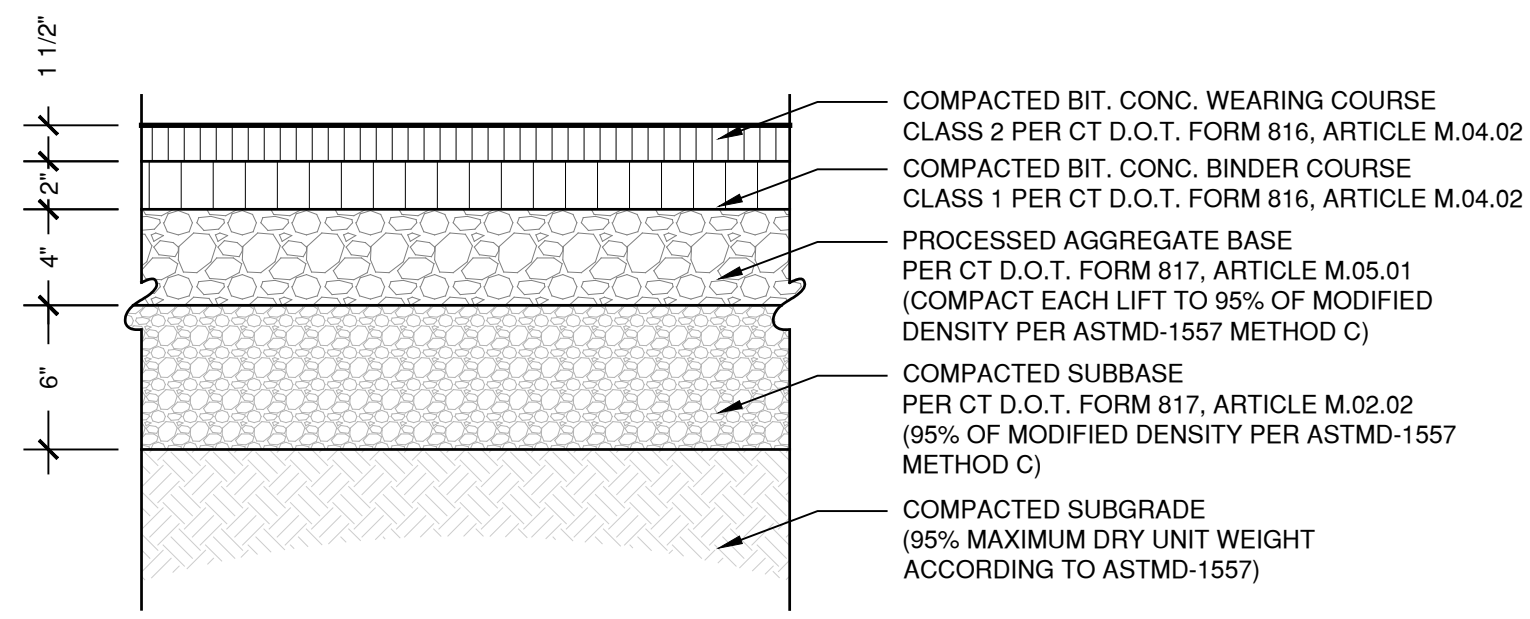
NOT FOR CONSTRUCTION

Drawn: EW
 Date: SEPTEMBER 22, 2020
 Revisions:
 IWC COMMENTS 10/28/2020

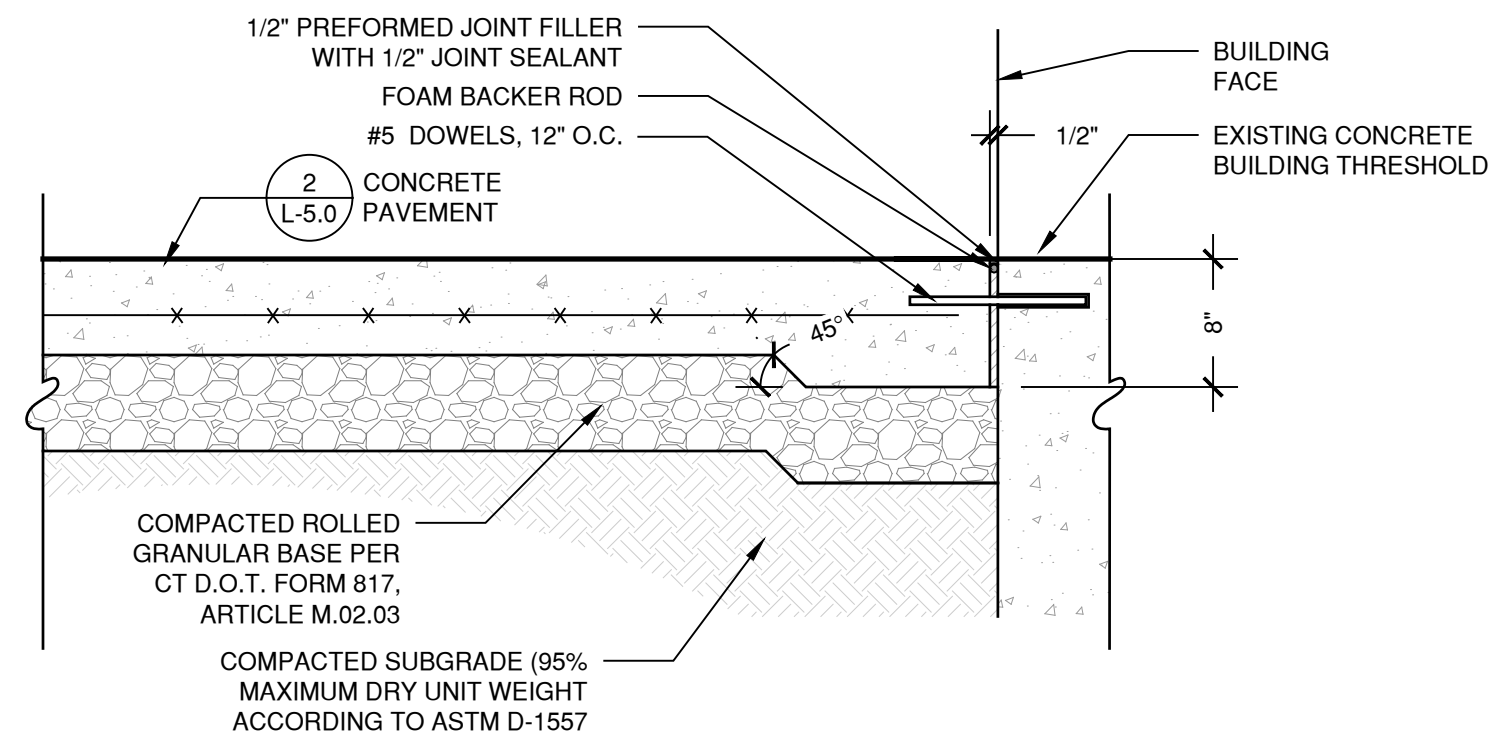
Planting Plan

L-4.0
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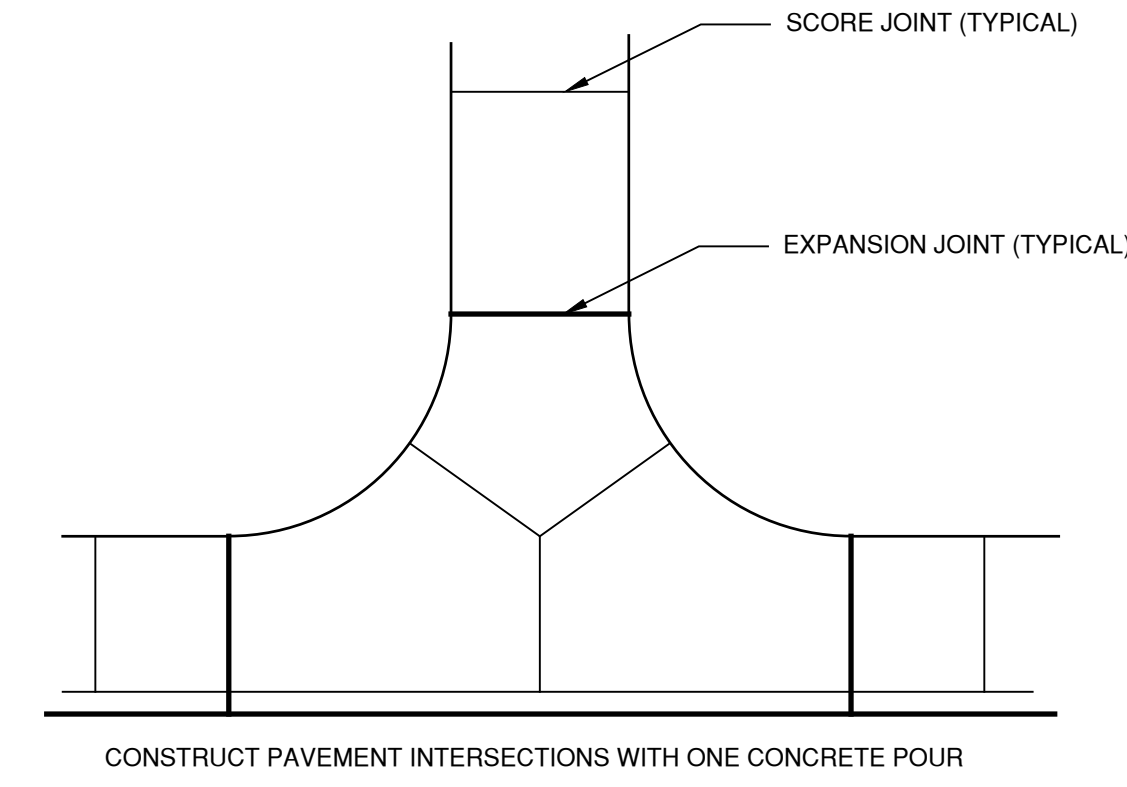
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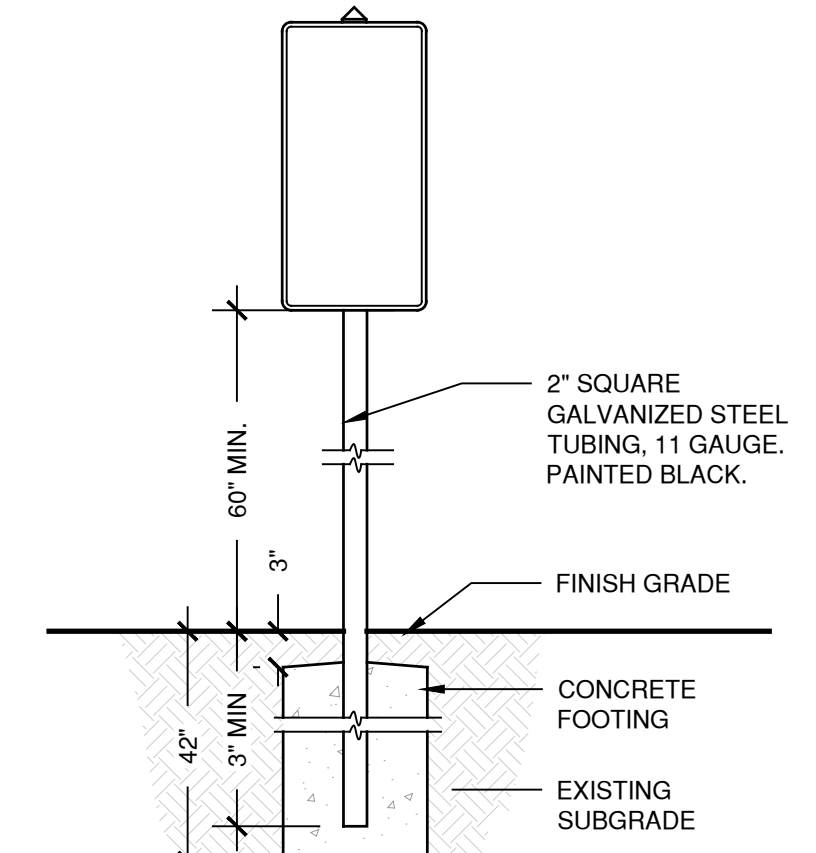
1 BITUMINOUS CONC. PAVEMENT
 SCALE 1 1/2" = 1'-0"
 (VEHICULAR)



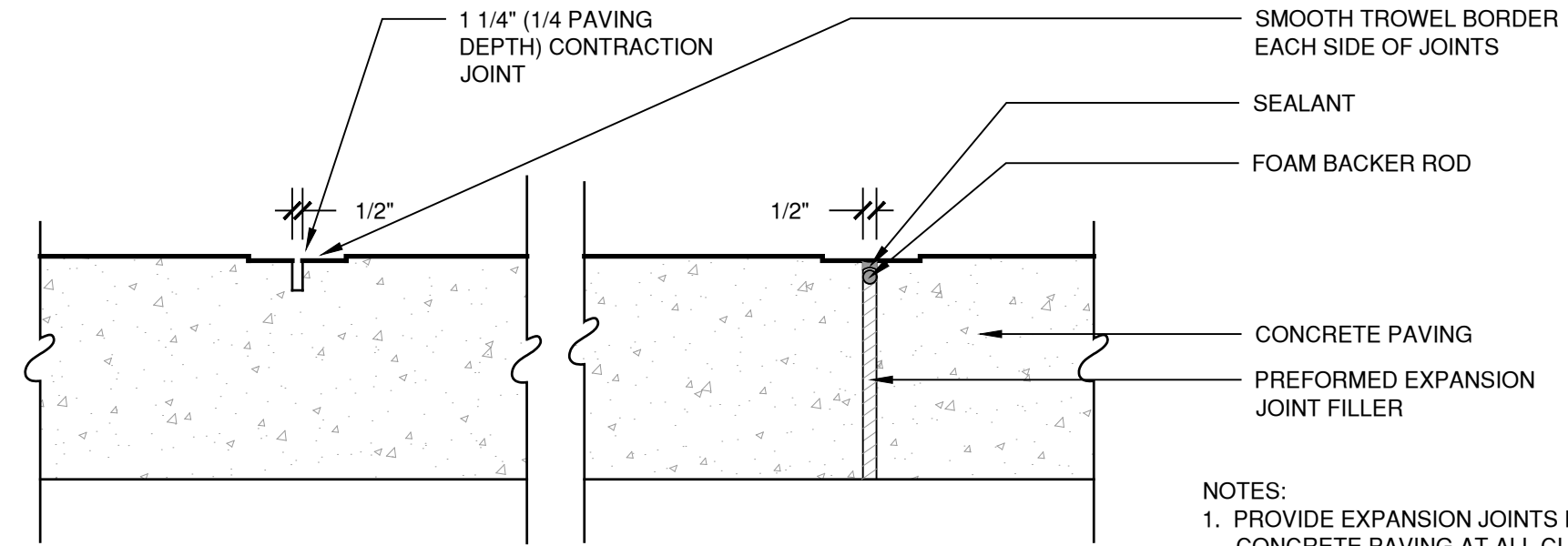
5 CONCRETE PAVEMENT AT DOOR
 SCALE 1" = 1'-0"



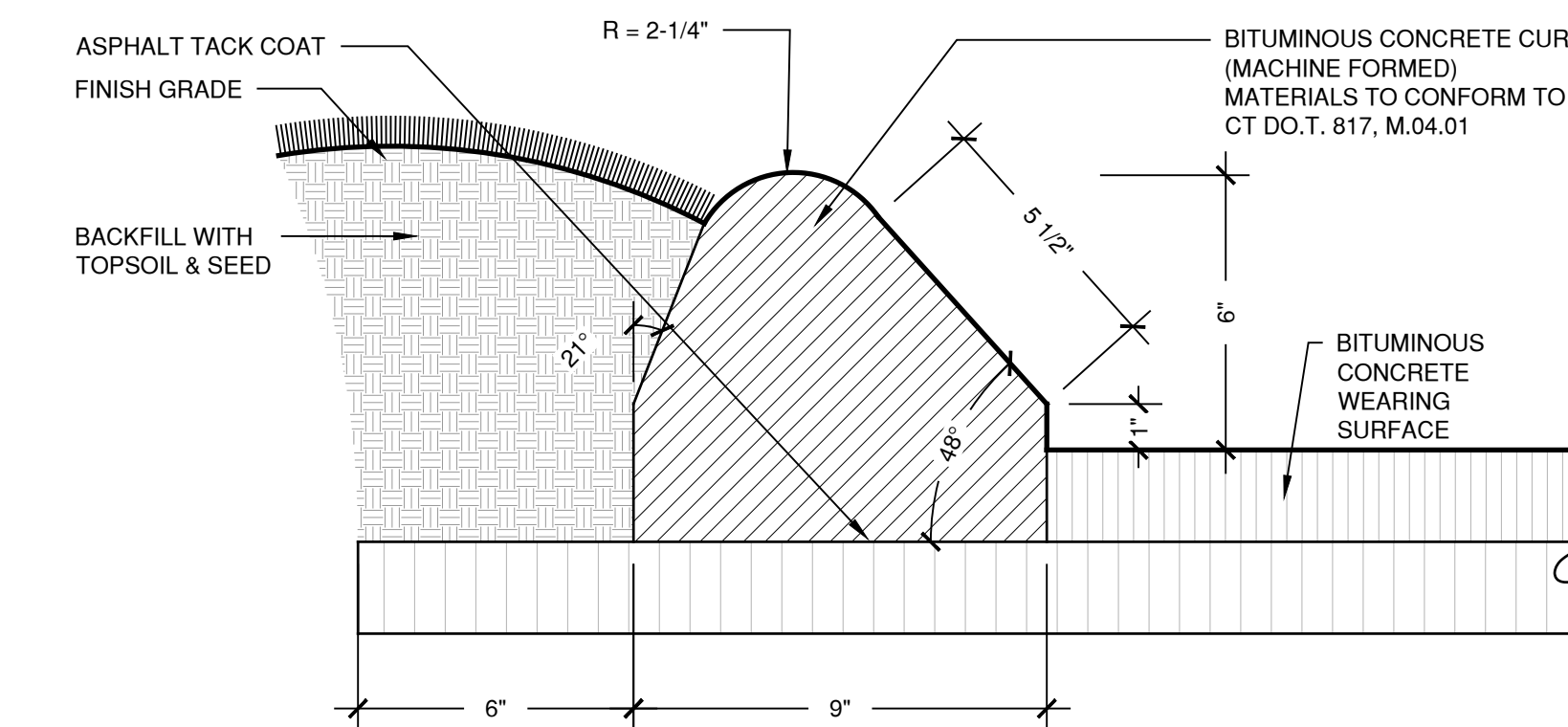
9 CONCRETE PAVEMENT INTERSECTION
 NOT TO SCALE



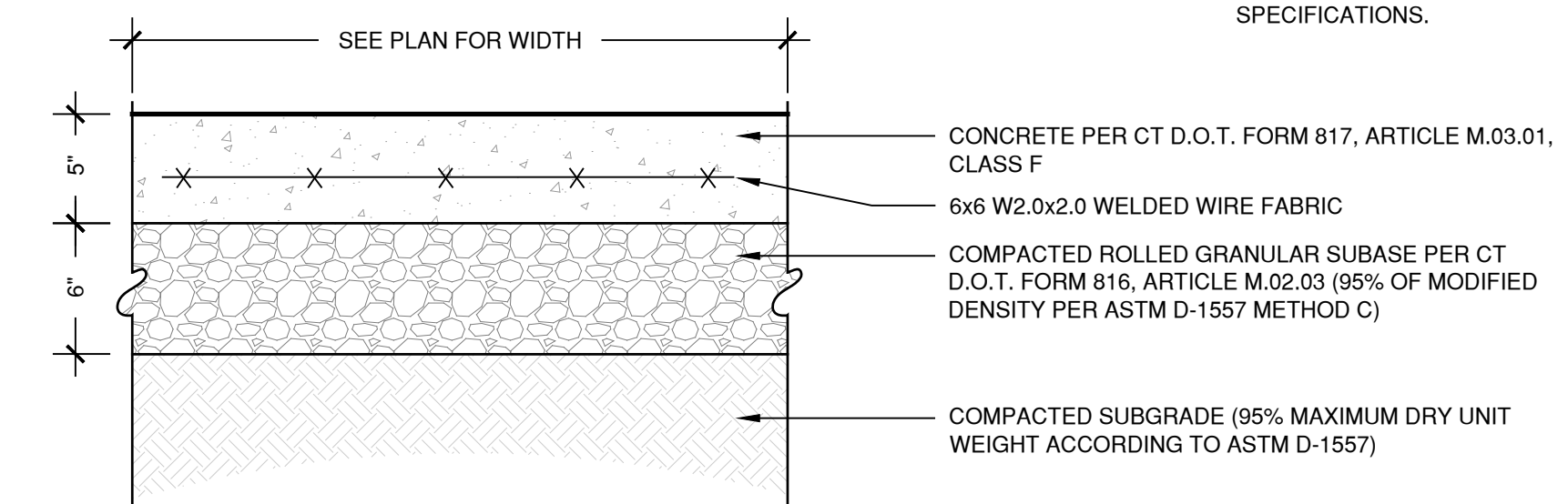
10 SIGNAGE POST
 SCALE 3/4" = 1'-0"



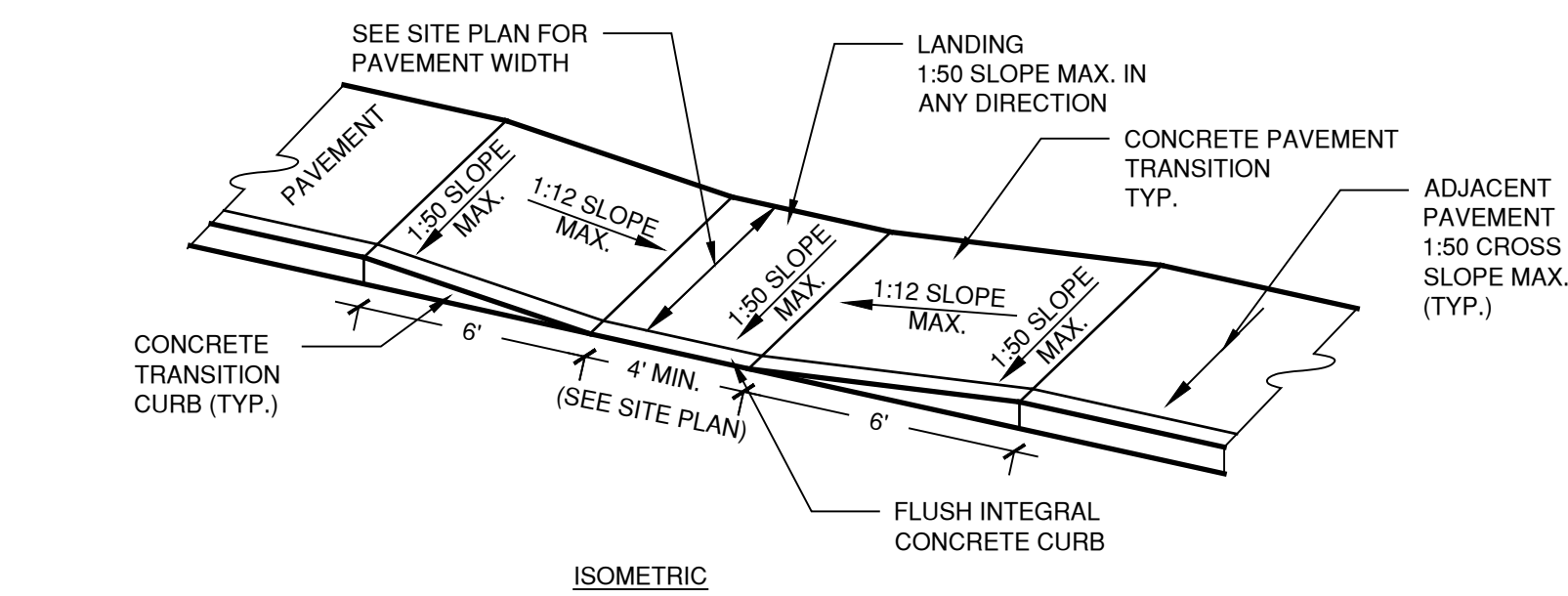
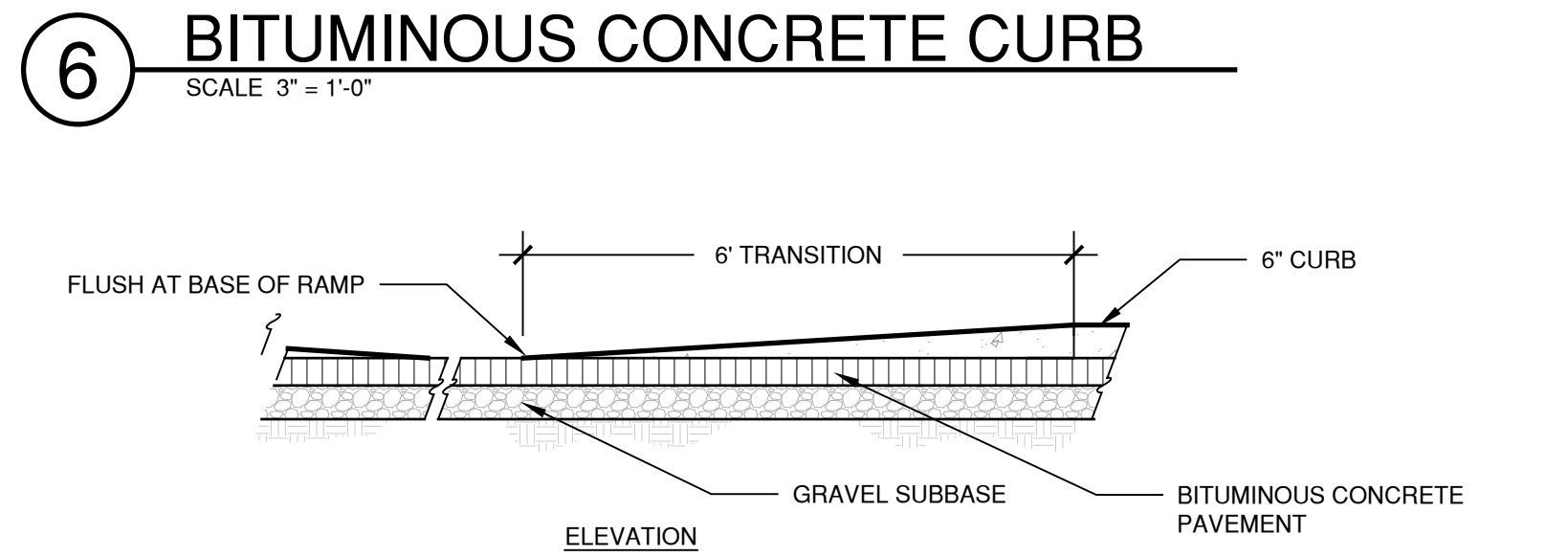
EXPANSION & CONTRACTION JOINTS



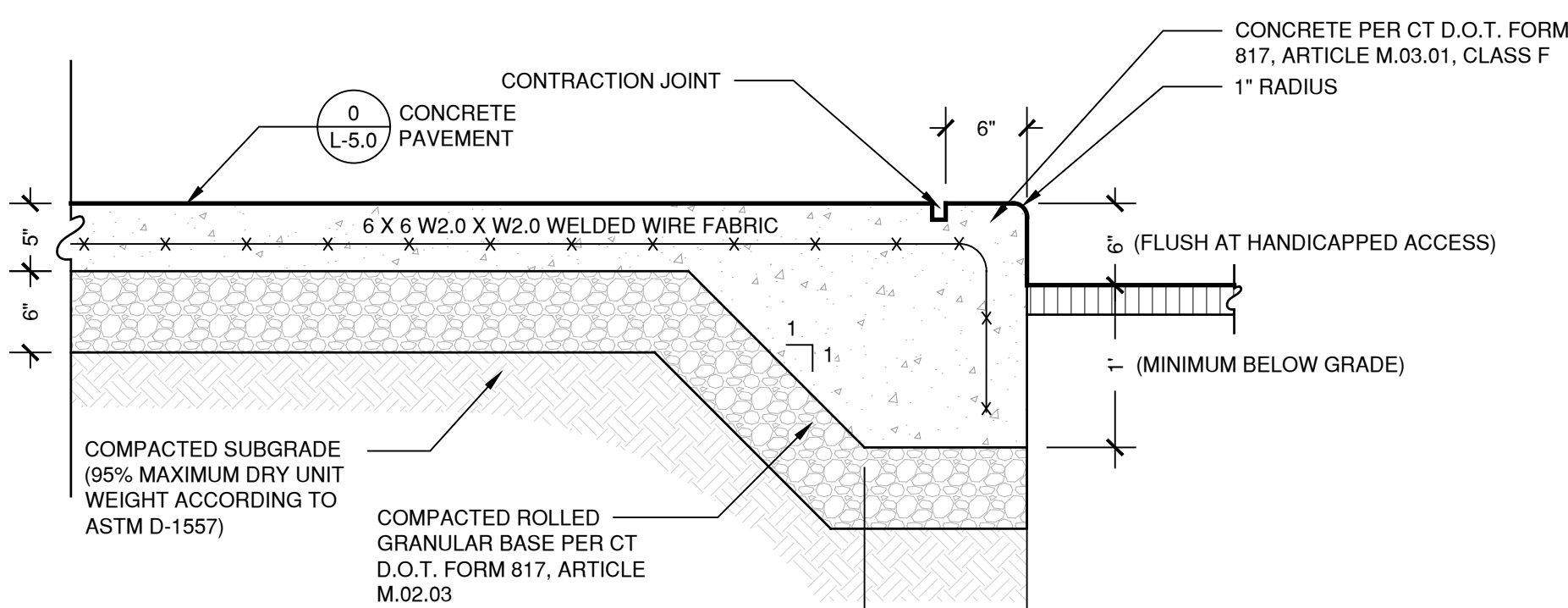
6 BITUMINOUS CONCRETE CURB
 SCALE 3" = 1'-0"



2 CONCRETE PAVEMENT
 SCALE 1 1/2" = 1'-0"

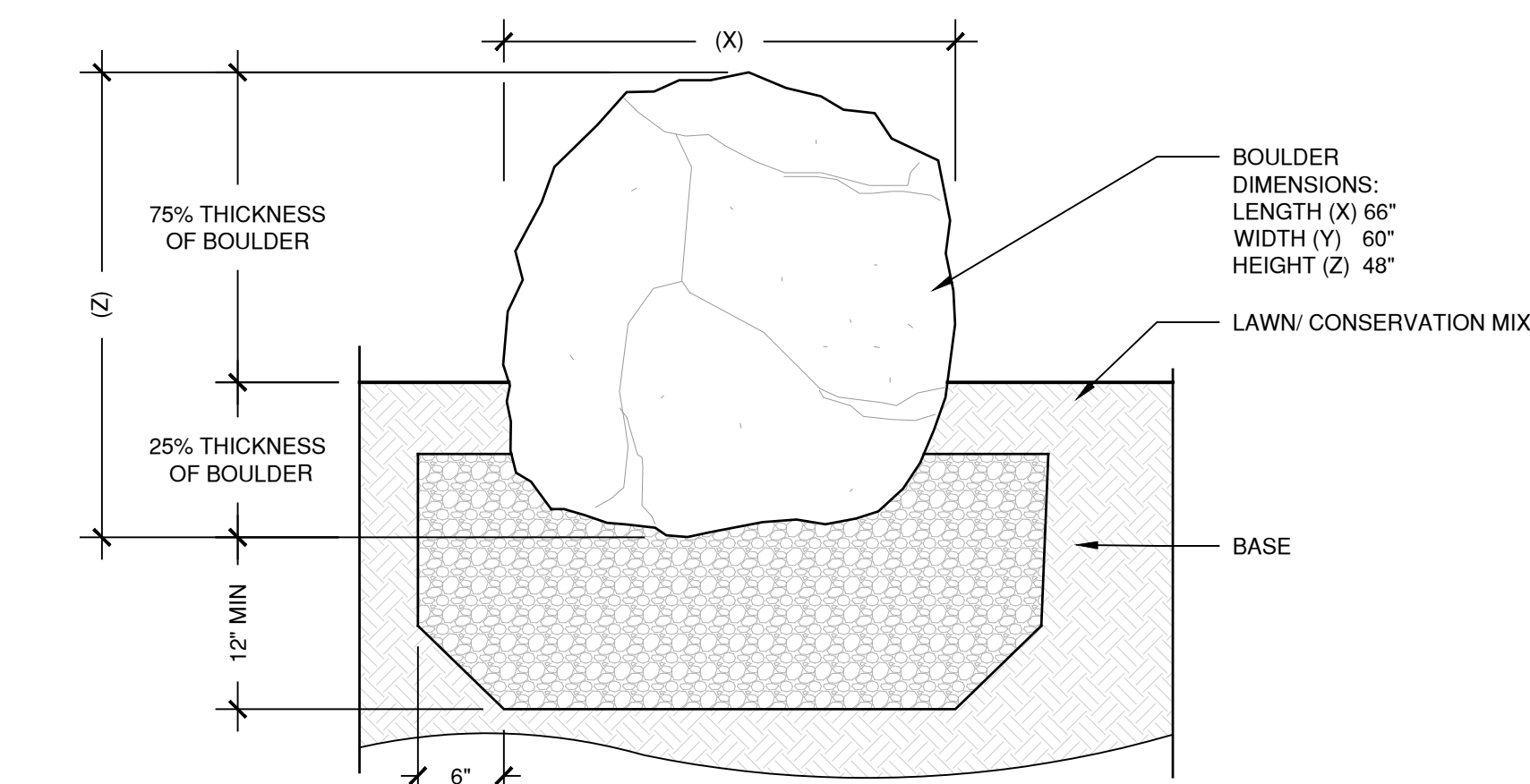


7 CURB RAMP
 SCALE 1/2" = 1'-0"

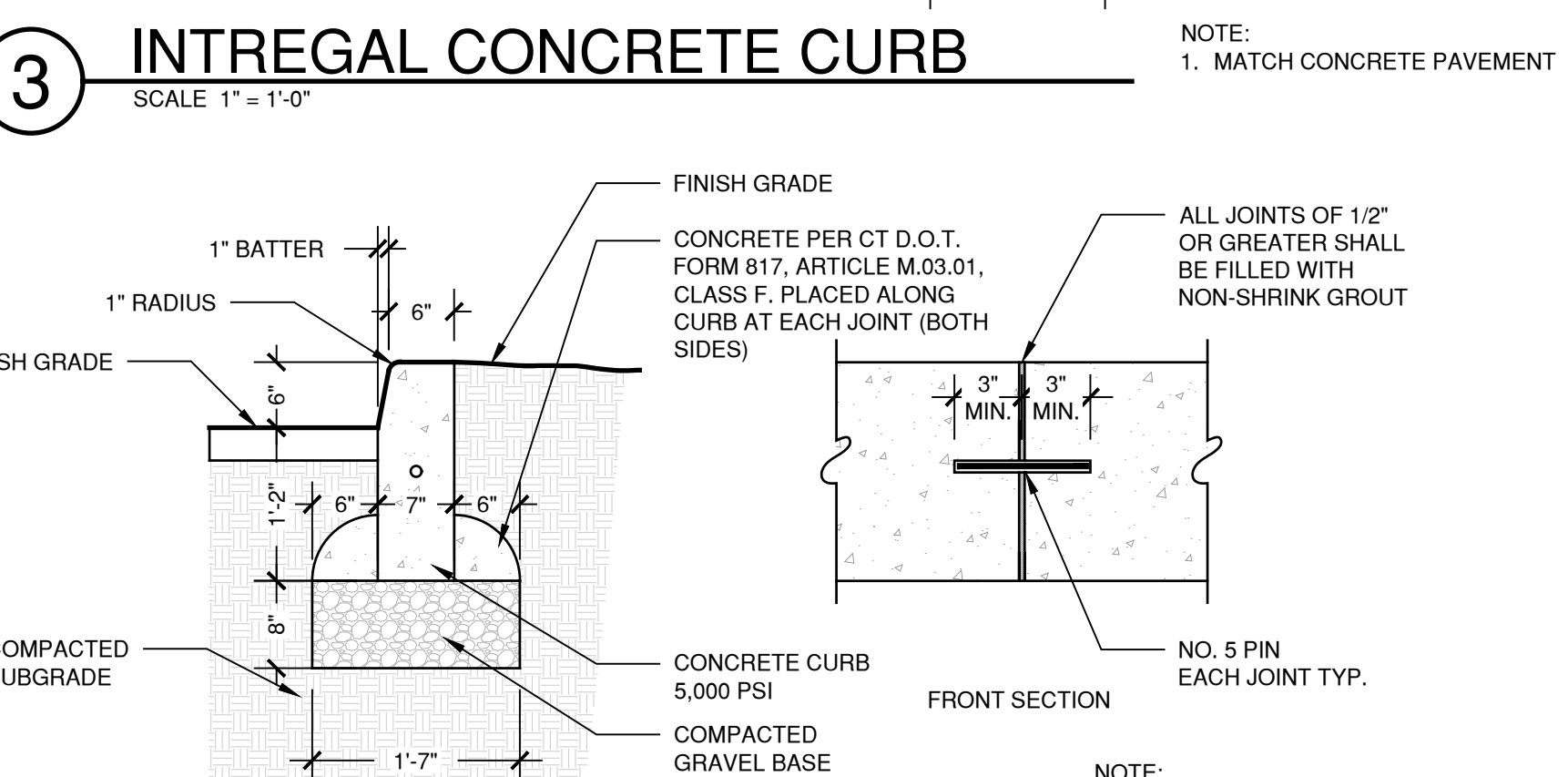


3 INTREGAL CONCRETE CURB
 SCALE 1" = 1'-0"

NOTE:
 1. MATCH CONCRETE PAVEMENT

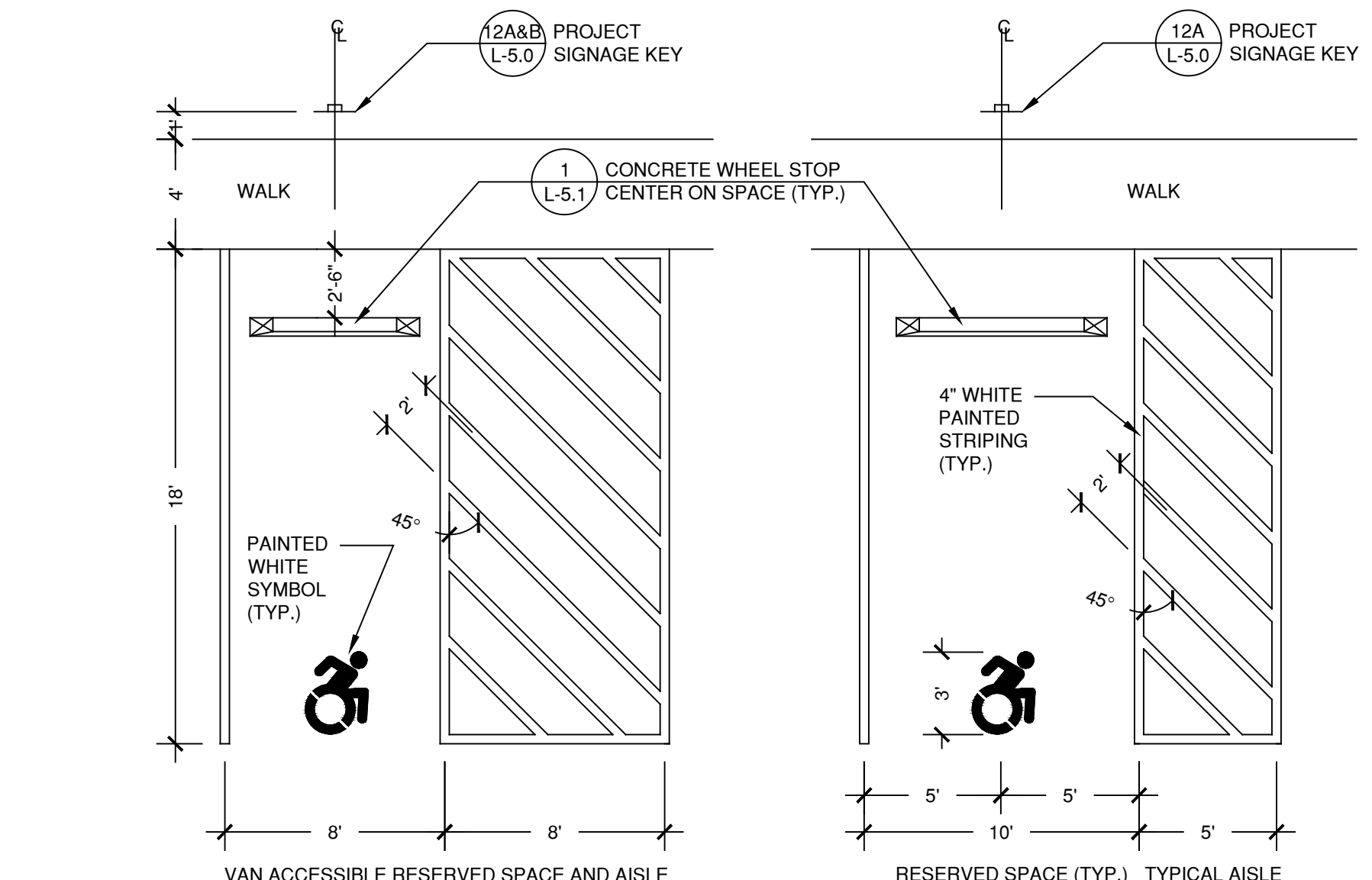


8 BOULDER
 SCALE 1" = 1'-0"

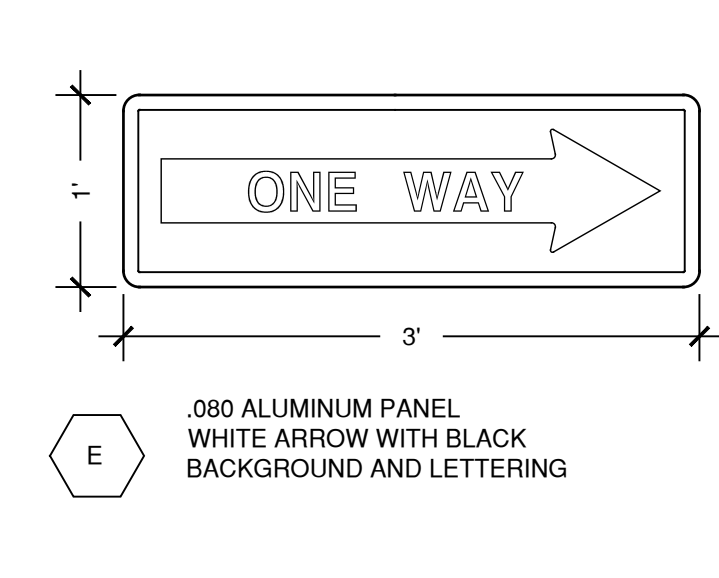
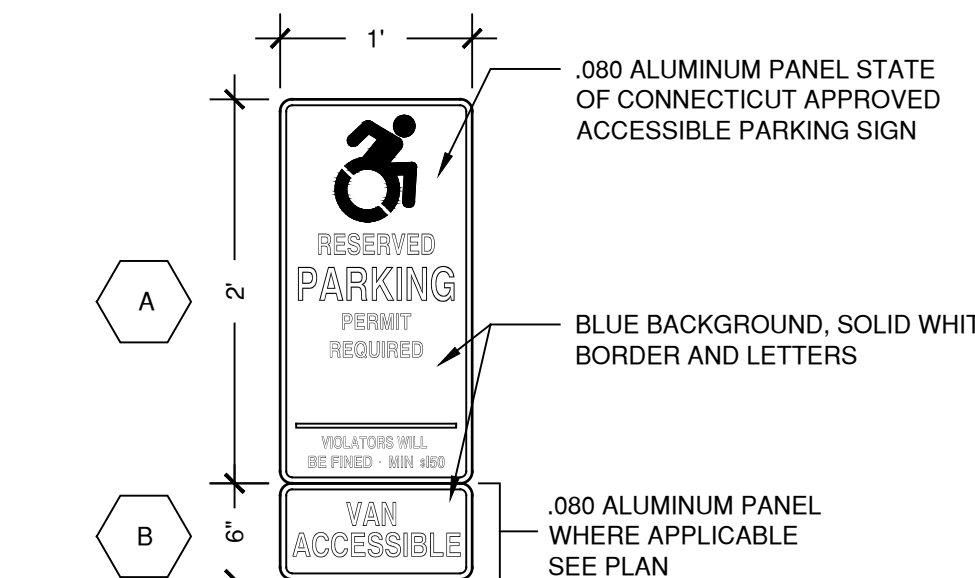
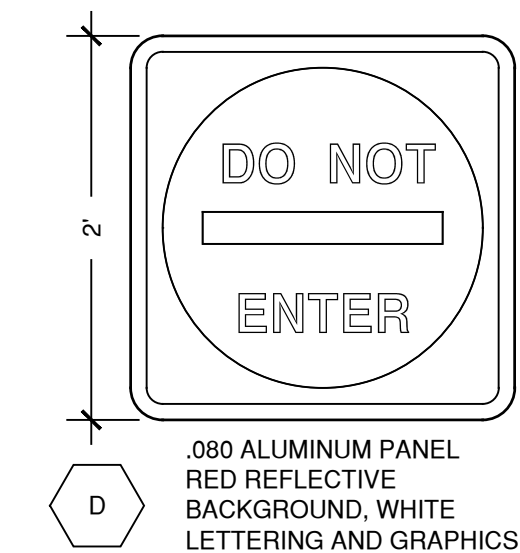


4 PRECAST CONCRETE CURB
 SCALE 3/4" = 1'-0"

NOTE:
 1. CONTRACTOR SHALL SUBMIT SHOP DRAWING OF PRECAST CURB FOR APPROVAL.

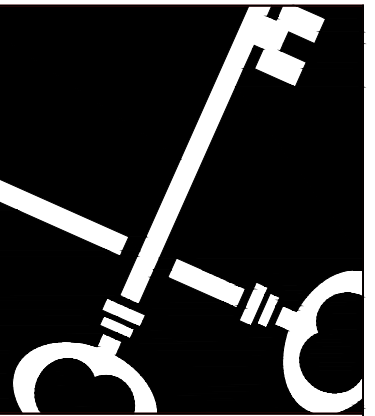


11 TYPICAL RESERVED PARKING LAYOUT
 SCALE 3/16" = 1'-0"



12 PROJECT SIGNAGE KEY
 SCALE 1" = 1'-0"

10 SEE FOR SIGNAGE POST L-5.0



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SITE DESIGN
 LANDSCAPE ARCHITECTURE
 URBAN PLANNING



Monroe Senior Housing
 195 - 211 Main Street, Monroe, CT
Connecticut Housing Partners

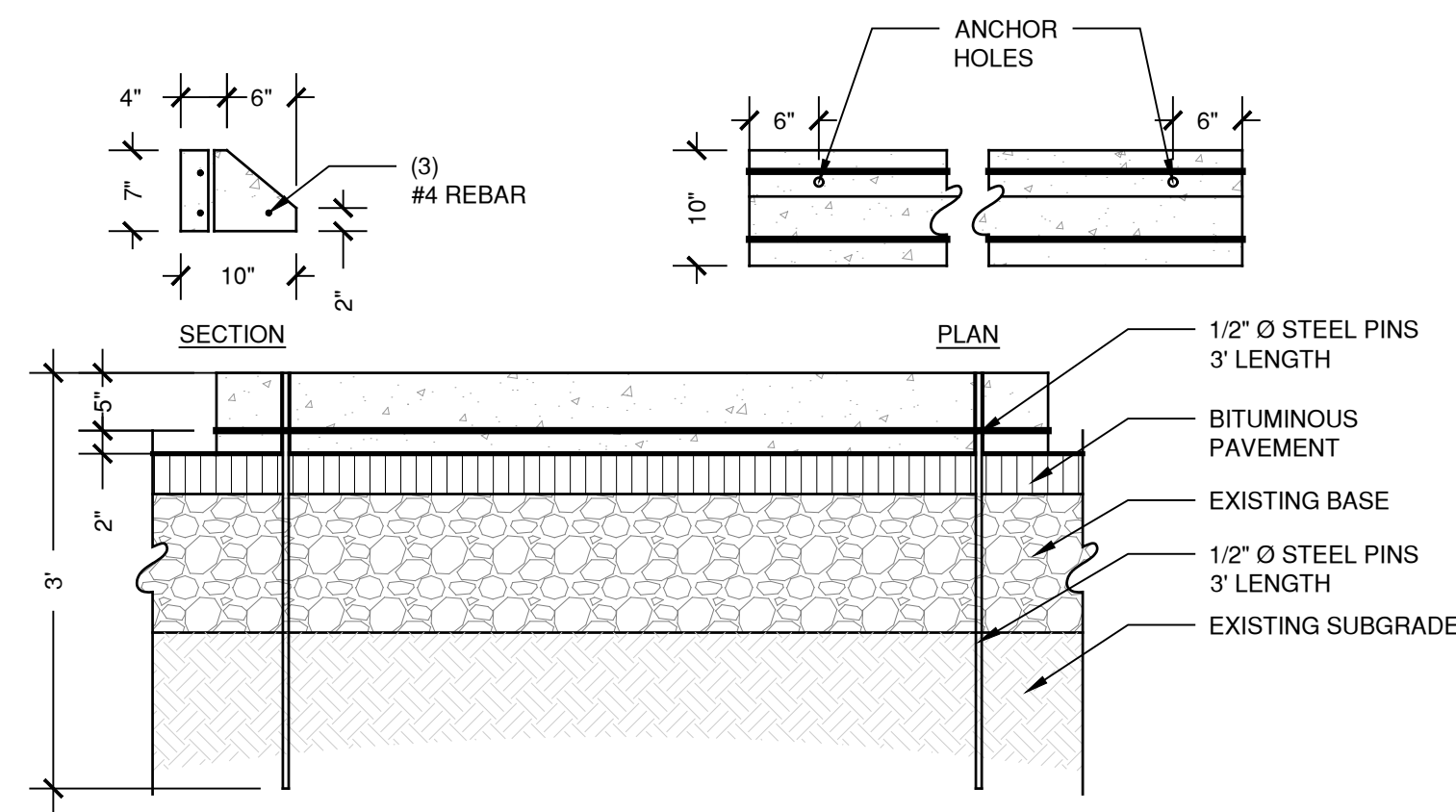
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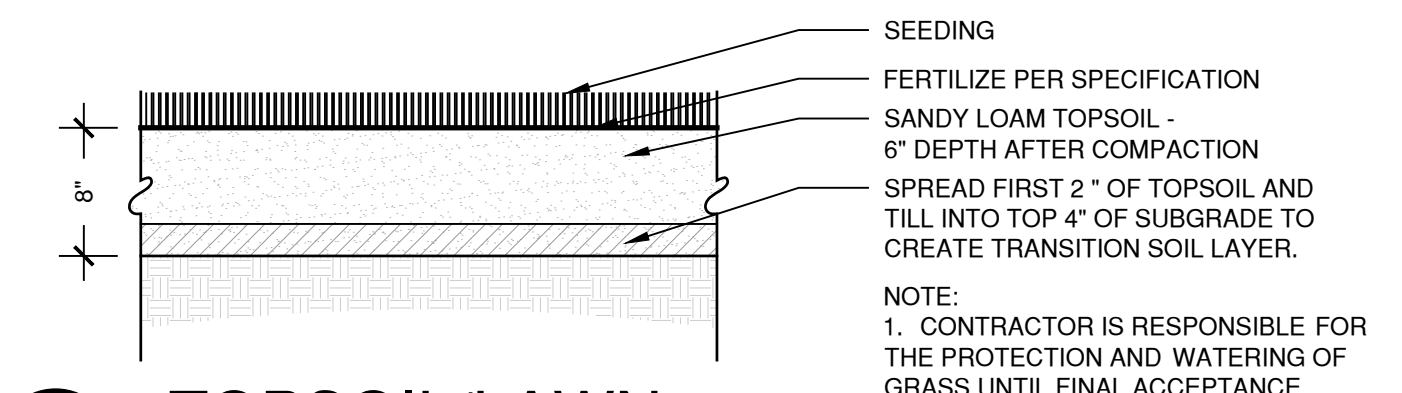
Details

L-5.0

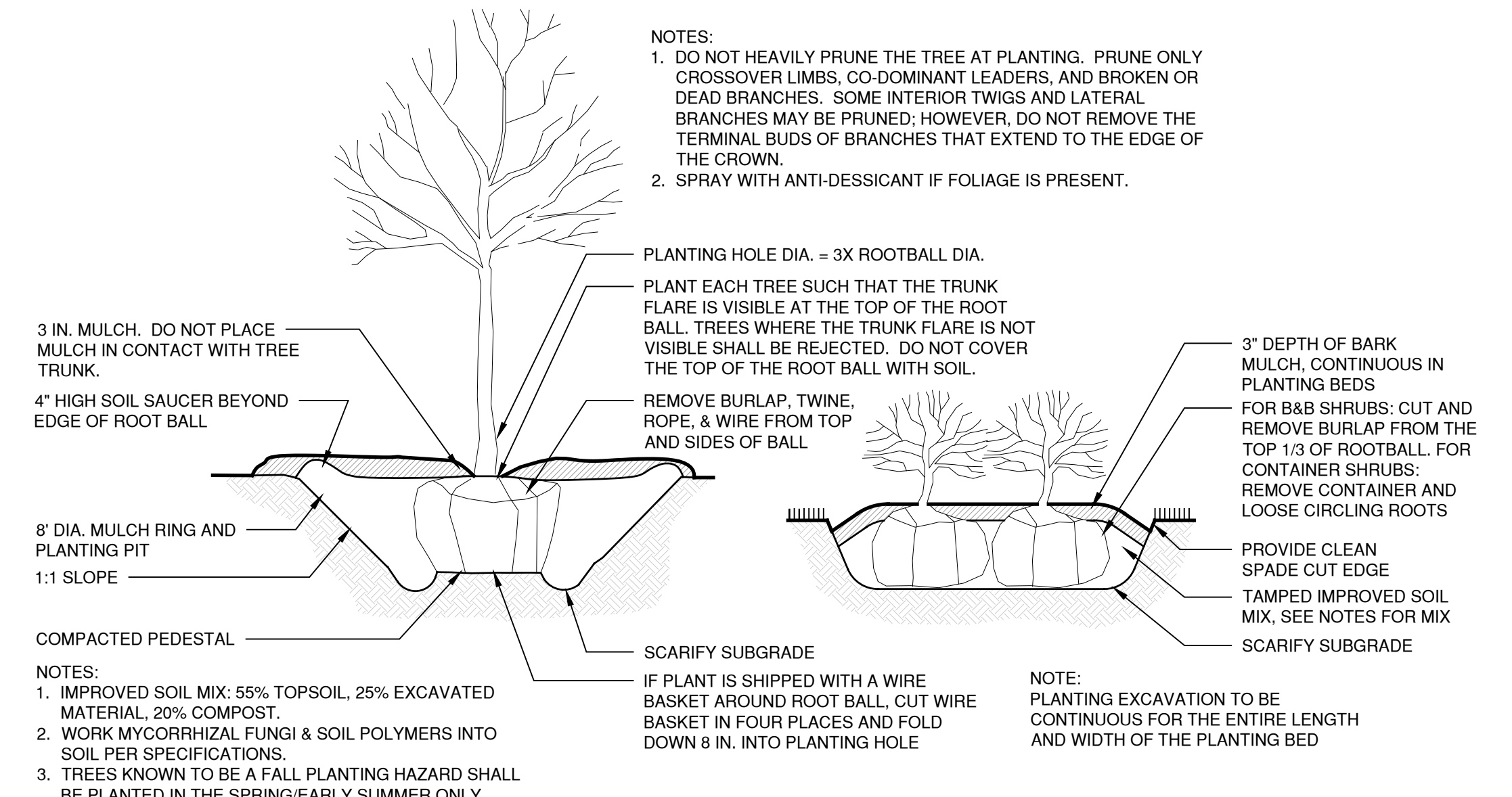
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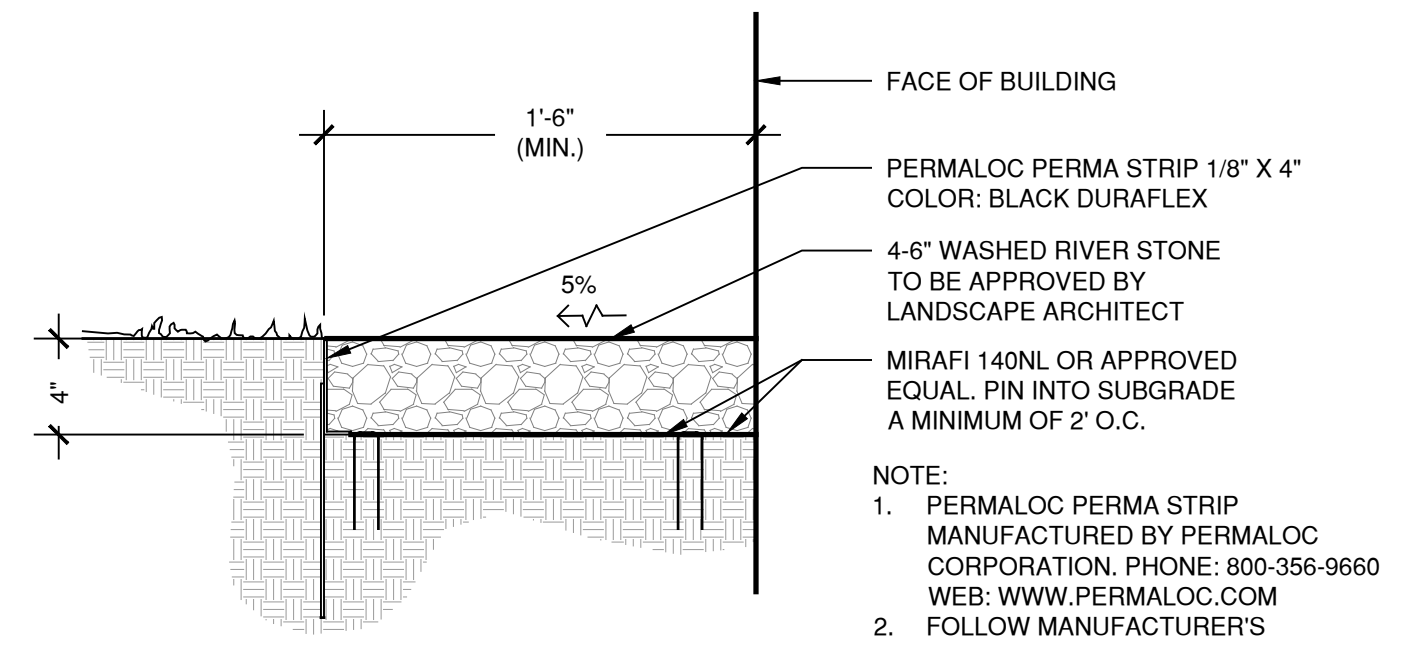
1 CONCRETE WHEELSTOP
SCALE 3/4" = 1'-0"



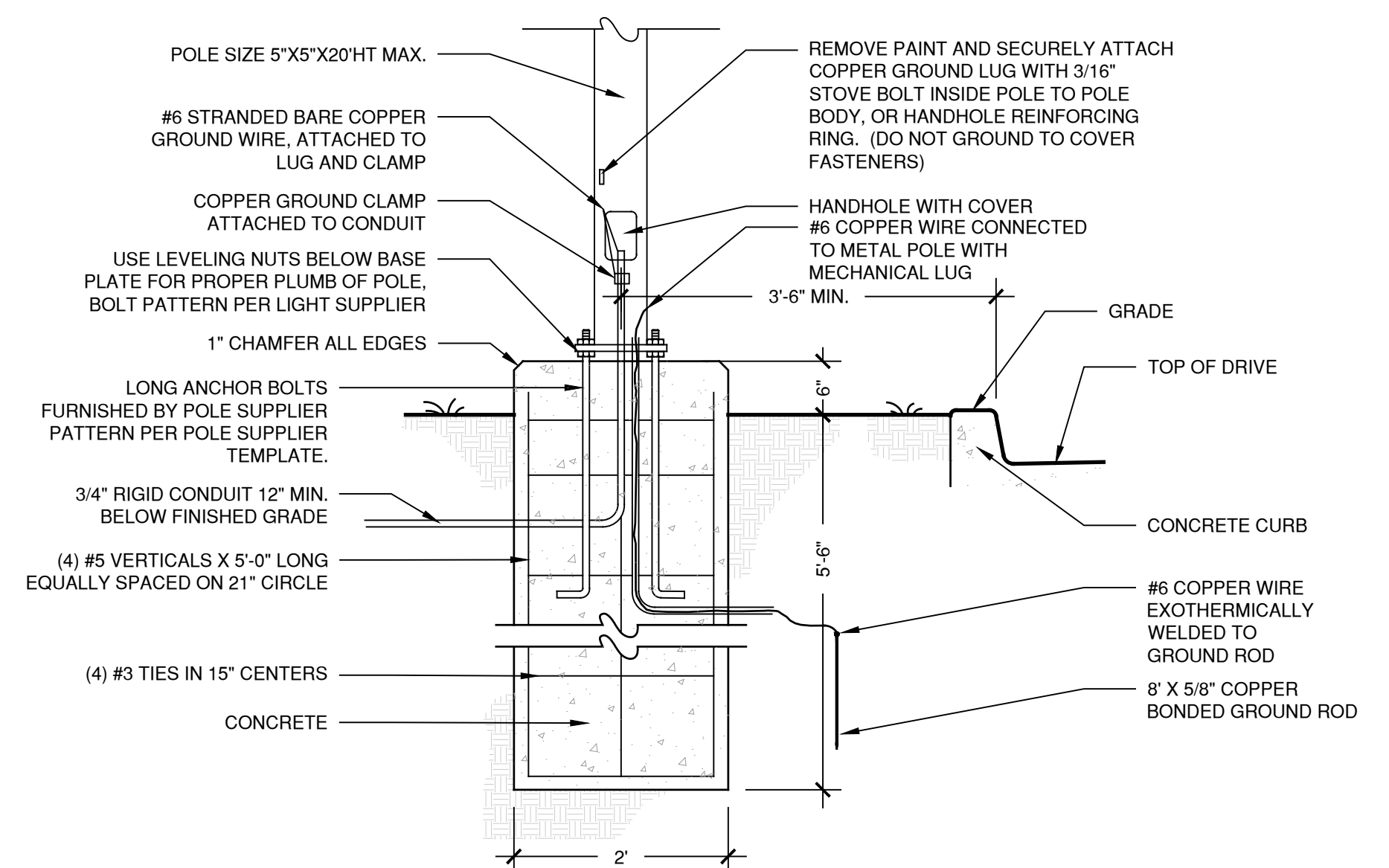
2 TOPSOIL/LAWN
SCALE 1" = 1'-0"



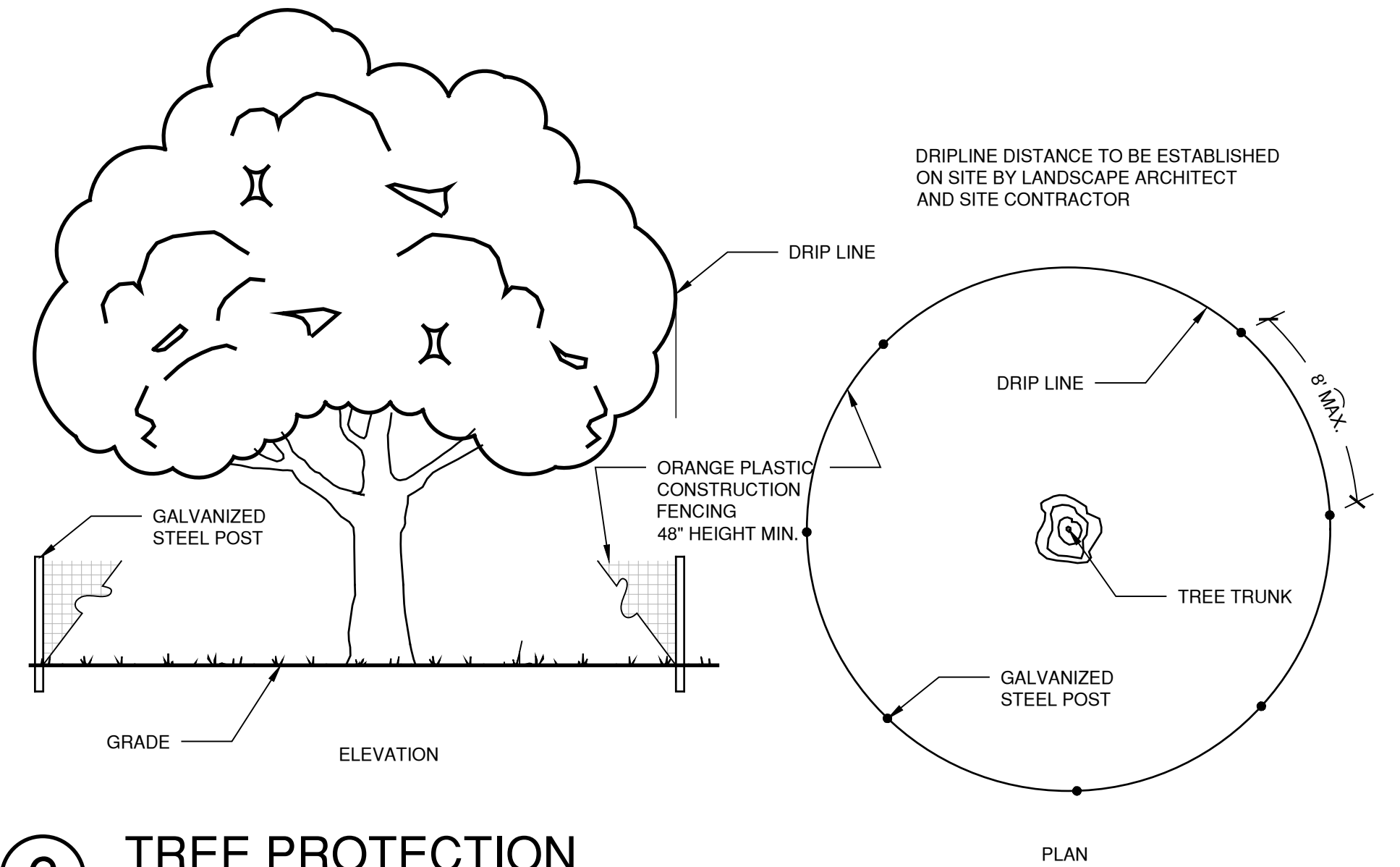
3 TREE / SHRUB PLANTING
SCALE 1" = 1'-0"



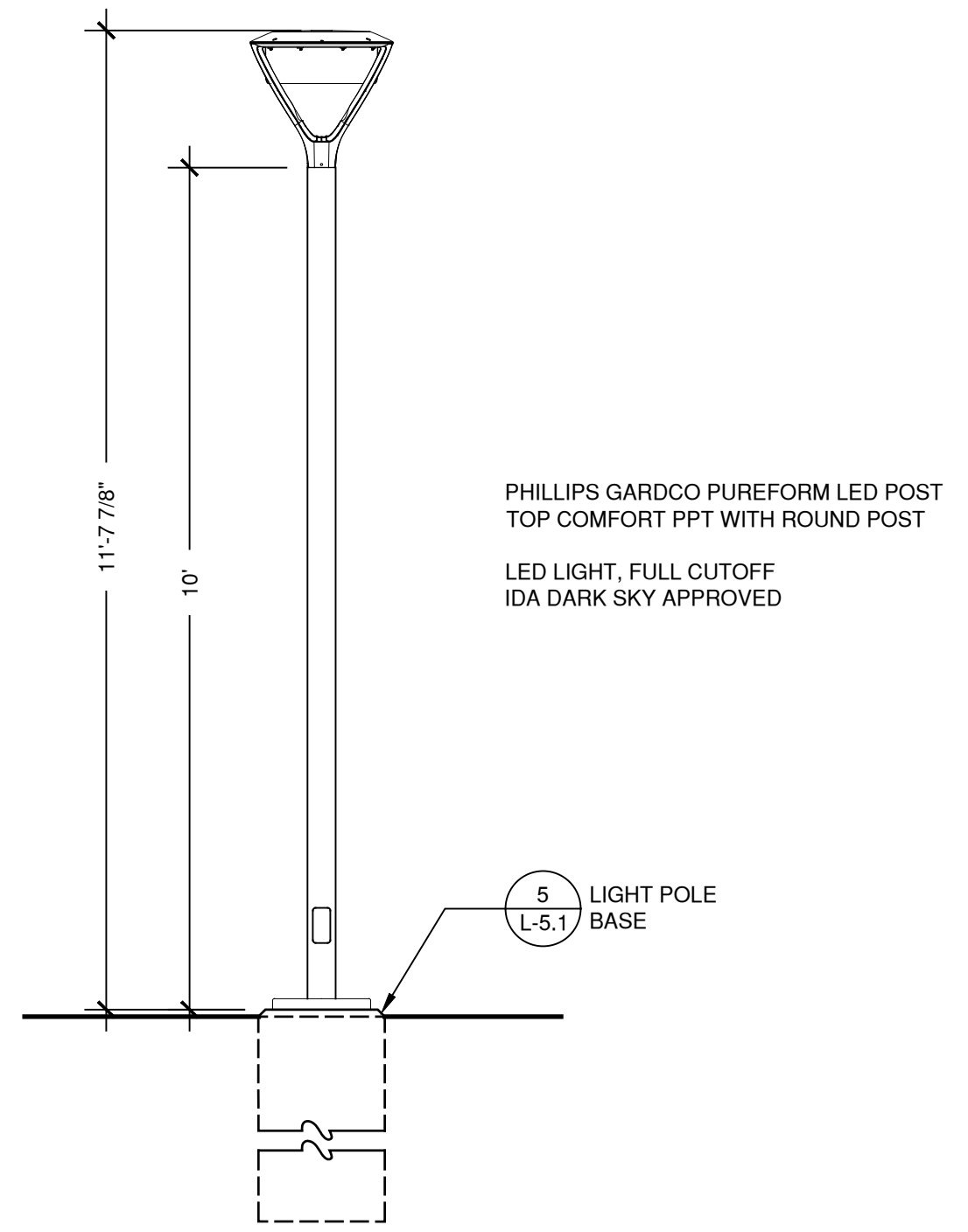
4 STONE MAINTENANCE STRIP
SCALE 1 1/2" = 1'-0"



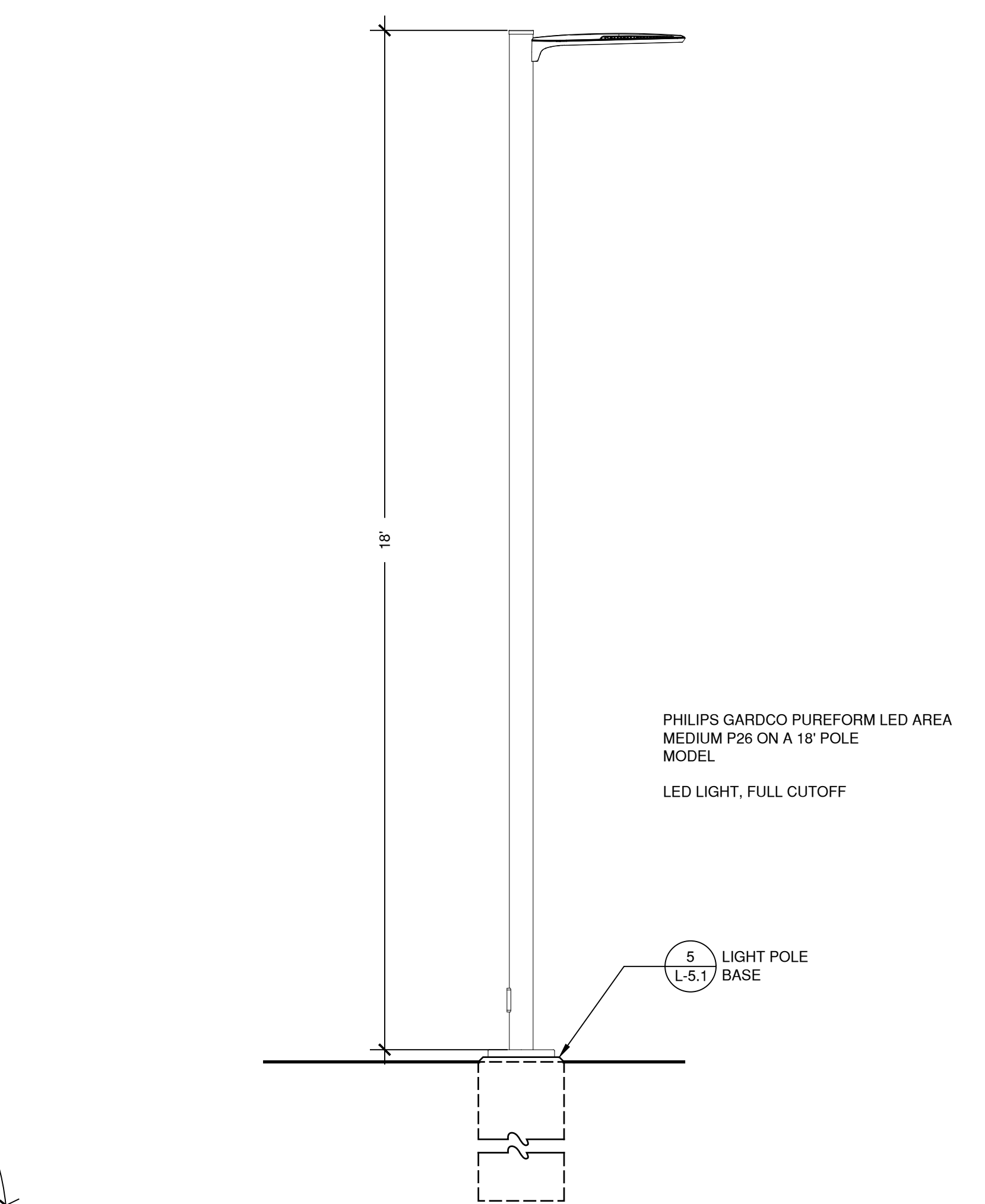
5 LIGHT POLE BASE
SCALE 3/4" = 1'-0"



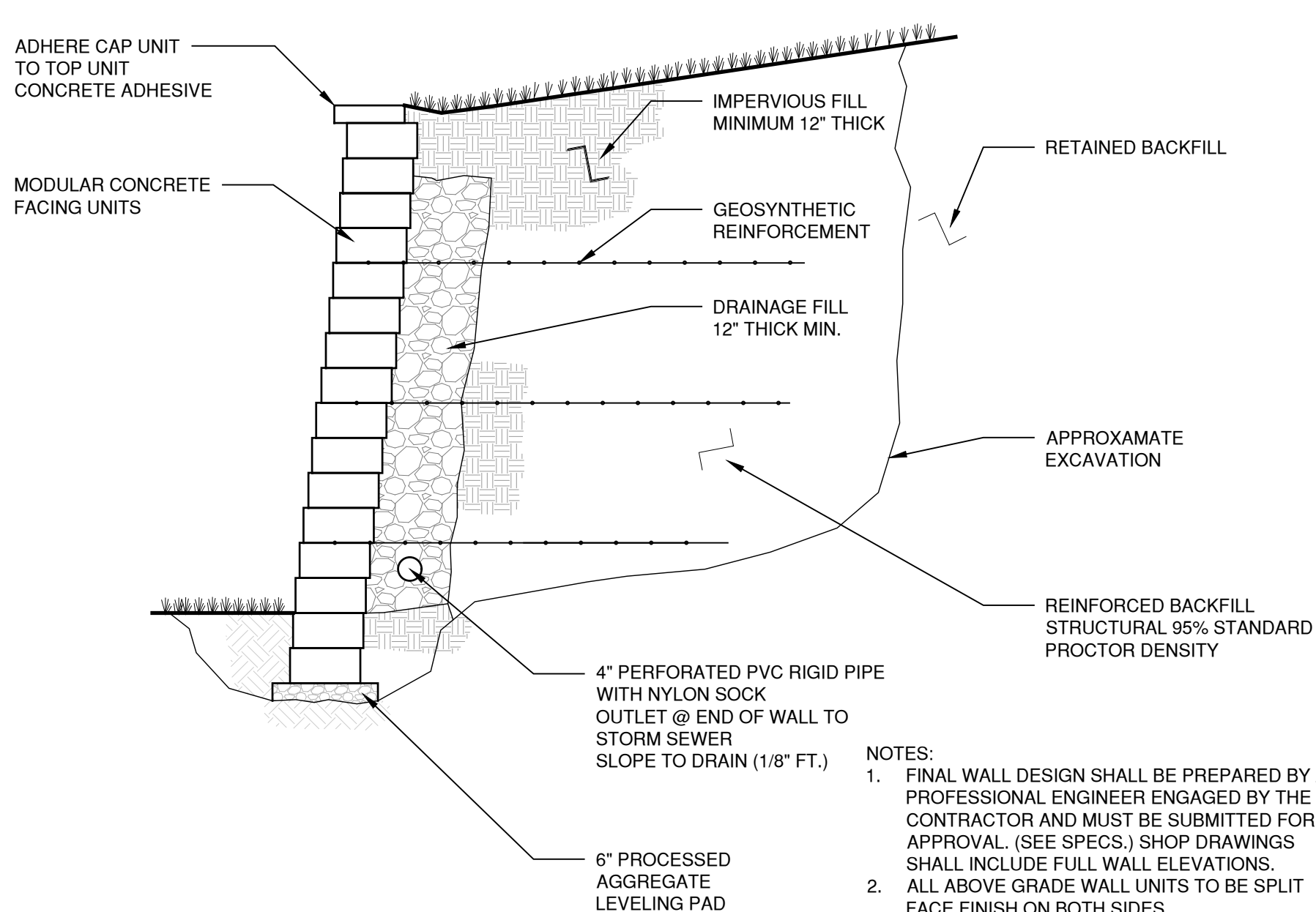
6 TREE PROTECTION
N.T.S



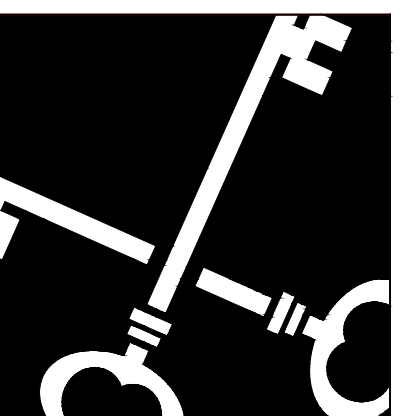
7 LIGHT POLE & LUMINAIRE - TYPE A
SCALE 1/2" = 1'-0"



8 LIGHT POLE & LUMINAIRE - TYPE B
SCALE 1/2" = 1'-0"



9 MODULAR CONCRETE BLOCK RETAINING WALL
SCALE 1/2" = 1'-0"



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LANDSCAPE ARCHITECTURE
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Connecticut Housing Partners
1233 Huntington Turnpike, Trumbull, CT

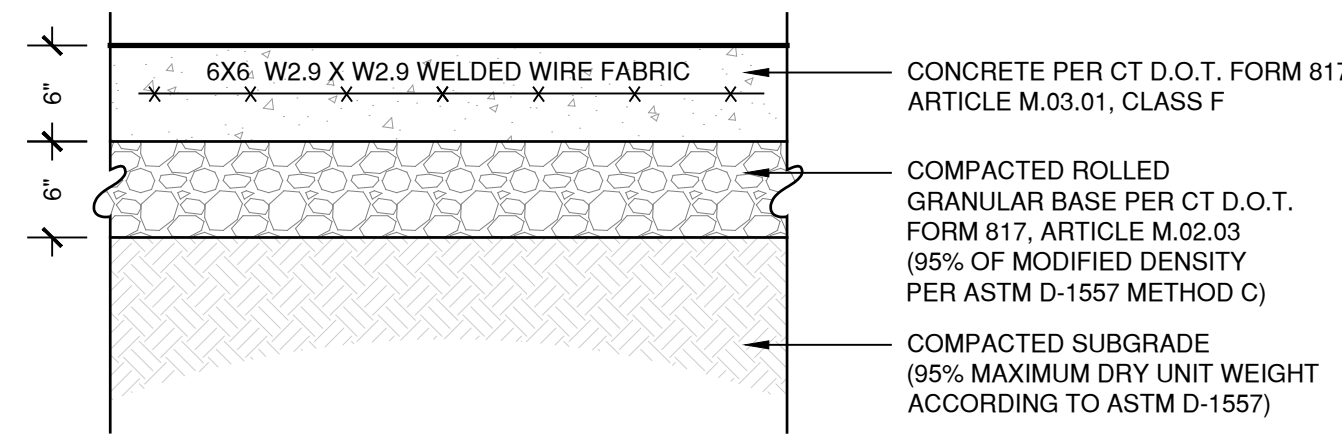
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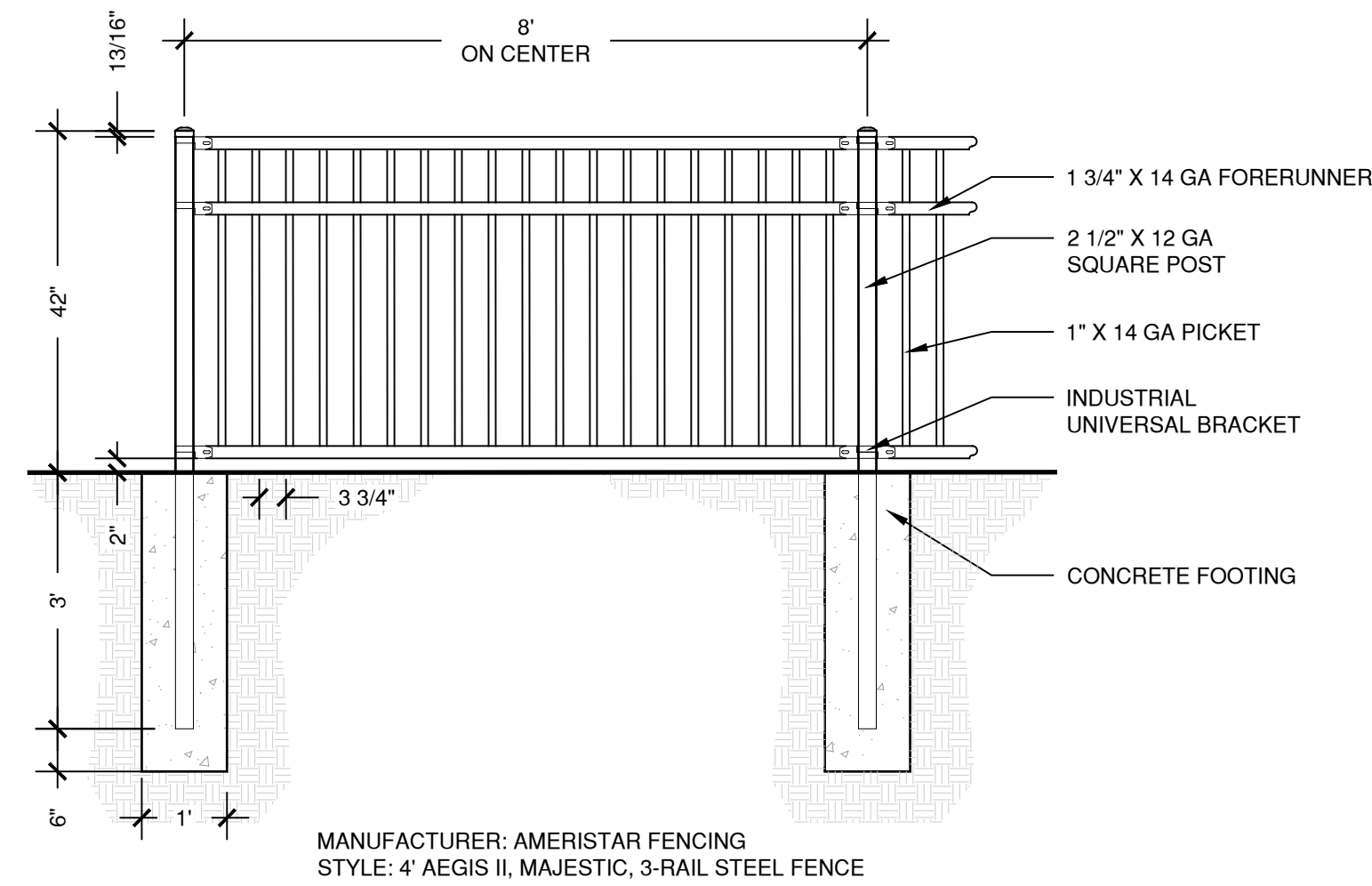
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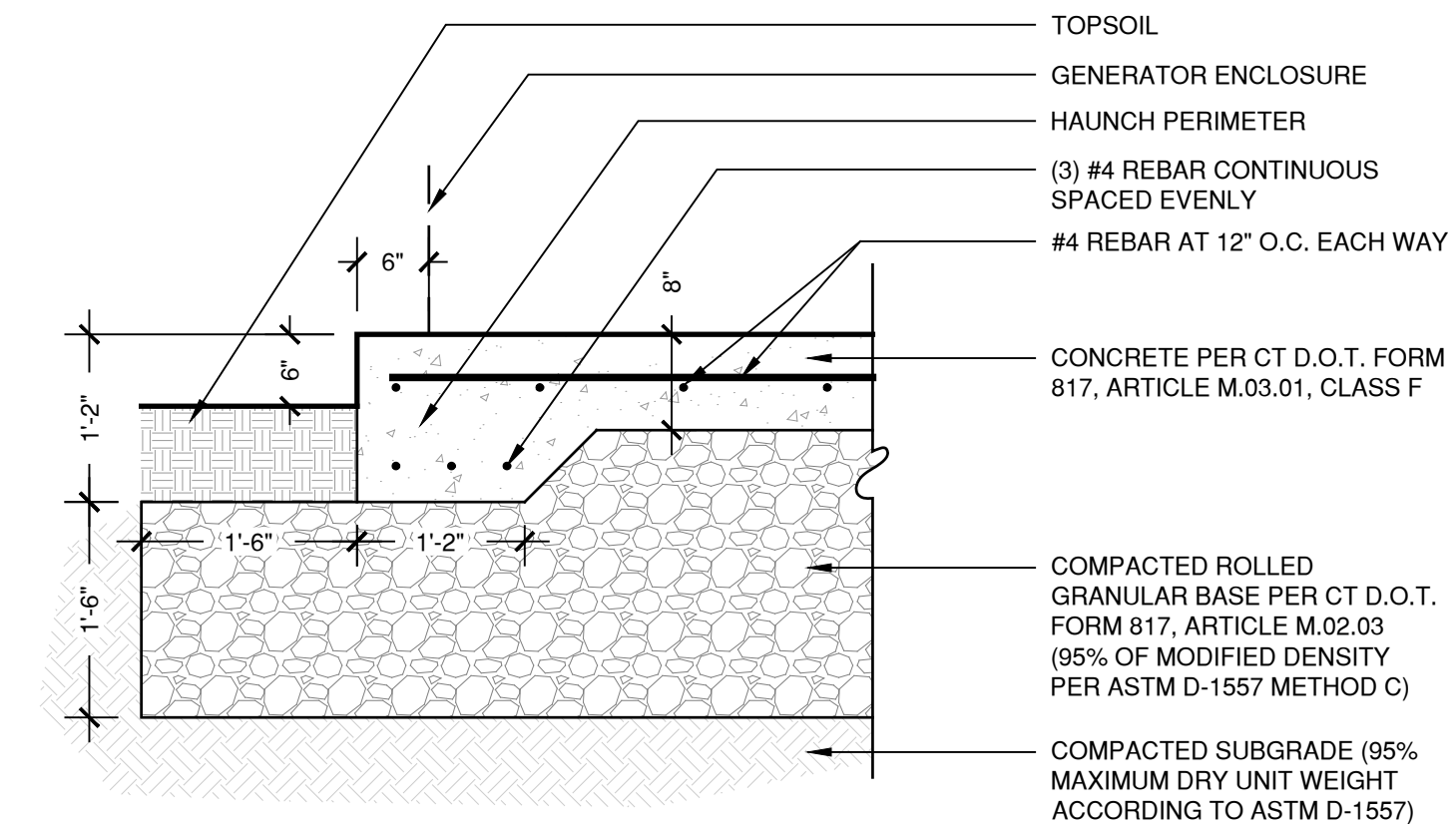


1 DUMPSTER PAD
SCALE 1" = 1'-0"

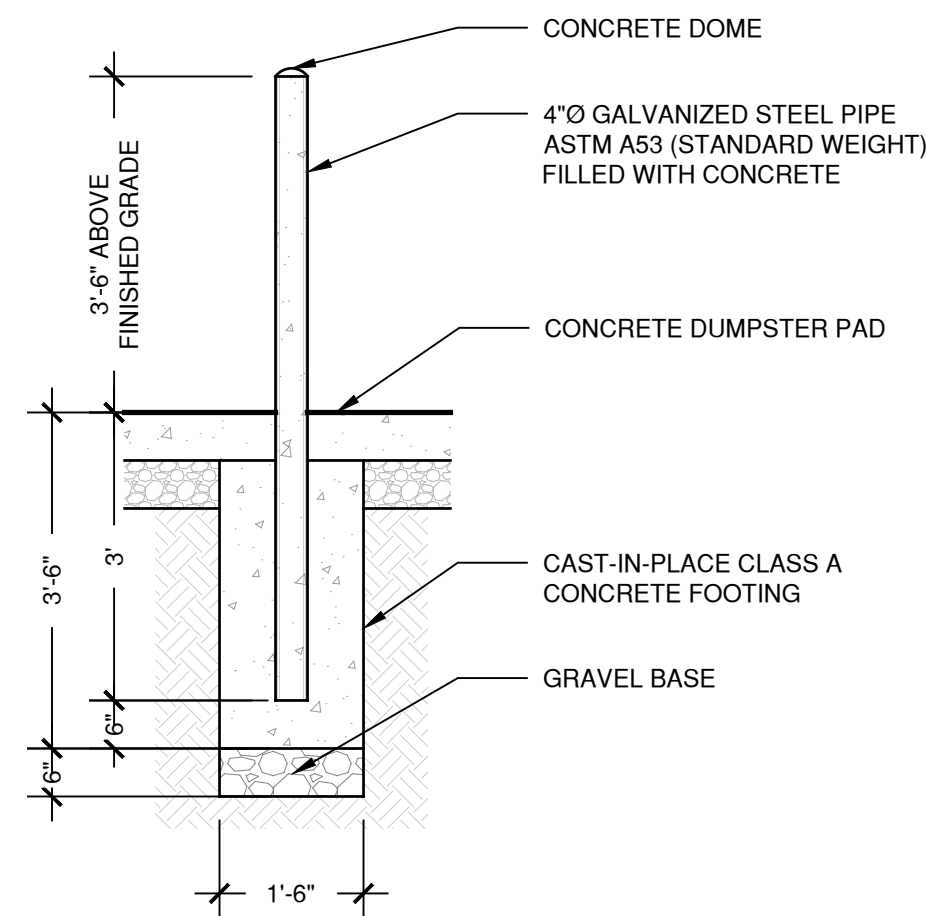


4 42" H ORNAMENTAL FENCE
SCALE 1/2" = 1'-0"

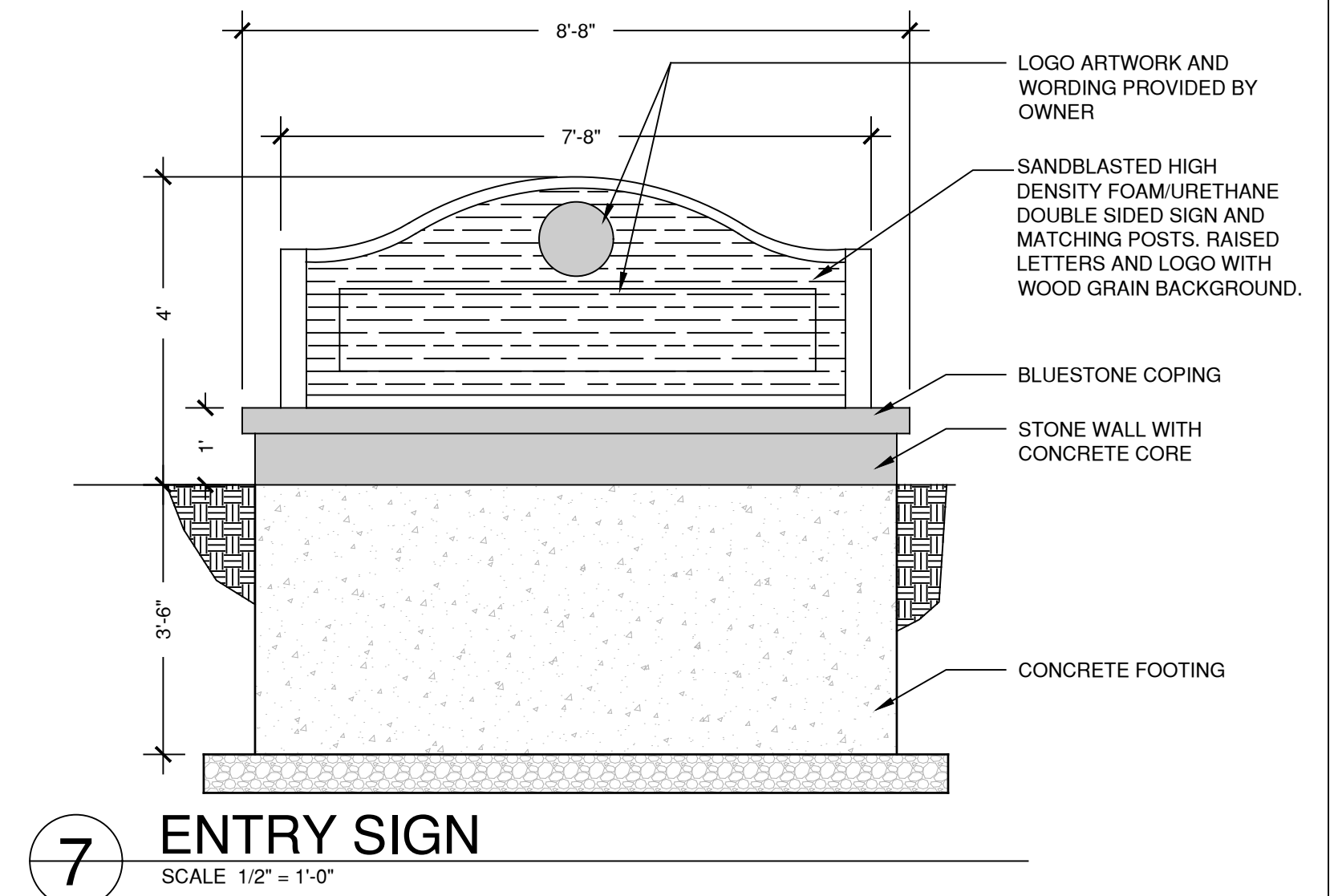
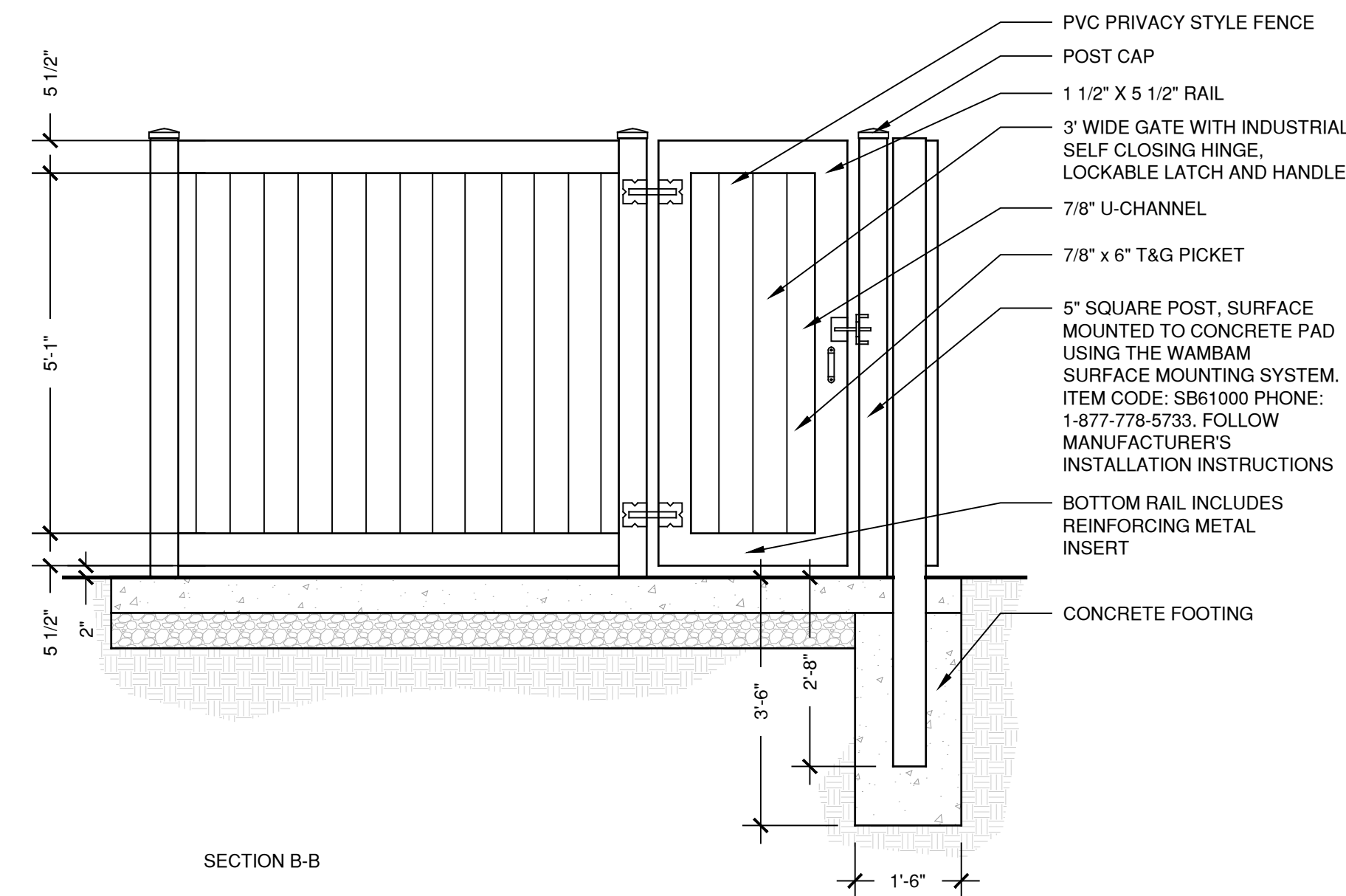
MANUFACTURER: AMERISTAR FENCING
STYLE: 4' AEGIS II, MAJESTIC, 3-RAIL STEEL FENCE



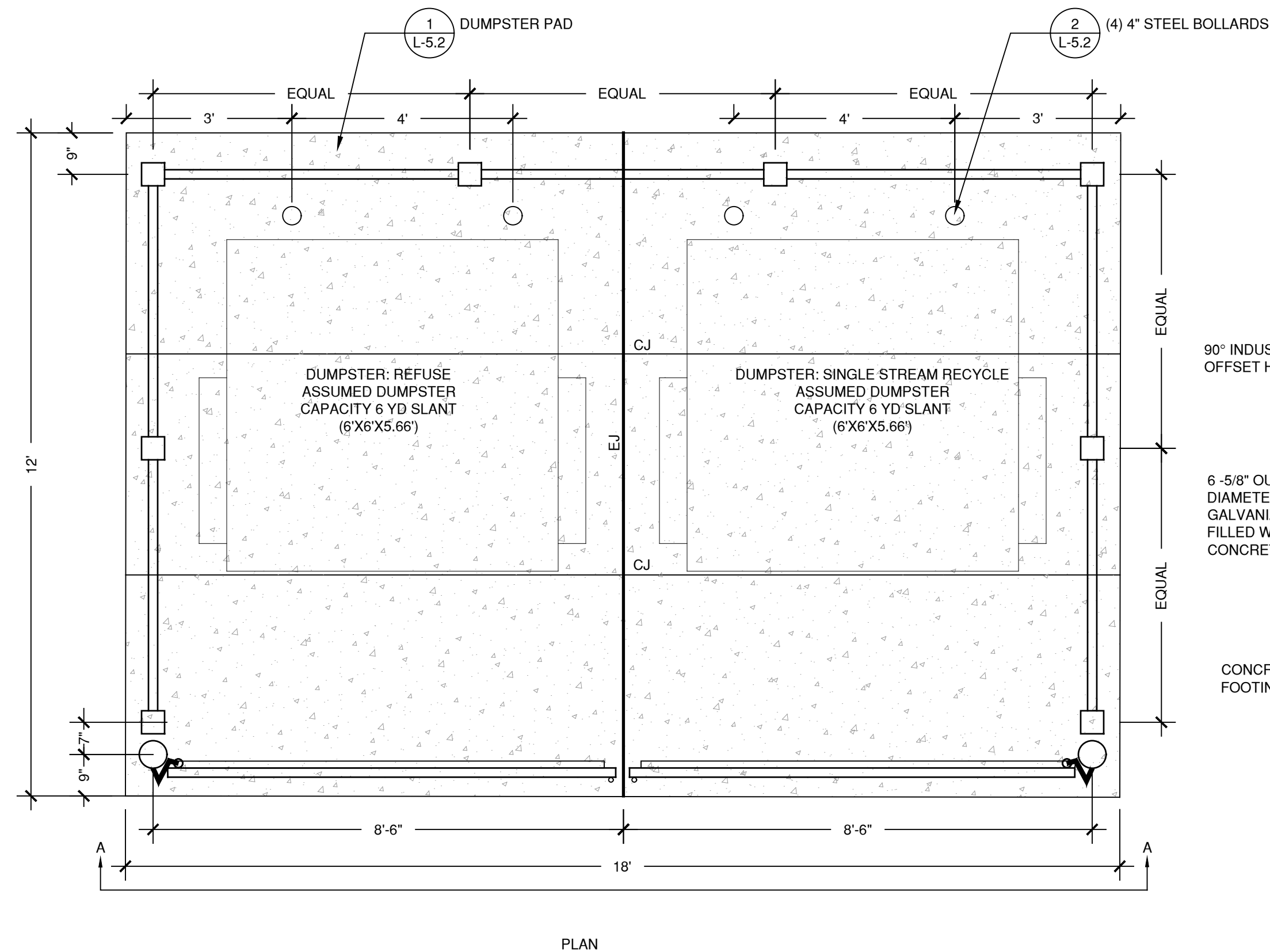
5 CONCRETE GENERATOR PAD
SCALE 3/4" = 1'-0"



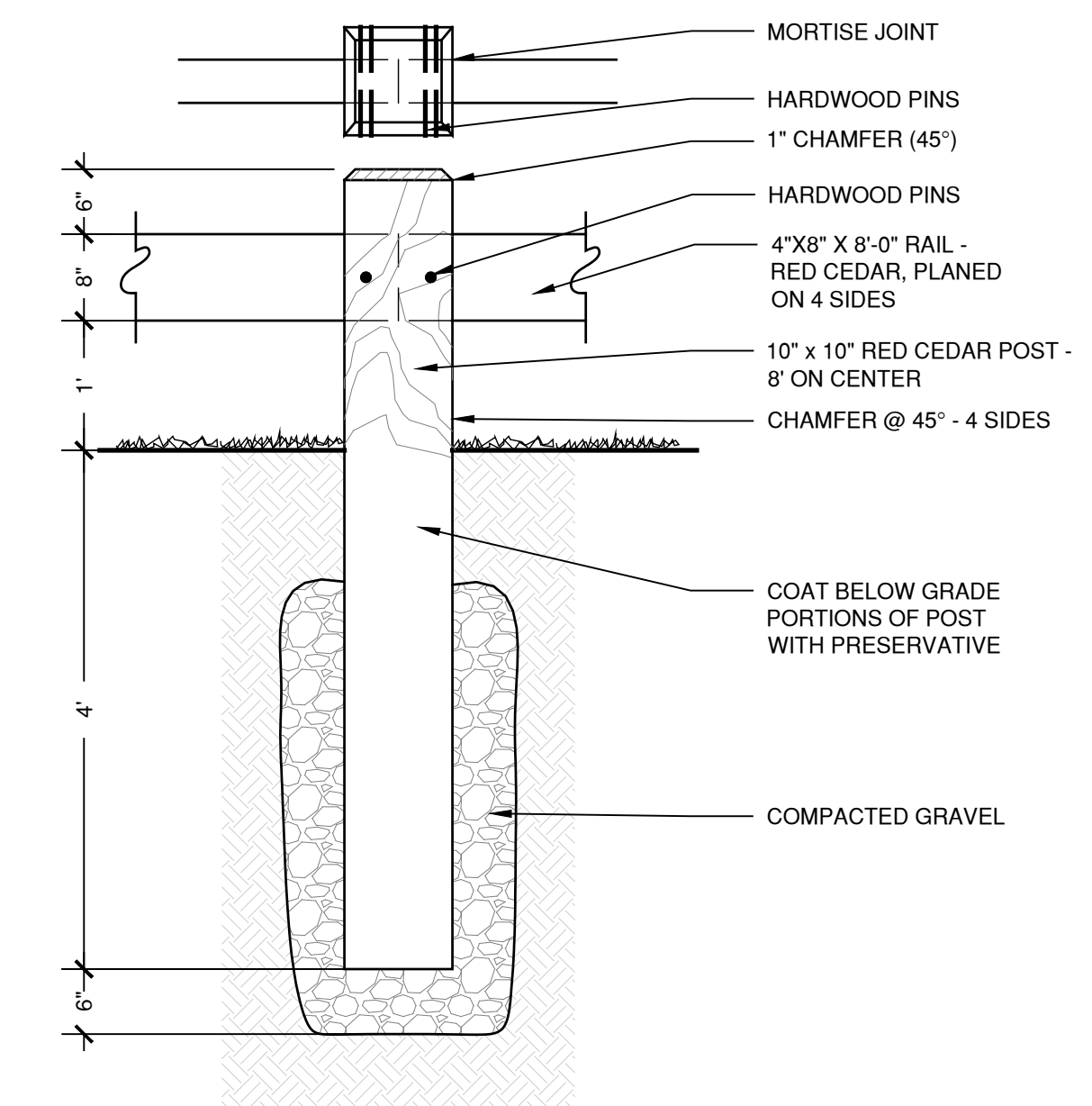
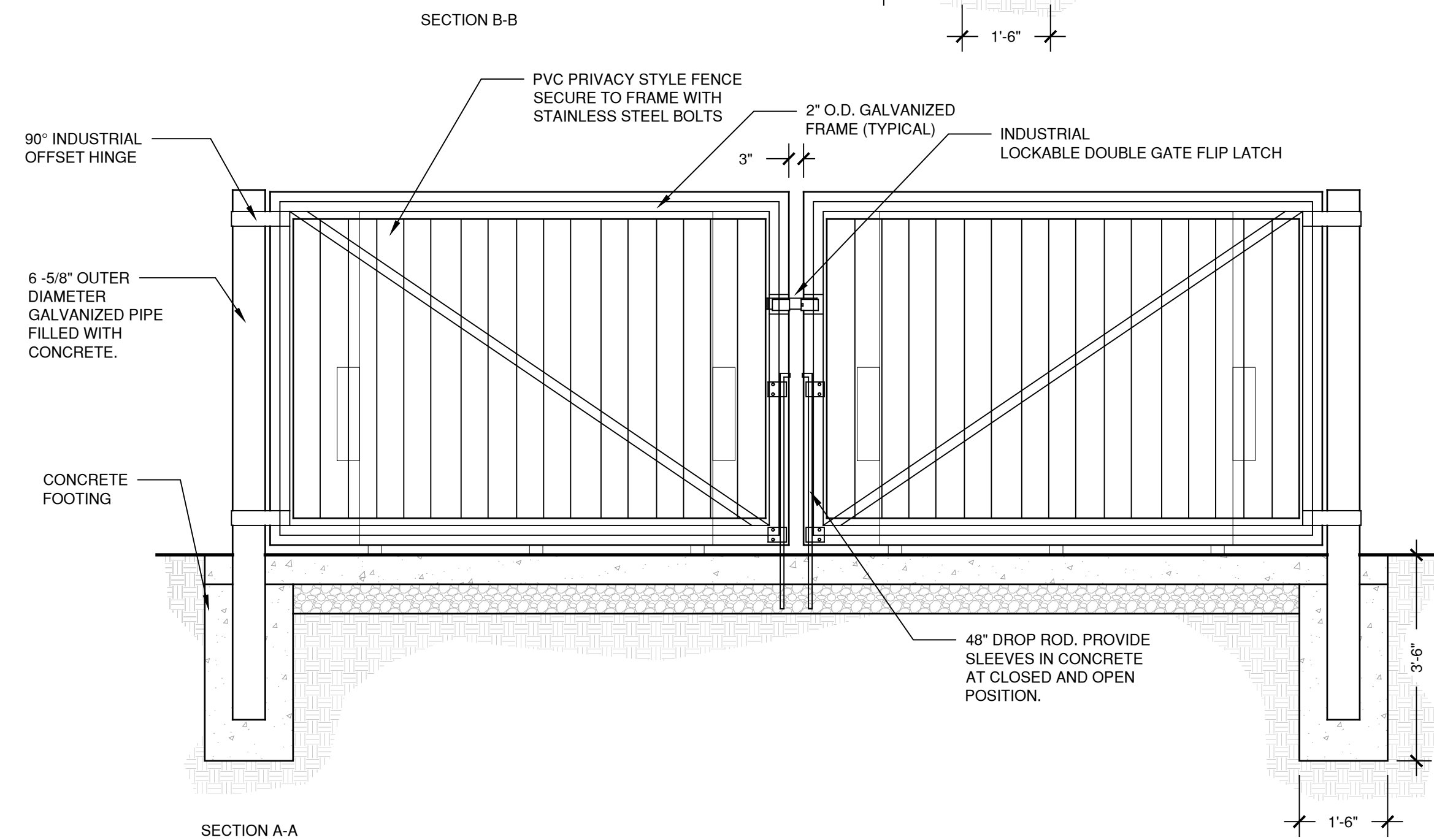
2 4" STEEL BOLLARD AT DUMPSTER PAD
SCALE 1/2" = 1'-0"



7 ENTRY SIGN
SCALE 1/2" = 1'-0"

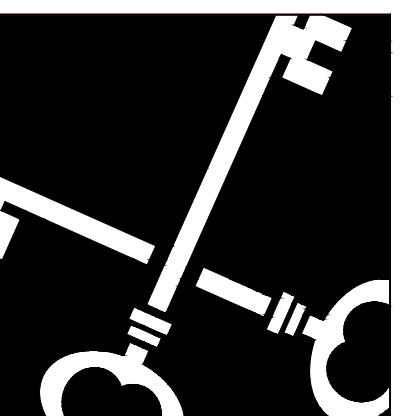


3 DOUBLE WIDE PVC DUMPSTER ENCLOSURE
SCALE 1/2" = 1'-0"



6 WOODEN GUIDERAIL
SCALE 3/4" = 1'-0"

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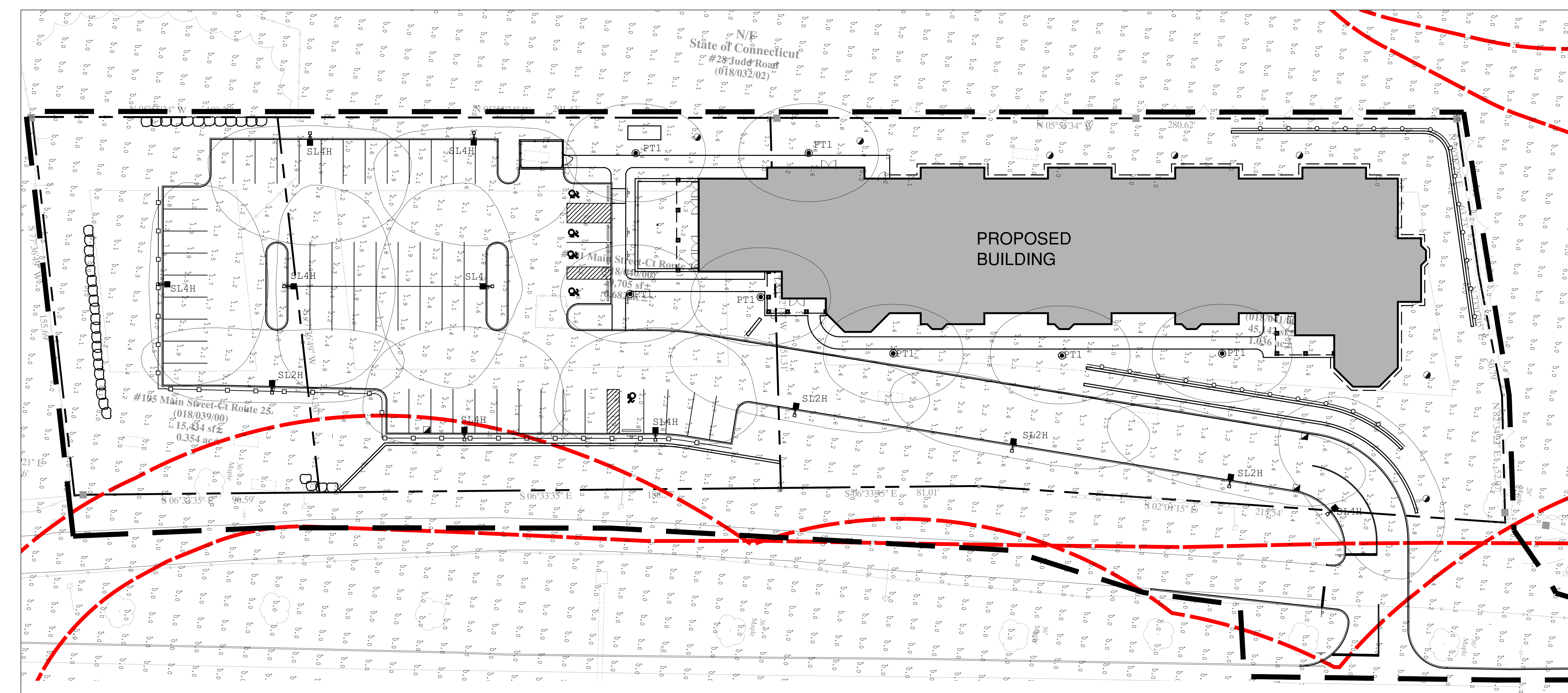
Monroe Senior Housing
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Connecticut Housing Partners
1233 Huntington Turnpike, Trumbull, CT

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N/E
State of Connecticut
#28 Judd Road
(018/032/02)

PROPOSED
BUILDING

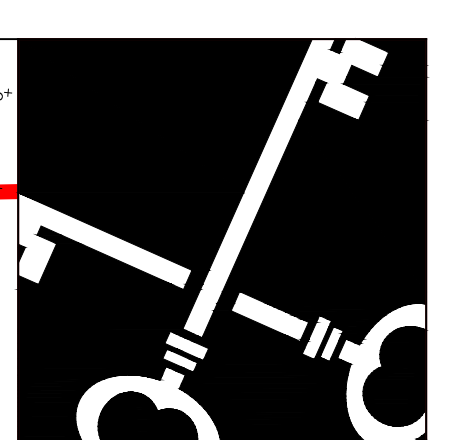
#195 Main Street-Ct Route 25
(018/039/00)
15,834 sf
0.354 ac

#1 Mail St-Ct Route 25
(018/039/00)
4,705 sf
0.108 ac

JOB NAME: MONROE SENIOR HOUSING - CHFA - MONROE, CT
APEX LIGHTING SOLUTIONS
WORKPLANE/CALC PLANE: @ FINISH GRADE
MOUNTING HEIGHT: SEE LUMINAIRE SCHEDULE
APPS: LED
SALES: SP

Luminaire Schedule							
Qty	Label	Arrangement	Lumens	Input Watts	LLF	BUG Rating	Description
7	PT1	SINGLE	4573	52.21362	0.850	B2-U0-G2	GARDCO PPT-140L-1150-WW-G2-1-UNV-FINISH / MOUNTED TO PRA4-CB-10-FINISH
4	SL2H	SINGLE	6904	60.07694	0.765	B1-U0-G2	GARDCO P26-48L-400-WW-G2-AR-2-UNV-HIS-FINISH / MOUNTED TO RA5-CB-18-L-D1-FINISH
1	SL4	SINGLE	7697	60.07694	0.850	B1-U0-G2	GARDCO P26-48L-400-WW-G2-AR-4-UNV-FINISH / MOUNTED TO RA5-CB-18-L-D1-FINISH
7	SL4H	SINGLE	7200	60.07694	0.765	B1-U0-G2	GARDCP P26-48L-400-WW-G2-AR-4-UNV-HIS-FINISH / MOUNTED TO RA5-CB-18-L-D1-FINISH

Calculation Summary						
Label	Grid Height	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	0	0.20	5.1	0.0	N.A.	N.A.
PARKING LOT AND DRIVE AISLES		2.00	5.1	0.6	3.33	8.50



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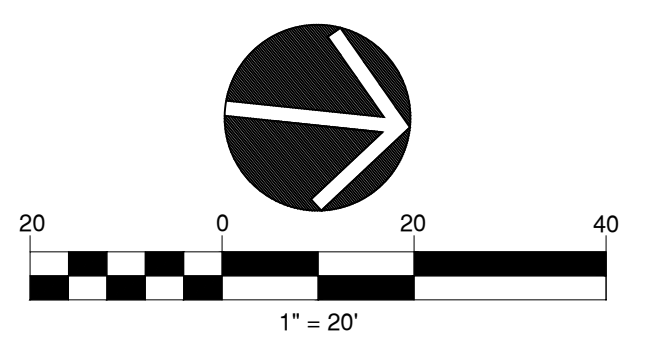
Monroe Senior Housing
195 - 211 Main Street, Monroe, CT
Connecticut Housing Partners

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Revisions:
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Lighting
Plan

L-6.0
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SEDIMENTATION AND EROSION CONTROL

PER STATE OF CONNECTICUT PUBLIC ACT 83-388

All applicable practices recommended by the 2002 CT Guidelines for Soil Erosion & Sediment Control are included by reference.

1. DESCRIPTION

The project consists of the construction of senior housing at 195 - 211 Main Street in Monroe, CT. Housing will consist of 49 units with adjacent entry drive and parking lots.

2. SCHEDULE

The project is anticipated to be constructed in 2021.

3. DESIGN AND CRITERIA

Note: The Contractor shall name one individual as his Sediment and Erosion Control Supervisor whose primary responsibility will be the maintenance of all on-site erosion control measures. He will keep a daily log of his activities and an updated schedule of proposed construction activities. The log will be made available to inspectors.

A. GEOTEXTILE SILT FENCE (GSF) - Shall be non-woven material, minimum 36" high and fastened to wood stakes (see detail this sheet). Silt fence shall be installed with end runs turned up grade at 45 degrees for a distance of 10 feet.

B. TEMPORARY SEEDING (TS)

- Contractor shall scarify the soil to a depth of 2" before applying fertilizer, limestone and seed.
- Seed may be applied by hand or mechanically. Seed application shall be uniform. Seed rate shall be in accordance with the 2002 Guidelines for Soil Erosion and Sediment Control (increase seeding rates by 10% when hydroseeding. Limestone, fertilizer and seed may be applied in slurry.)
- Contractor shall mulch area (MS) immediately following seeding. (Note: In the event seeding operations are not feasible due to seasonal restrictions or extended inclement weather patterns, the Contractor shall install an Erosion Control Blanket over exposed soils.)

C. PERMANENT SEEDING (PS)

- Contractor shall apply topsoil and fine grade all areas before the application of permanent seed. Apply limestone and fertilizer as needed, in accordance with soil tests.
- Remove all surface stones 1/2 inch and larger. Remove all other debris and rake seed bed.
- Apply seed within 7 days after establishing final grades. See planting plan.

D. HAY BALE BARRIER (HB) - Shall be made of hay or straw with 40 pounds minimum weight and 120 pounds maximum weight, held together by twine or wire. (See detail this sheet.)

E. CONSTRUCTION ENTRANCE (CE) - Shall be an angular stone (DOT Standard Spec Section M.01.01 size #3) pad, a minimum of 12' wide and 50' long. (See detail this sheet.)

F. EROSION CONTROL BLANKET (ECB) - Erosion mat shall be placed on all exposed outfill slopes steeper than 3:1 (including swales & ditches) to protect against rainfall and hold moisture content to enhance vegetation growth in seeded areas. Mat (or blankets) shall be straw or straw/coconut fiber combination sewn together with lightweight netting. Use North American green. S150 - slopes up to 3:1, SC150-slopes from 3:1 up to 2:1 or greater. Temporary hay mulch to be applied to areas less than 3:1 slope and all areas to be left barren over the winter, mulch rate to be 70 pounds/1000 s.f.

4. APPLICATION/GENERAL PROCEDURES

- Soil erosion and sediment control measures will be installed prior to any site disturbance, and development will proceed according to a specific construction sequence. The objective is to maximize the reduction of sediment-laden runoff through implementation of conventional soil sedimentation and erosion control practices currently recommended by the 2002 "CT Guidelines for Soil Erosion and Sediment Control".
- Earthwork will be scheduled for periods when soil saturation is low and Soil loss hazard is at a minimum.
- Suspend earthwork for major storm events and implement additional sedimentation and erosion control measures as necessary.
- There shall be no cuts or fill left exposed for longer than 30 days. The established procedure of temporarily seeding and/or cover with erosion protection (mat or hay) shall be followed to insure minimal soil loss.

5. MONITORING AND MAINTENANCE PROGRAM

- For the duration of the project construction, the Contractor shall maintain all sedimentation and erosion control devices to insure their efficient operation.
- The responsibility for performing periodic checks of the protection system in-place and to coordinate cleaning and repair operations shall be assigned to the General Contractor's project representative.
- All sedimentation and erosion control devices shall be checked for the adequacy of the control systems prior to severe storm weather forecasts. Inspect control system during and after storms to determine necessary repairs.
- Repairs to sedimentation control systems directed by the project representative shall be done within 24 hours of the directive or as soon as possible prior to storm warnings.
- Replacement materials for the devices utilized must be readily available for repairs.
- Clean sedimentation and erosion control devices as directed by the projects representative.
- Placement of temporary sedimentation and erosion control devices that are not shown on plans, but are required due to Contractor's operations, shall be placed at the direction of the projects representative.
- Dust control and off-site debris caused by the Contractor's earthwork operations shall be prevented, or cleaned-up in accordance with the standard state specification "Form 816".

6. SPECIFIC MAINTENANCE MEASURES SHALL BE AS FOLLOWS:

A. GEOTEXTILE SILT FENCE (GSF) - Inspect GSF at least once a week and within 24 hours of the end of any storm event of 0.5-inch or greater. Repair or replace the fence within 24-hours of observed failure.

B. HAY BALE BARRIER (HB) - Inspect HB at least once a week and within 24 hours of the end of any storm event of 0.5-inch or greater. Repair or replace the hay bales within 24-hours of observed failure.

C. CONSTRUCTION ENTRANCE (CE) - Maintain the entrance in a condition which will prevent tracking and washing of sediment onto paved surfaces. Provide periodic top dressing with additional stone or additional length as conditions demand. Repair any measures used to trap sediment as needed. Immediately remove all sediment spilled, dropped, washed or tracked onto paved surfaces. Roads adjacent to a construction site shall be left clean at the end of each day.

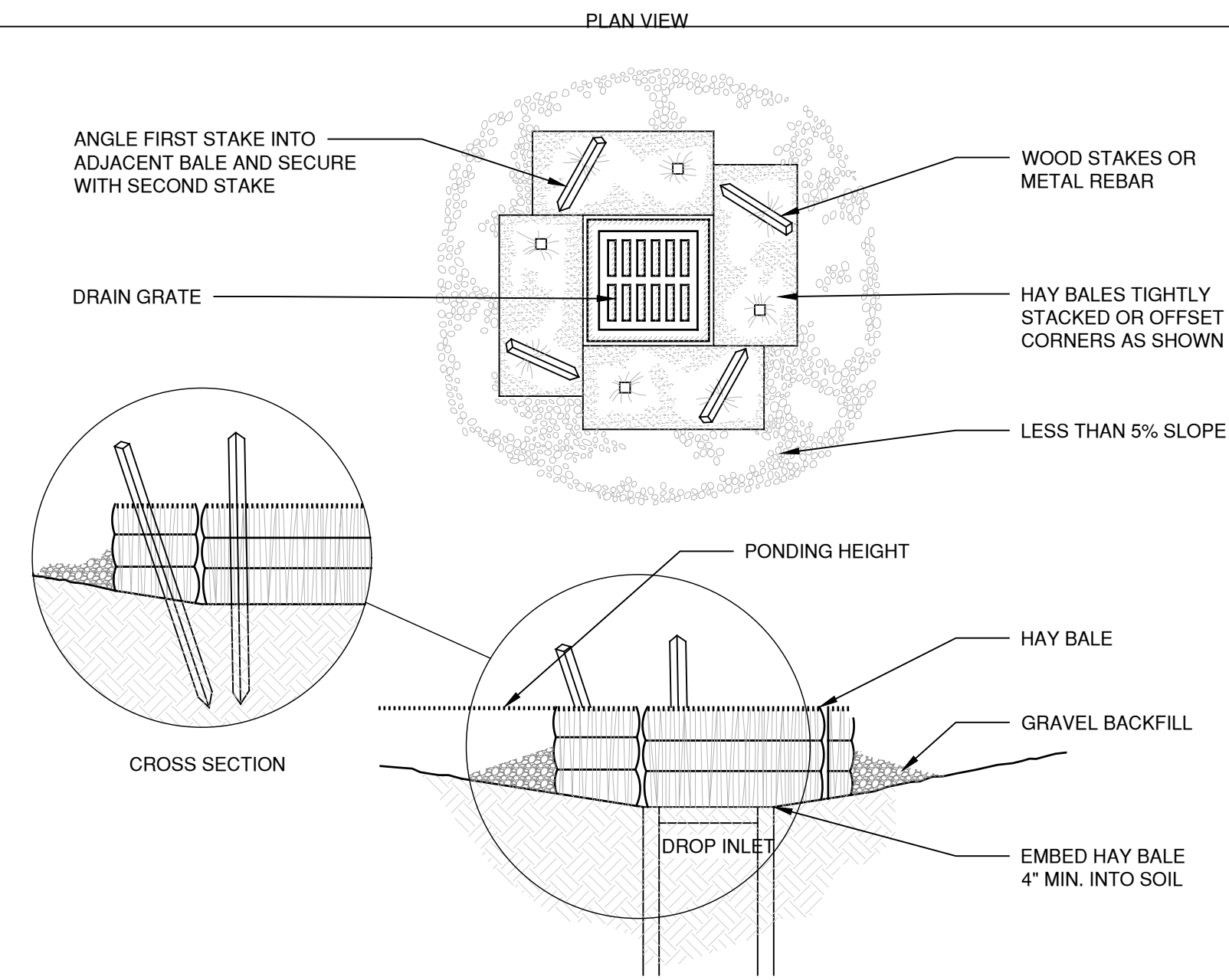
If the construction entrance is being properly maintained and the action of a vehicle traveling over the stone pad is not sufficient to remove the majority of the sediment, then either (1) increase the length of the construction entrance, (2) modify the construction access road surface, or (3) install washing racks and associated settling area or similar devices before the vehicle enters a paved surface.

D. SEEDING (TEMPORARY & PERMANENT)

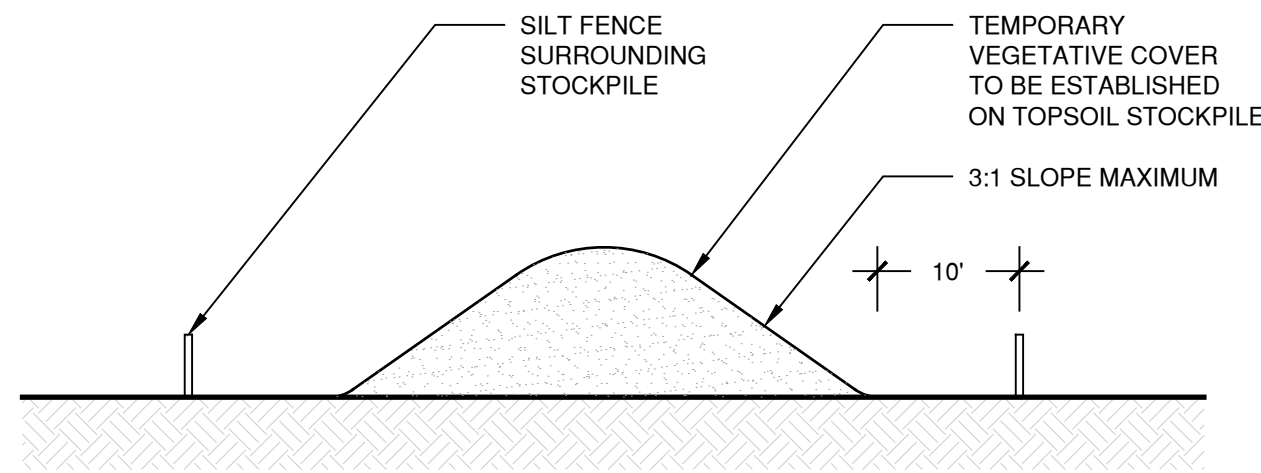
Inspect seeded area at least once a week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch or greater for seed and mulch movement and rill erosion.

Where seed has moved or where soil erosion has occurred, determine the cause of the failure. Bird feeding may be a problem if mulch was applied too thinly to protect seed. Re-seed and re-mulch. If movement was the result of wind, then repair erosion damage (if any), reapply seed and mulch and apply mulch anchoring. If failure was caused by concentrated runoff, install additional measures to control water and sediment movement, repair erosion damage, re-seed and re-apply mulch with anchoring or use Temporary Erosion Control Blanket measure.

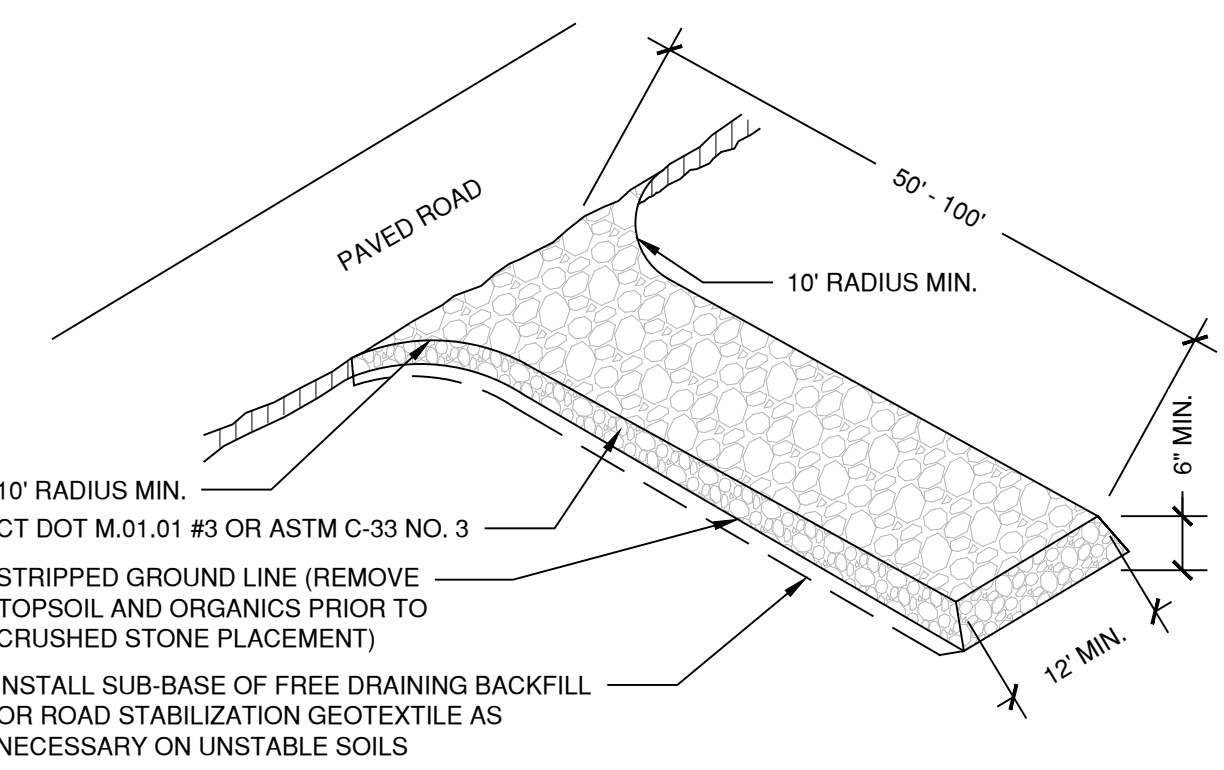
Continue inspections until the grasses are firmly established. Grasses shall not be considered established until a ground cover is achieved which is mature enough to control soil erosion and to survive severe weather conditions (approximately 80% vegetative surface cover).



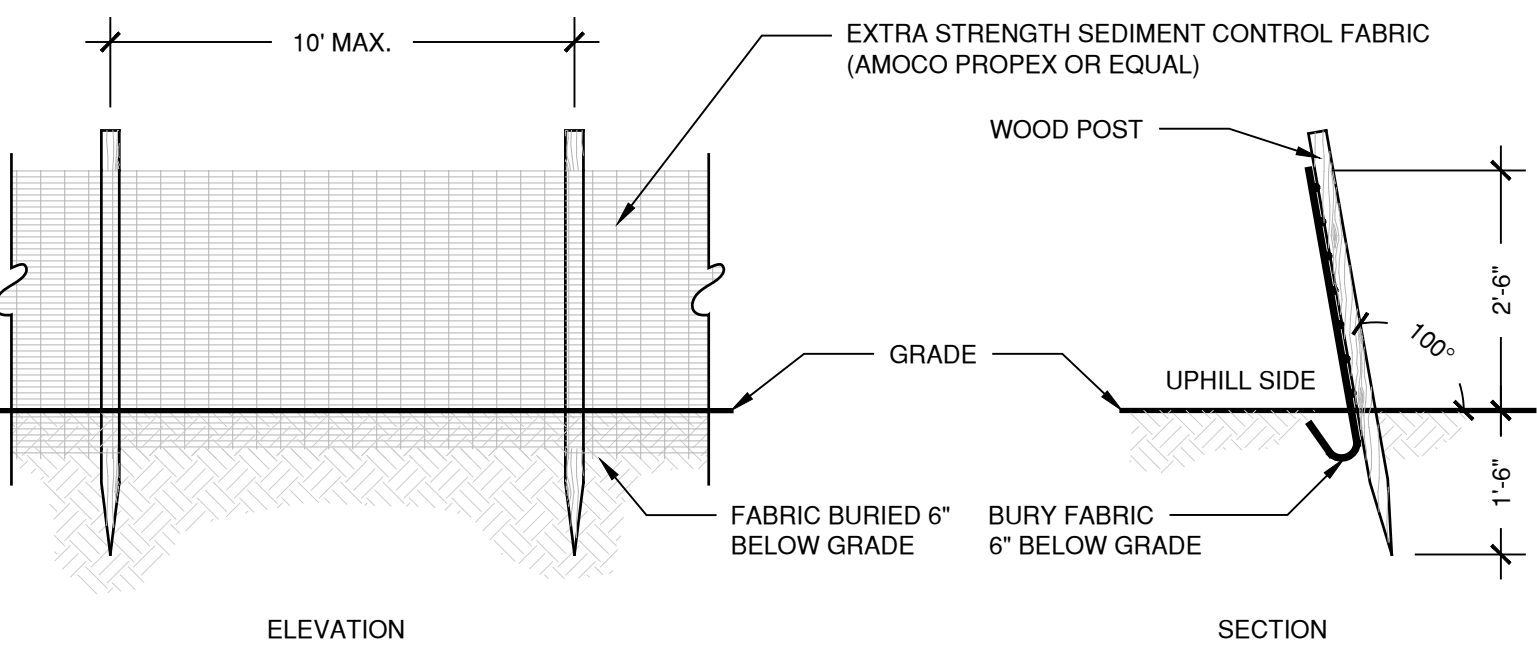
4 HAY BALE BARRIER AT CATCHBASIN (HB)
N.T.S.



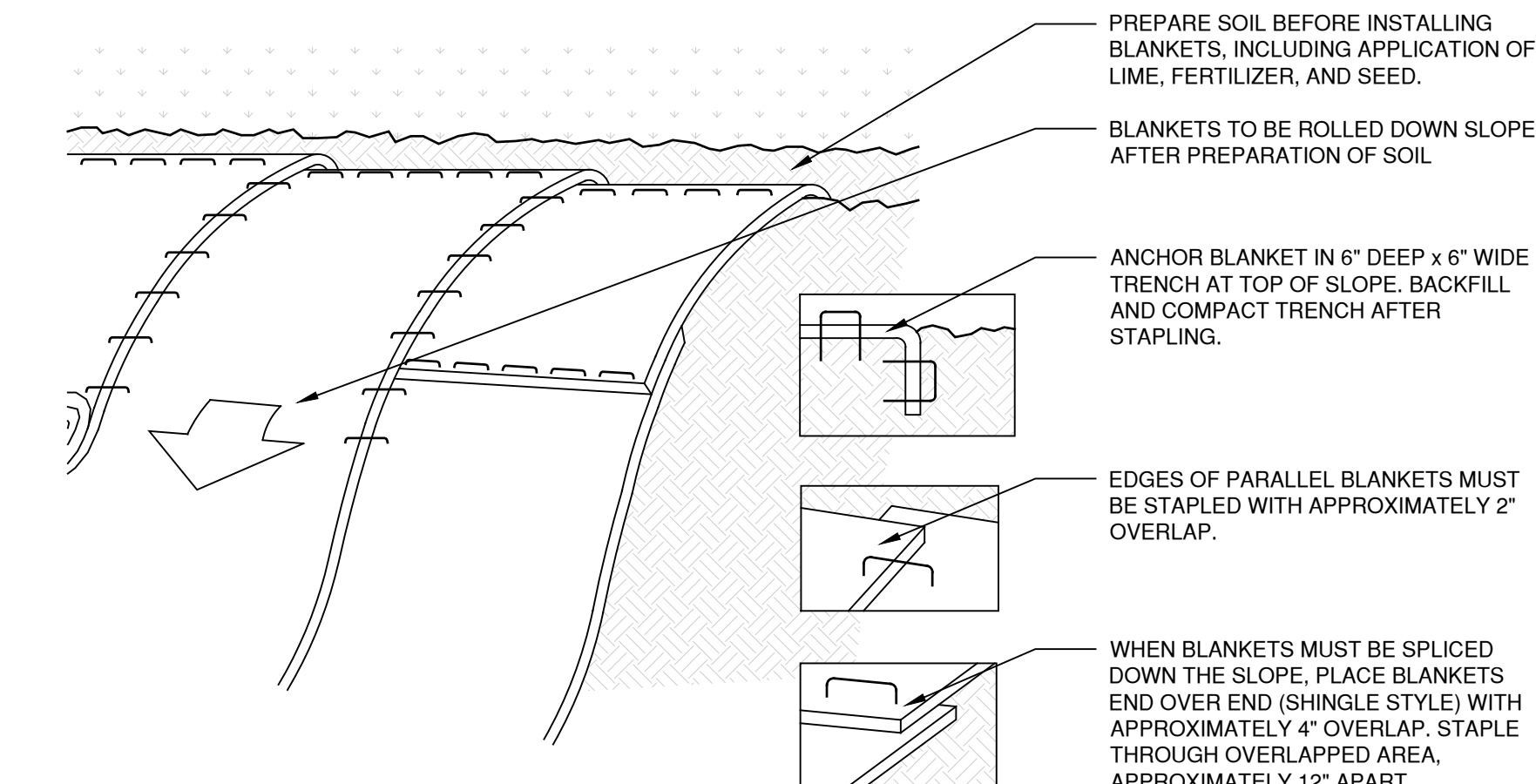
1 TOPSOIL STOCK PILE AREA
N.T.S.



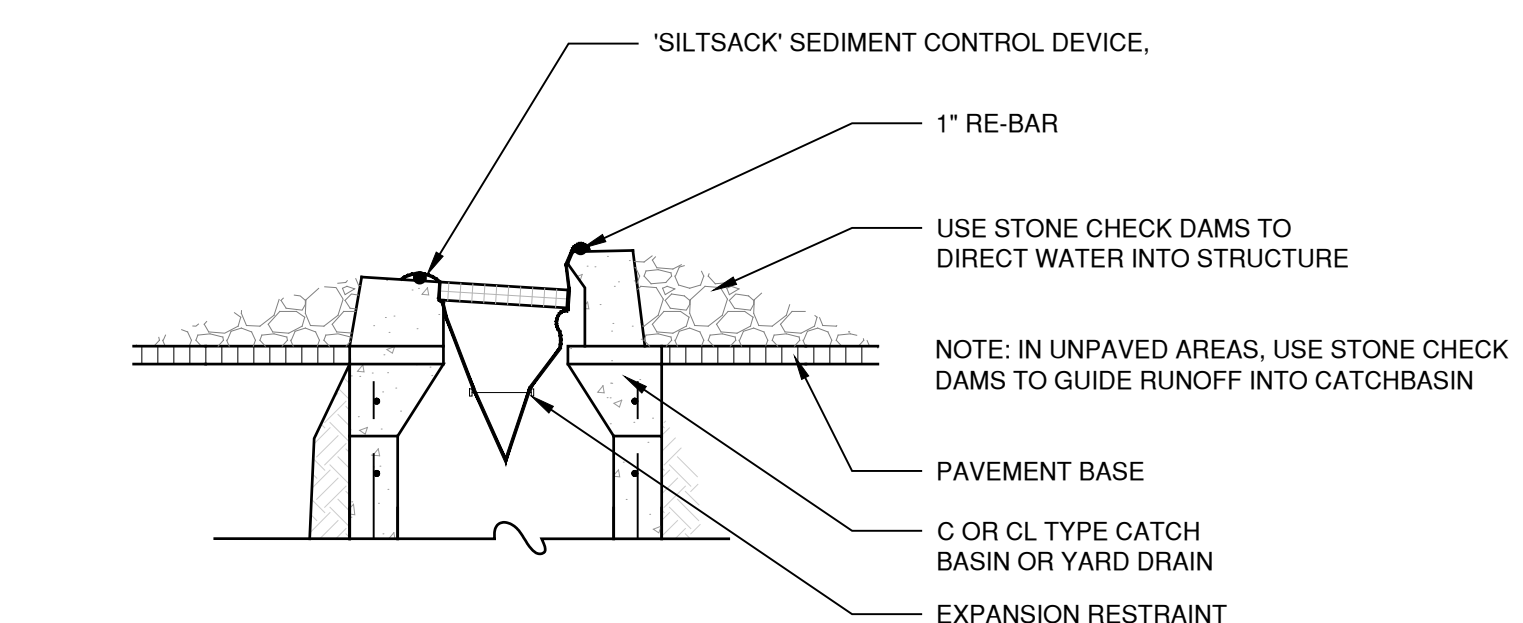
2 CONSTRUCTION ENTRANCE (CE)
N.T.S.



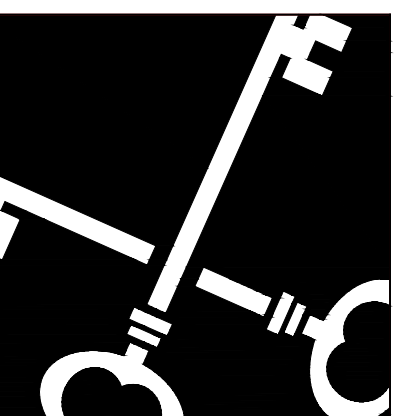
3 GEOTEXTILE SILT FENCE (GSF)
N.T.S.



5 SLOPE STABILIZATION USING EROSION CONTROL BLANKET (ECB)
N.T.S.



6 SILT SACK (SS)
N.T.S.



Crosskey Architects LLC
Architecture Preservation Interiors
750 Main Street, Hartford, CT 06103
T: (860)724-3000 F: (860)724-3013

todesign
114 WEST MAIN STREET SUITE 202
NEW BRITAIN, CT 06051
860-612-1700
todesignllc.com

SITE DESIGN LANDSCAPE ARCHITECTURE URBAN PLANNING



Monroe Senior Housing
195 - 211 Main Street, Monroe, CT
Connecticut Housing Partners

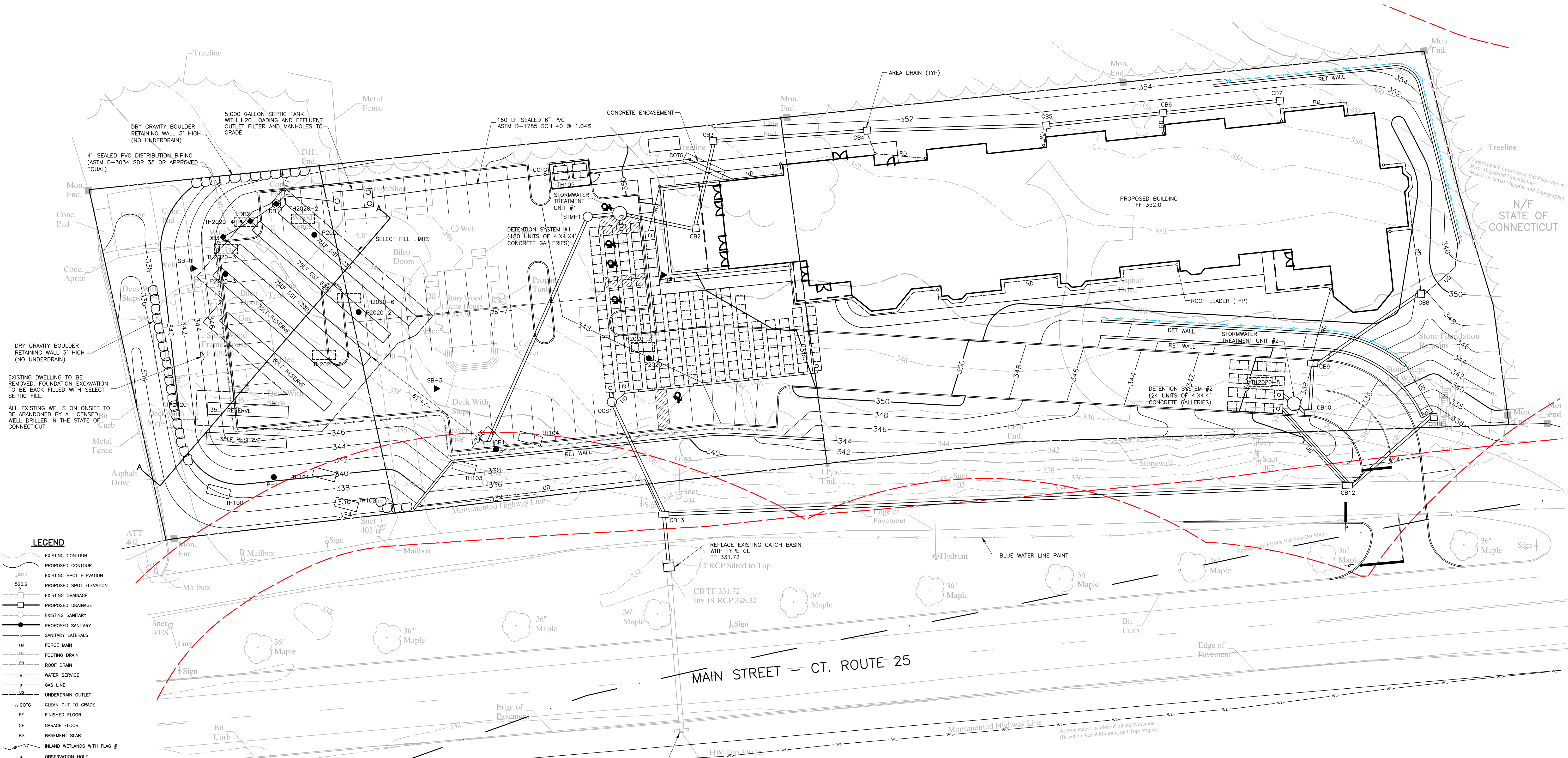
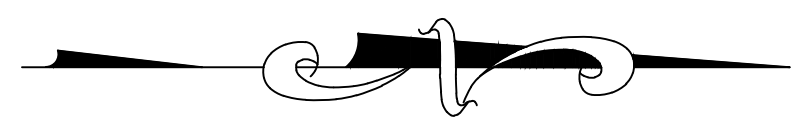
NOT FOR CONSTRUCTION

Drawn: EW
Date: OCTOBER 28, 2020
Revisions:

Erosion and Soil Sedimentation Control Notes and Details

ES-1

- NOTES:
1. SURVEY INFORMATION FROM PLAN ENTITLED: "DATA ACCUMULATION PLAN PREPARED FOR GRAYSTONE GROUP LTD PARTNERSHIP, #195, 201, 211 MAIN STREET - CT ROUTE 25, LAND SURVEYING, 165 OYSTER ROAD-FAIRFIELD, CT. 203-218-5840.
 2. PROPOSED SITE BASE INFORMATION TAKEN FROM A DIGITAL SITE PLAN SUPPLIED BY TODESIGN, LLC 114 WEST MAIN STREET, NEW BRITAIN, CT. 860-612-1700.
 3. INDIVIDUAL PARCELS TO BE MERGED UPON APPROVAL.



- LEGEND**
- - - - - EXISTING CONTOUR
 - - - - - PROPOSED CONTOUR
 - 520.2 EXISTING SPOT ELEVATION
 - 520.2 PROPOSED SPOT ELEVATION
 - - - - - EXISTING DRAINAGE
 - - - - - PROPOSED DRAINAGE
 - - - - - EXISTING SANITARY
 - - - - - PROPOSED SANITARY
 - - - - - SANITARY LATERALS
 - - - - - FORCE MAIN
 - - - - - FOOTING DRAIN
 - - - - - ROOF DRAIN
 - - - - - WATER SERVICE
 - - - - - GAS LINE
 - - - - - UNDERDRAIN OUTLET
 - COTG CLEAN OUT TO GRADE
 - FF FINISHED FLOOR
 - GF GARAGE FLOOR
 - BS BASEMENT SLAB
 - INLAND WETLANDS WITH FLAG #
 - ▲ OBSERVATION HOLE
 - PERCOLATION TEST
 - GRADE TO DRAIN
 - SYNTHETIC FILTER BARRIER
 - WATER BREAK
 - LIMIT OF DISTURBANCE
 - FOUNDATION ENVELOPE
 - BUILDING SETBACK LINE
 - DRAINAGE EASEMENT
 - GRADING EASEMENT
 - SLOPE RIGHTS
 - CONSERVATION EASEMENT
 - MAINTENANCE EASEMENT
 - UPLAND REVIEW LIMIT
 - WATERCOURSE
 - WATERCOURSE OFFSET

MAIN STREET - CT. ROUTE 25

I HEREBY DECLARE THAT THE DRAINAGE SYSTEM(S), WASTEWATER DISPOSAL AND WASTEWATER CONVEYANCE SYSTEM(S) SHOWN HEREON IS/SUBSTANTIALLY CORRECT

DAVID S. BJORKLUND, P.E. CT. P.E. 11361

NO.	DATE	DESTINATION
2	10-28-20	IWC COMMENTS
1	9-21-20	IWWC/P&Z
SUBMITTALS		

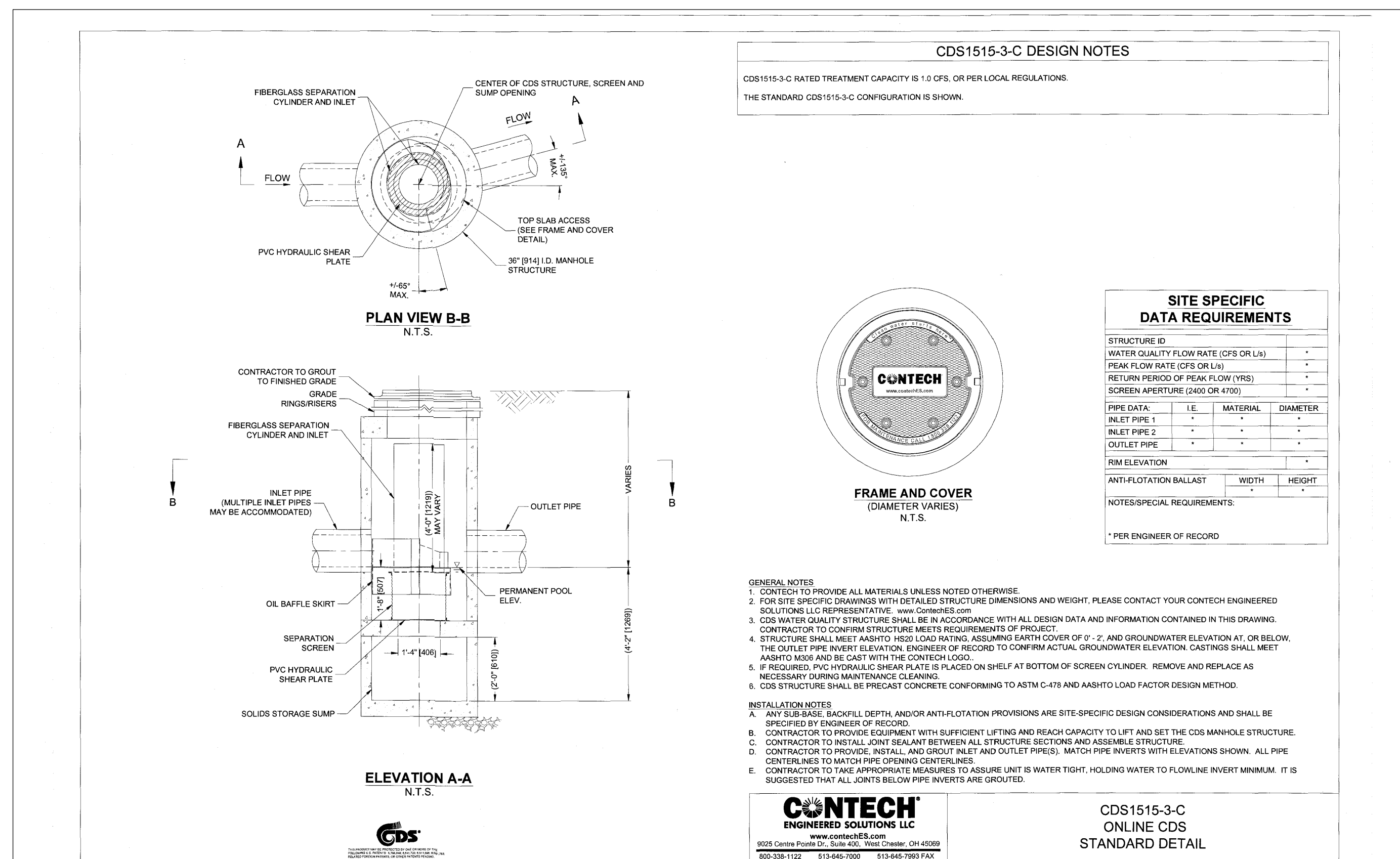
**MONROE SENIOR HOUSING
UNDERGROUND UTILITY PLAN
195-211 MAIN STREET
MONROE, CONNECTICUT**

PREPARED FOR
CONNECTICUT HOUSING PARTNERS

DATE: 9-8-20 SCALE: 1"=20' DRAFTER: DCH JOB NO: 1816X FILE NUMBER:

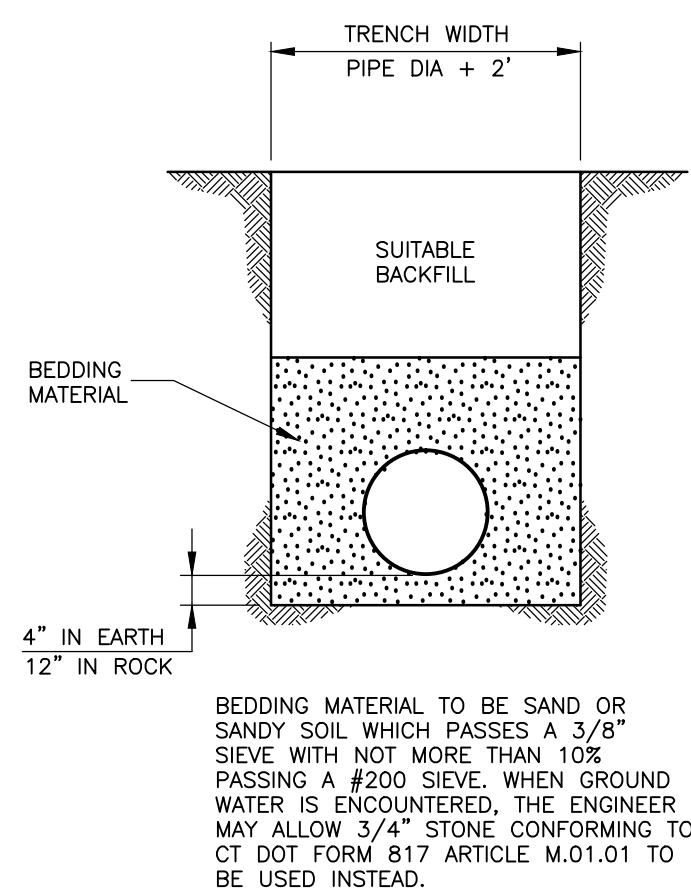
SPATH-BJORKLUND ASSOCIATES, INC.
PO Box 324, Monroe, Connecticut 06468
Phone: 203-268-5216

U-1

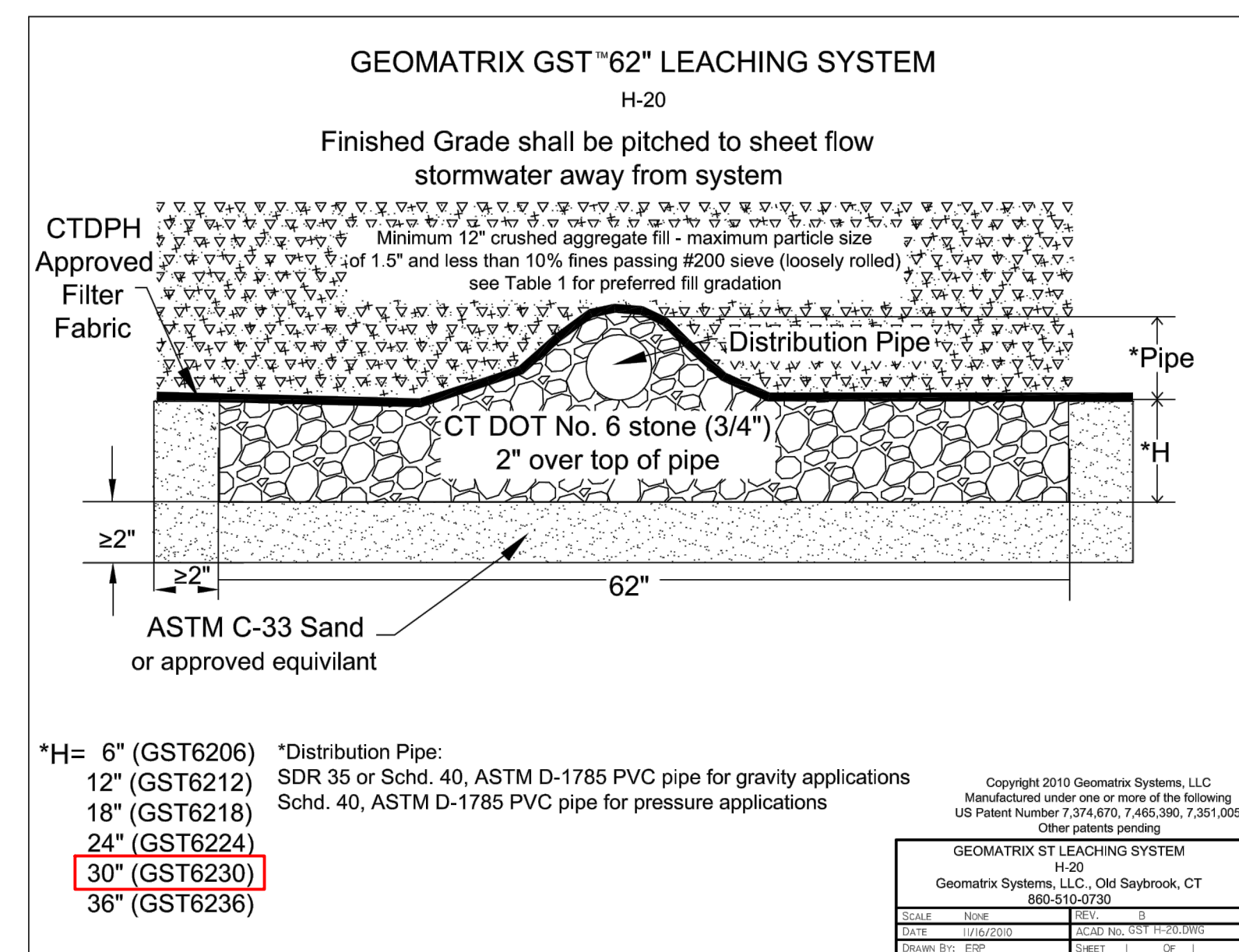
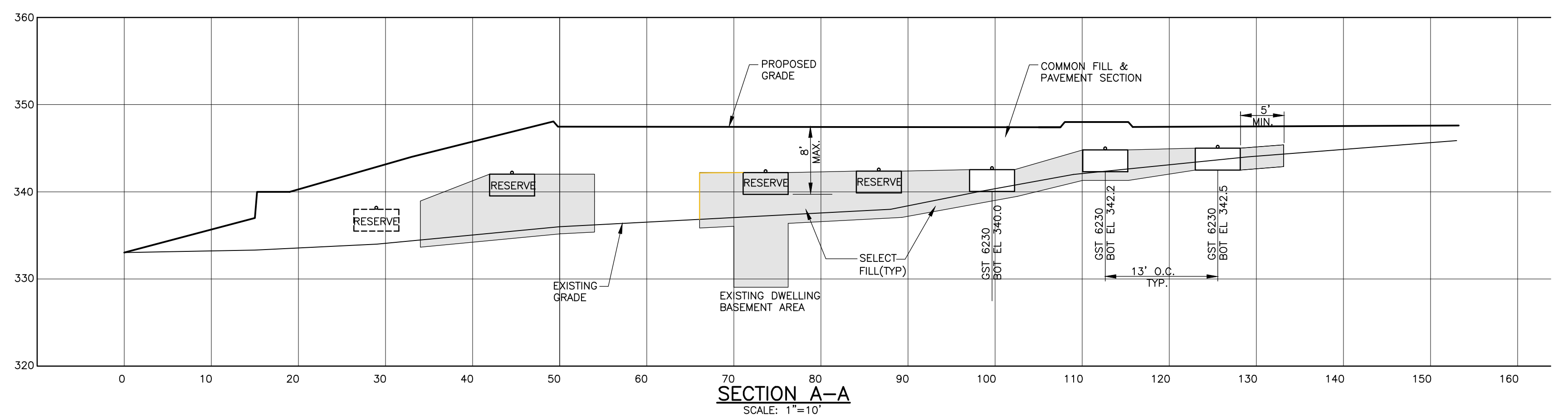
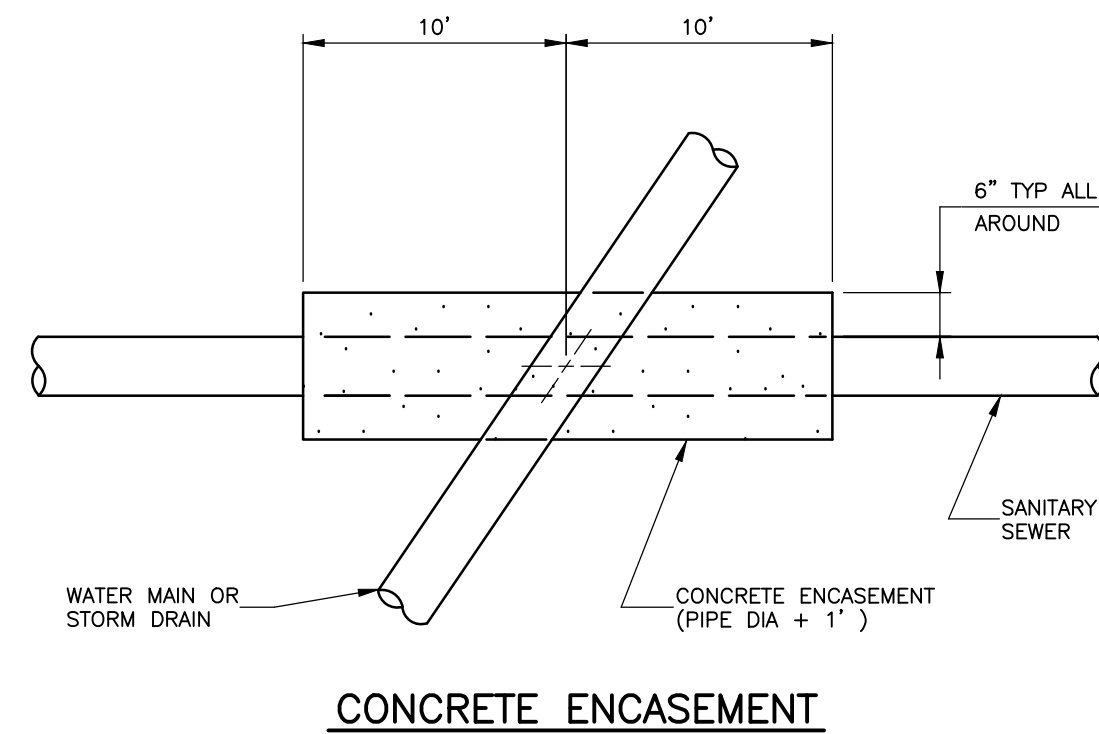
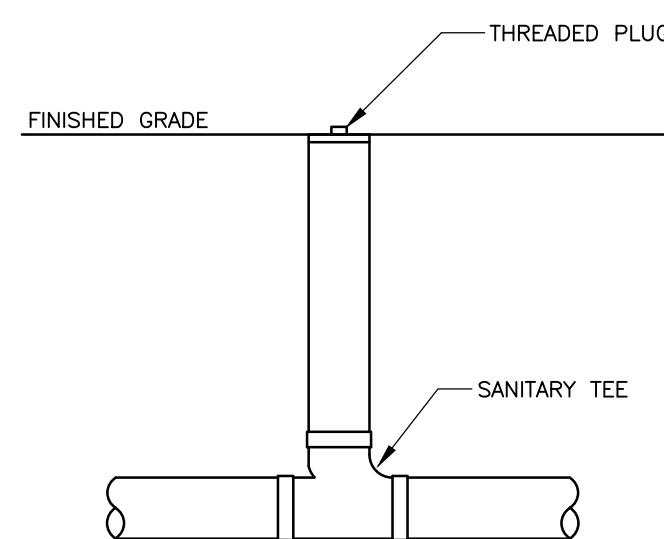


CDS STORMWATER TREATMENT UNITS (STU 1&2)

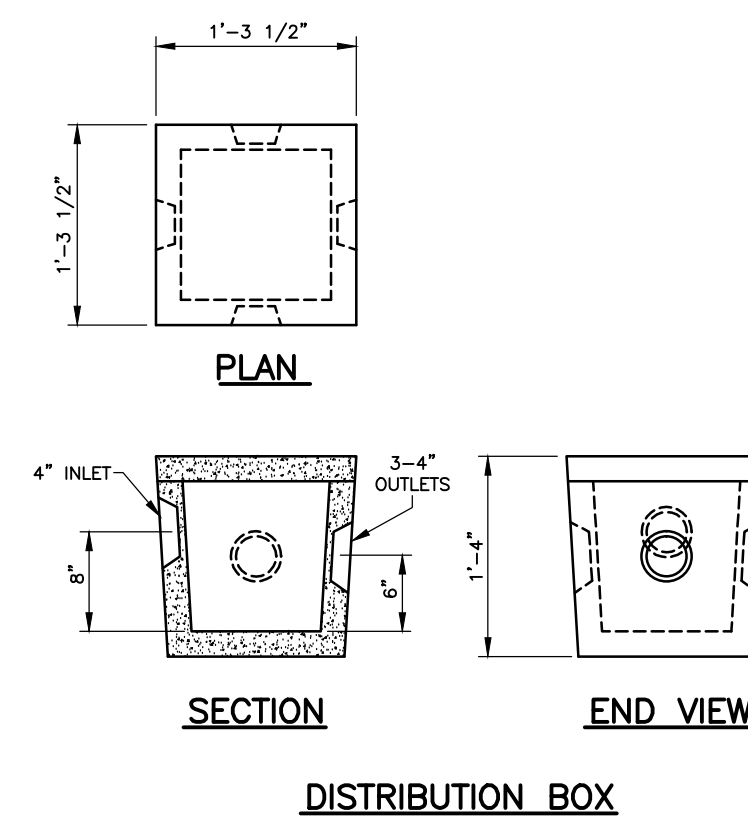
W/H2O LOADING



CLEAN OUT TO GRADE



SEWAGE DISPOSAL LEACHING SYSTEM



Connecticut Precast Corp.
Manufacturers of Concrete Products
555 Fan Hill Road, Monroe, CT 06468
Telephone (203) 268-8688 Fax (203) 452-1007 www.ctprecast.com

Septic Tanks

PRECAST CONCRETE
5000 Gallon Capacity
7'-0" X 16'-0" (H20 Loading)

MODEL NO.	LIQUID CAPACITY	LENGTH	WIDTH	INVERT	HEIGHT	WEIGHT (LBS.)
5000(PX16)	5000	17'-0"	8'-0"	6'-9"	8'-2"	42182

NOTES:

- Concrete - 4000 PSI @ 28 DAYS.
- Meets or exceeds state and local requirements.
- All shipping joints sealed with Butyl Rubber.
- Design loading: ASHTO H5-20.
- The compartment tank.
- Size feet pipes shall extend to clean-out cover.
- Maximum fill over top of tank - 3 feet.
- Tank shall be marked with manufacturer name, and phone no., tank capacity, date of manufacture, and ASTM C1227 conformance.
- Invert shown in table for 4" PVC. Pipe locations and sizes may change due to project conditions.

Connecticut Precast Corp.

SEPTIC TANK

W/H2O LOADING

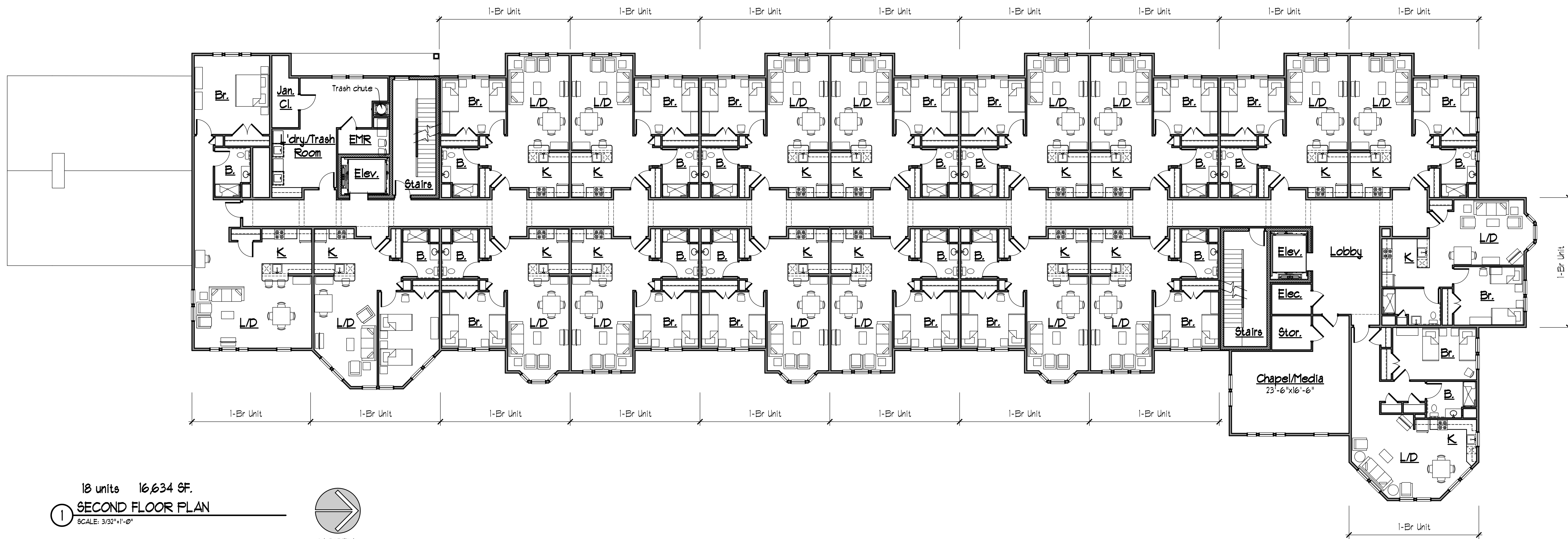
MONROE SENIOR HOUSING
DETAILS
195-211 MAIN STREET
MONROE, CONNECTICUT
PREPARED FOR
CONNECTICUT HOUSING PARTNERS

DAVID S. BJORKLUND
REGISTERED PROFESSIONAL ENGINEER
CT P.E. 11361

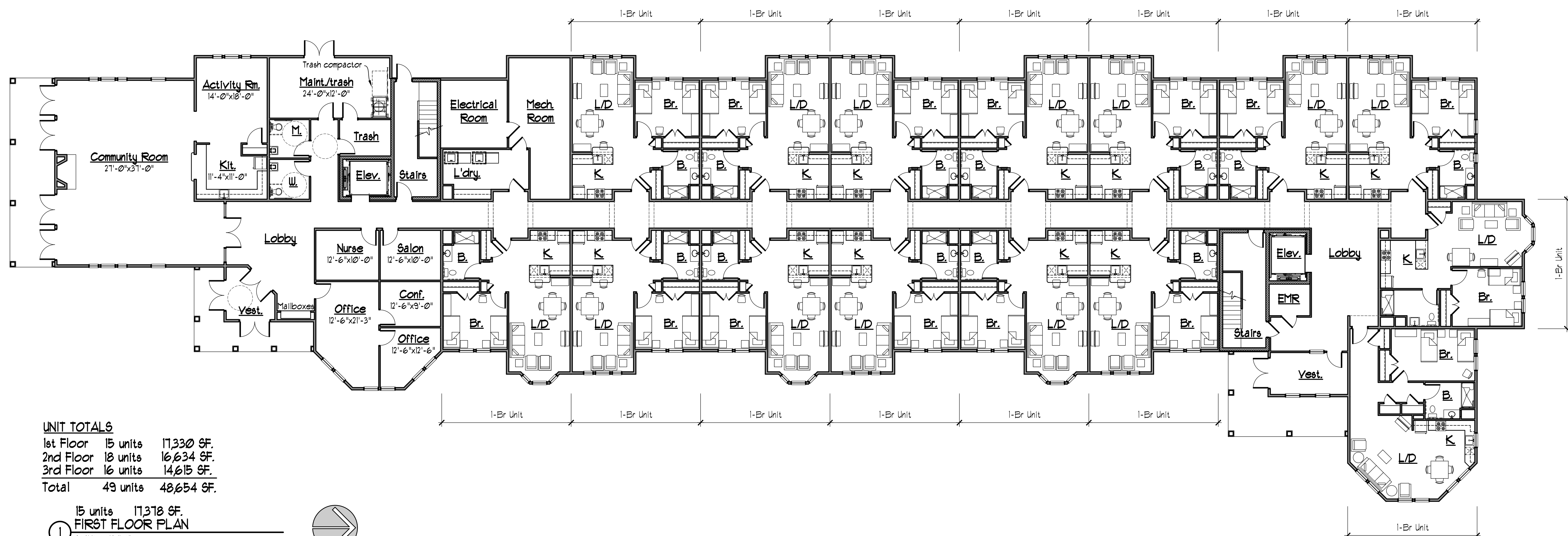
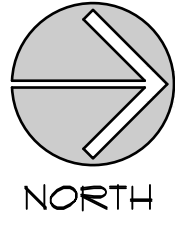
NO.	DATE	DESTINATION	DATE	SCALE	DRAFTER	JOB NO.	FILE NUMBER
2	10-28-20	IWC COMMENTS	9-8-20	N.T.S.	DCH	1816X	
1	9-21-20	IWWC/P&Z					
SUBMITTALS							

SPATH-BJORKLUND ASSOCIATES, INC.
PO Box 324, Monroe, Connecticut 06468
Phone: 203-268-5216

D-3

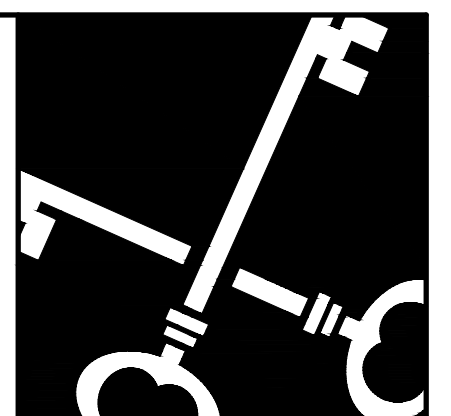


18 units 16,634 SF.
SECOND FLOOR PLAN
 SCALE: 3/32"=1'-0"

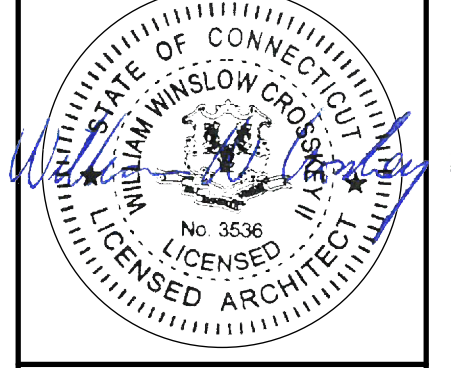


UNIT TOTALS
 1st Floor 15 units 17,330 SF.
 2nd Floor 18 units 16,634 SF.
 3rd Floor 16 units 14,615 SF.
 Total 49 units 48,654 SF.

15 units 17,318 SF.
FIRST FLOOR PLAN
 SCALE: 3/32"=1'-0"



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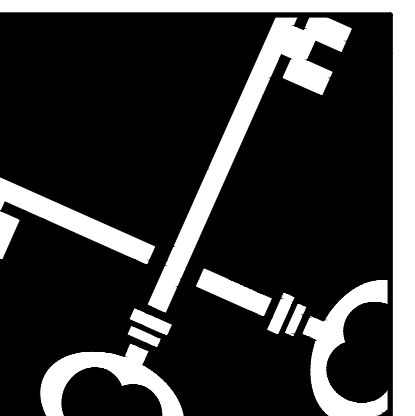
Monroe Senior Housing
 Monroe, CT
Connecticut Housing Partners
 12335 Huntington Turnpike, Trumbull, CT

NOT FOR CONSTRUCTION

Drawn: DG/LC
 Date: Sept. 22, 2020
 Revisions:

1st & 2nd Floor Plans

A-1



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 750 Main Street, Hartford, CT 06103
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Monroe Senior Housing
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 12335 Huntington Turnpike, Trumbull, CT

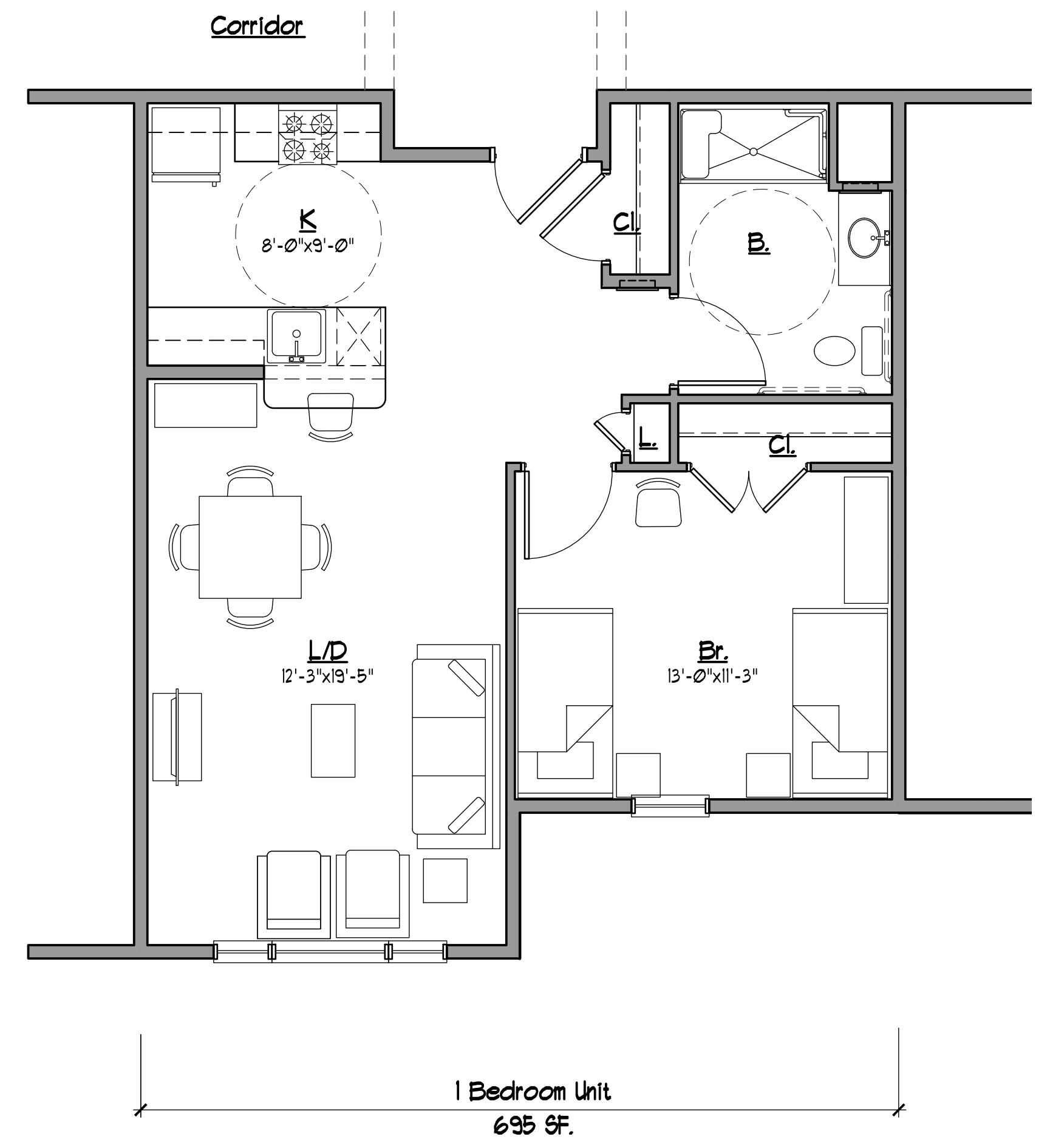
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Drawn: DG/LC
 Date: Sept. 22, 2020
 Revisions:

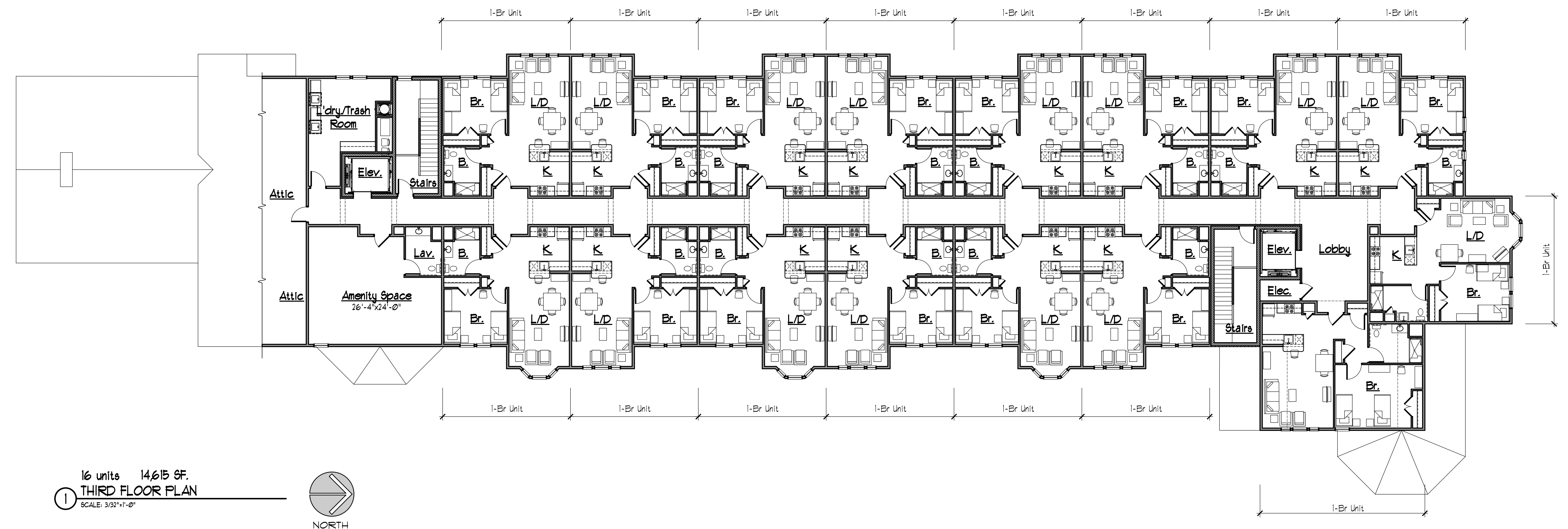
3rd
 Floor Plan
 Typical Unit Plan

A-2

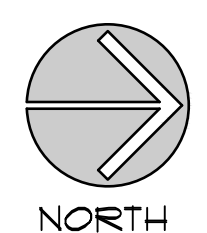
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1 TYPICAL UNIT PLAN
 SCALE: 1/4"=1'-0"

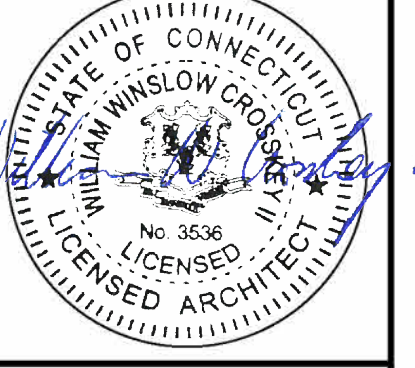


16 units 14615 SF.
THIRD FLOOR PLAN
 SCALE: 3/32"=1'-0"





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 750 Main Street, Hartford, CT 06103
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Monroe Senior Housing
 Connecticut Housing Partners
 1233 Huntington Turnpike, Trumbull, CT
 Monroe, CT

NOT FOR CONSTRUCTION

Drawn:	DG/LC
Date:	Sept. 22, 2020
Revisions:	

Elevations

A-3

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① WEST ELEVATION
 SCALE: 3/32"=1'-0"



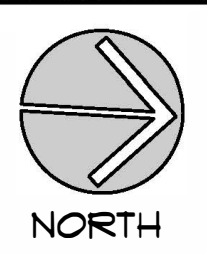
① NORTH ELEVATION
 SCALE: 3/32"=1'-0"



① SOUTH ELEVATION
 SCALE: 3/32"=1'-0"



① EAST ELEVATION
 SCALE: 3/32"=1'-0"



NORTH