

# FULLER ENGINEERING & LAND SURVEYING, LLC

525 John Street – Second Floor – Bridgeport, CT 06604

Phone: (203) 333-9465

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## PROJECT NARRATIVE

### NARRATIVE OF PROPOSED DEVELOPMENT

Fuller Engineering & Land Surveying, LLC has prepared this Project Narrative to provide a comprehensive Zoning and Plan of Conservation and Development analysis for the property at 555 Fan Hill Road, also known as Connecticut Precast. This narrative supplements the information contained within the Drainage Report.

The proposed site improvements under this application are for two (2) warehouse additions and storm water mitigation.

### EXISTING CONDITIONS

The parcel at 555 Fan Hill Road has been in continuous operation as Connecticut Precast since the mid 1960's. The current parcel contains a one-story office building, concrete product manufacturing building, and outdoor storage of the manufactured concrete products.

The owner of record is Connecticut Precast Corporation, Stephen Domizio, President.

The site is located along the west side of Fan Hill Road at 555 Fan Hill Road. The future extension of Timothy Hill Road originating from the Pepper Street Industrial Park is the nearest cross street to the north. The intersection of Garder Road and Fan Hill Road lies to the south.

The site is characterized by primarily open material storage areas surrounding the main 21,863 s.f. manufacturing facility. Directly abutting the storage yard, an extensive wetland system provides a wooded buffer to Fan Hill Road. The 1,284 s.f. office lies directly to the north of the manufacturing building.

The centerline of Fan Hill Road forms the border of the I-2 District and RF-3 District in this area. The site is located within a I-2 Industrial District.

The 13.513-acre site contains approximately 4.93 acres of wetlands and was delineated by Aleksandra Moch, Soil and Wetland Scientist on March 13, 2005 (Included herein.)

According to FEMA FIRM data map 09001C0276F, effective date 6/18/2010, no portions of this parcel contain a flood hazard zone. The project area is not located within a public water supply

Water, electric, telephone, cable, and septic systems are provided on-site.

### PROPOSED DEVELOPMENT

#### Architecture

15,500 +/- s.f. of new building additions created by two (2) hi-bay metal clad additions are proposed to be constructed on the north and south ends of the existing building.

The proposed southern “L” shaped addition extends approximately 50 feet from the end of the building and is approximately 90 feet in width; adding approximately 6,945 square feet of warehouse space.

The northern addition proposes the demolition and replacement of a portion of the existing building (approximately 4,985 s.f.). The proposed new building addition will add approximately 8,560 s.f. of additional warehouse space for a total of 13,545 s.f. of new addition.

The proposed metal clad material and finish of the proposed edition will match the existing building.

### **Site Improvements**

Site improvements proposed under this application involve the two building additions, the construction of two (2) subsurface stormwater infiltration systems, and the relocation of a septic tank supporting the warehouse.

Of the 4.985 acres, 4 +/- acres are proposed to be disturbed. The actual extent of disturbance is unknown, at this point, due to the presence of ledge. To the extent possible, the existing ledge will be utilized for steep slopes to minimize excessive site disturbance.

Access to the proposed development is gained through a narrow portion of the site connected to Main Street. Entering the site, the landscaped main drive will continue into the site at approximately an eight percent gradient until reaching the mid plateau area of the hotel area. Circulation and parking access is continuous around all sides of the facility with a drop off area protected by a building canopy.

### **Parking**

Per Town of Monroe Zoning Regulations, a total of sixty-nine (69) parking spaces are required for the proposed building use. Eighteen (18) existing spaces are provided near the office area.

The current operation exceeds the loading space requirement since loading is accomplished as required throughout the site where the products are stored.

Refuse areas are located at various locations throughout the site and are collected on a regular basis as required.

### **Utilities**

The project will utilize the two existing subsurface sewage disposal system, consisting of a septic tank, distribution boxes, and leaching galleries. B-100a calculations have been provided with locations to demonstrate the feasibility of alternate systems should they become necessary in the future. The test pit locations and results have been indicated on the plans; the site contains adequate septic capacity to accommodate the proposed use.

The existing water supply is proposed to remain unchanged.

Electric, telephone, and cable are proposed to remain unchanged.

## **Landscaping**

Due to the industrial nature of this project and the existing buffer separation from Fan Hill Road, no landscaping is proposed.

## **Lighting**

Security lighting will be provided by wall mounted light fixtures above the proposed man doors and overhead doors of each addition. No other site lighting is proposed. The proposed lighting will result in a 0 fc increase across the nearest property line.

## **Drainage**

The proposed development will result in minimal increases in runoff volume and flowrate. The increases will be handled by infiltration systems sized for the 100-year storm for a portion of the proposed roof areas. The minimal increases in runoff flow and volume will be handled by the infiltration system.

## **Septic System**

The existing septic systems for the office and manufacturing building are proposed to remain. A new 1,000 gallon septic tank is proposed to be installed outside of the proposed addition building pad.

B-100a testing and calculations have been provided to demonstrate future septic areas should the an existing system fail.

## **Zoning Compliance**

Regarding the bulk requirements as shown on the plans, with the exception of parking and outdoor storage, the proposed improvements are in compliance with the requirements of the L-2 District. Setbacks and buffer provisions are in compliance with the surrounding Residential Districts.

## **TOPOGRAPHIC CONDITIONS**

The entire area of disturbance is characterized as 0% to 10%

## **NARRATIVE OF PROPERTY TRANSFER**

Deed Vol 080 Pg 436      Dated: 6/22/1965

## CONFORMANCE WITH SUBDIVISION AND ZONING REGULATIONS

### §8.2.2 GENERAL STANDARDS COMPLIANCE

Prior to obtaining a Special Exception Permit, the Planning Board shall determine the conformity of such Special Exception Permit use and the proposed development thereof with the applicable conditions and standards as set forth in these Regulations. The general standards for Special Exception Permit approval are as follows:

- A. That the location and size of the use, the nature and intensity of the operations and traffic involved in or conducted in connection with it, the size of the site in relation to it and the location of the site with respect to the type, arrangement and capacity of streets giving access to it and the hours of operation are such that the proposed use will be in harmony with the appropriate and orderly development of the district in which it is located.

**The property use and intensity of current operations are anticipated to remain at current levels with more of the site activity moving indoors as a result of the new space occupying existing outdoor storage areas. Consequently, the proposed site improvements will not have a greater impact on the surrounding streets.**

- B. The proposed use is consistent with the Plan of Conservation and Development.

**The proposed use is consistent with the Monroe Plan of Conservation and Development for many reasons including:**

**Chapter 2.0 Economic Development:**

**“Foster a vibrant economy that provides residents with access to goods, services, and employment opportunities while diversifying the Town’s property base.”**

**As recommended in Strategy 7, this project will help keep this existing business a vital and productive member of Monroe’s tax base as part of the Pepper Street Industrial Park.**

- C. That the location, nature and height of buildings and the nature and extent of the landscaping and screening on the site, as existing or proposed, are such that the use will not hinder or discourage the appropriate development and use of adjacent land and buildings.

**The proposed building additions are equivalent in scope and size of the existing facility. The setback nature of the facility allows for substantial screening from adjacent property, particularly from the residential zone to the east.**

**Other than positive economic effects, no negative impacts are anticipated by the proposed site improvements and its proximity to the surrounding properties and adjacent wetlands.**

- D. That the operations of the proposed use will not be objectionable by reason of noise, fumes, smoke, dust, vibration, glare intensity, or flashing of lights.

**There are no proposed changes to the existing facility operations aside from more of the site activities will be conducted indoors within the proposed building expansion. All uses proposed for this facility are consistent with the designed use for this district as allowed within §4.3.**

**The existing wetland buffer provides a robust screen from the surrounding neighbors.**

- E. That safe, sanitary sewage disposal will be provided by means of a public sewer line, treatment plant or subsurface sewage disposal system subject to approval by state and/or local authorities.

**The existing subsurface sewage system, meets the requirements of the Monroe Health District. B100a systems have been designed to demonstrate additional septic capacity should the need arise in the future.**

- F. That the parking areas to be provided will be of adequate capacity for the particular use, properly located and suitably screened from adjoining residential uses and abutting properties; and that the entrance and exit drives shall be laid out so as to achieve maximum safety and acceptable level of service.

**Based on total floor area of the facility and office, the existing parking provided is less than required by the regulations. The applicant respectfully requests the existing parking areas remain unchanged since the parking provided has been adequate based on the employee and staff requirements.**

- G. That the comments and recommendations of town staff and consultants, as well as other involved commissions, boards, committees, and agencies have been duly considered.

**This project has been designed based on initial discussions with town staff and additional revisions will be incorporated based on comments received from Town Staff. We will continue to further refine the site design based on comments and recommendations of town staff, if necessary.**

- H. That, where applicable, verification of all approvals of other governmental agencies, commissions or boards have been secured by the applicant, as evidenced by certification by such agencies, commissions or boards.

**Inland wetland approvals were granted on 3/15/2023, IAA-2023-03, File 1434.**

**As part of this Special Exception Permit application, an application to the Architectural Review Board will be submitted.**

- I. That the proposed use will not require such additional public facilities or services or create such fiscal burdens upon the Town greater than those which characterize uses which do not require a Special Exception Permit.

**The anticipated connections to the existing public facilities or services will not pose a fiscal burden or require additional public facilities for the Town.**



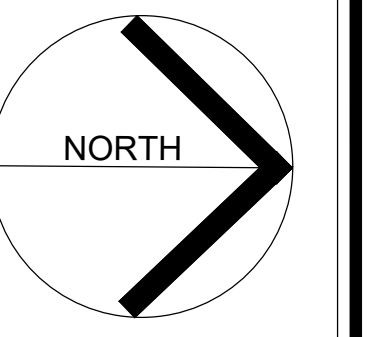
**Connecticut Precast Corp.**

Manufacturers of Concrete Products

# PROPOSED ADDITION CONNECTICUT PRECAST

555 FAN HILL ROAD  
MONROE, CONNECTICUT

APPLICANT / OWNER  
CONNECTICUT PRECAST CORPORATION



THIS DRAWING IS THE PROPERTY OF THE ENGINEER. IT HAS BEEN SPECIFICALLY PREPARED FOR THE OWNER FOR THIS PROJECT AT THIS SITE AND IS NOT TO BE USED FOR ANY OTHER PURPOSE, LOCATION OR OWNER WITHOUT WRITTEN CONSENT OF THE ENGINEER.



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Office (203) 333-9465  
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e-mail info@FullerSurveyors

PROPOSED ADDITION  
555 FAN HILL ROAD, MONROE CT  
PREPARED FOR  
CONNECTICUT PRECAST CORP.

Job Number:  
FE21-1600

Job Start Date:  
01-21-21

| Rev                     | Date       |
|-------------------------|------------|
| 1. IW Submission        | 10/11/2022 |
| 2. Admin. IW Submission | 3/5/2023   |
| 3. SEP Submission       | 6/14/2023  |

Drawn By: Checked By:  
D.R.R. J.E.Q.

Sheet Title:  
COVER SHEET

Scale:  
1"=100'

Sheet Number:  
C-0.10

## DRAWING LIST

### SITE/CIVIL DRAWINGS

| SHEET NO. | SHEET NAME  | PLAN DATE  | REV DATE |
|-----------|---|------------|----------|
| C-0.10    | COVER SHEET                                       | 10/11/22   | 6/14/23  |
| C-1.11    | IMPROVEMENT LOCATION SURVEY                       | 10/11/22   | 10/11/22 |
| C-1.40    | PROPERTY RADIUS & SITE AREA MAP                   | 10/11/22 * | 6/14/23  |
| C-2.11    | OVERALL SITE LAYOUT PLAN                          | 10/11/22   | 6/14/23  |
| C-2.12    | SITE LAYOUT ENLARGEMENT PLAN                      | 10/11/22   | 6/14/23  |
| C-3.11    | GRADING AND DRAINAGE PLAN                         | 10/11/22   | 6/14/23  |
| C-4.11    | SOIL EROSION & SEDIMENT CONTROL PLAN              | 10/11/22   | 6/14/23  |
| C-4.12    | SOIL EROSION AND SEDIMENT CONTROL NOTES & DETAILS | 10/11/22   | 6/14/23  |
| C-6.1     | SITE DETAILS                                      | 10/11/22   | 6/14/23  |

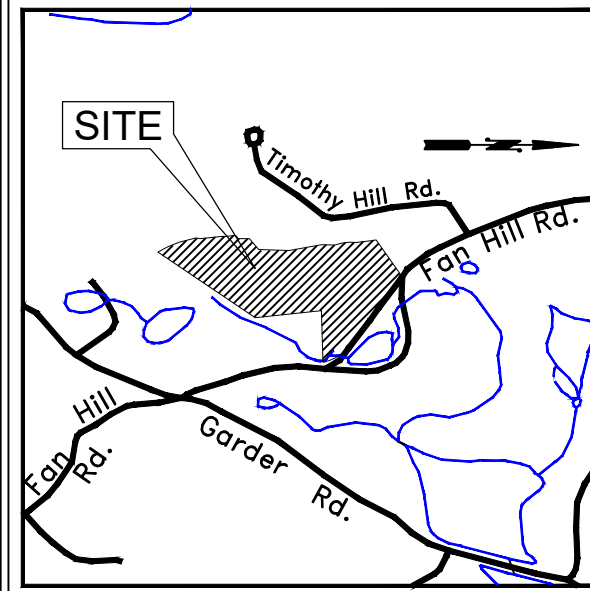
### ARCHITECTURAL DRAWINGS

|     |                        |            |            |
|-----|------------------------|------------|------------|
| P-1 | FLOOR PLAN & ELEVATION | 12/20/21 * | 12/20/21 * |
| P-2 | ELEVATIONS             | 12/20/21 * | 12/20/21 * |

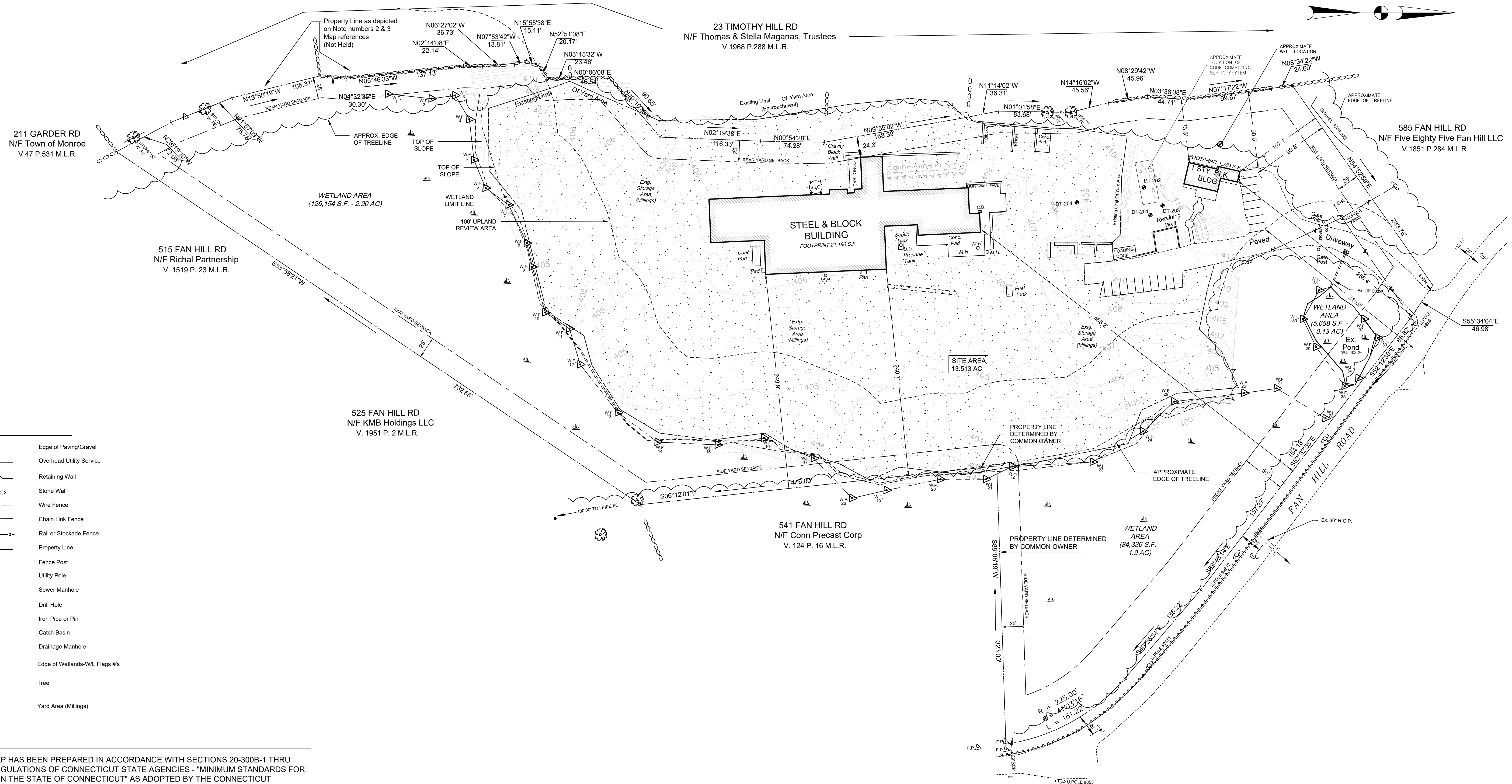
\* ADDITIONAL DRAWINGS INCLUDED IN PLANNING AND ZONING SUBMISSION

THE OWNER/APPLICANT ACKNOWLEDGES THAT ALL WORK SHOWN ON THESE PERMIT SITE PLANS SHALL BE COMPLETED IN COMPLIANCE WITH THE PLANNING AND ZONING COMMISSION APPROVAL RELATING THERETO, AND IN ACCORDANCE WITH ALL APPLICABLE TOWN OF MONROE CODES AND REGULATIONS, AS WELL AS ALL OTHER APPLICABLE STATE AND FEDERAL LAWS, REQUIREMENTS AND REGULATIONS.

OWNER/APPLICANT  
CONNECTICUT PRECAST CORPORATION  
555 FAN HILL ROAD  
MONROE, CT 06468



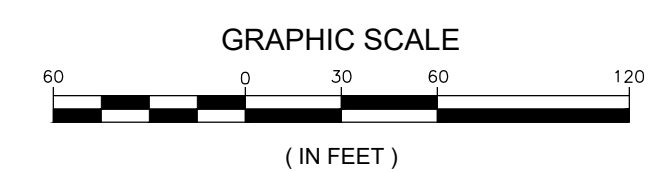
VICINITY MAP  
SCALE: 1" = 1200'



| LEGEND |                              |
|--------|------------------------------|
|        | Edge of Paving/Gravel        |
|        | Overhead Utility Service     |
|        | Retaining Wall               |
|        | Stone Wall                   |
|        | Wire Fence                   |
|        | Chain Link Fence             |
|        | Rail or Stockade Fence       |
|        | Property Line                |
|        | Fence Post                   |
|        | Utility Pole                 |
|        | Sewer Manhole                |
|        | Drill Hole                   |
|        | Iron Pipe or Pin             |
|        | Catch Basin                  |
|        | Drainage Manhole             |
|        | Edge of Wetlands-WL Flags #s |
|        | Tree                         |
|        | Yard Area (Millings)         |

NOTES

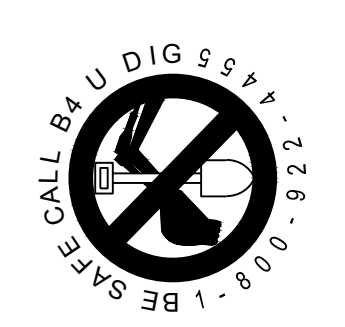
1. THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300B-1 THRU 20-300B-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. THE BOUNDARY DETERMINATION IS A DEPENDANT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2. THE PURPOSE OF THIS MAP IS TO DEPICT EXISTING SITE IMPROVEMENTS.
2. BASE MAP TAKEN FROM PLAN ENTITLED "PROPERTY SURVEY MAP - AREA = 588,646 S.F./13.5135 AC. 555 FAN HILL ROAD MONROE CONNECTICUT PREPARED FOR CONNECTICUT PRECAST CORPORATION" SCALE: 1"=60'; DATED: APRIL 14, 2005 AND PREPARED BY LAND ENGINEERING ASSOCIATES.
3. REFERENCE IS MADE TO "BUILDING ADDITION AS BUILT IMPROVEMENT LOCATION SURVEY, 555 FAN HILL ROAD, MONROE, CONNECTICUT, PREPARED FOR CONNECTICUT PRECAST CORPORATION", SCALE 1"=60', DATED FEBRUARY 25, 2008, BY LAND ENGINEERING ASSOCIATES, INC.
4. WETLANDS DELINEATED BY ALEKSANDRA MOCH, SOIL AND WETLAND SCIENTIST OF STAMFORD, CT AND FIELD LOCATED BY FULLER ENGINEERING & LAND SURVEYING USING CONVENTIONAL SURVEY METHODS.
5. OWNER OF RECORD: CONNECTICUT PRECAST CORPORATION, VOLUME 80, PAGE 436, RECORDED IN THE TOWN OF MONROE TOWN CLERK'S OFFICE.



THIS MAP IS NOT VALID UNLESS IT HAS A LIVE SIGNATURE AND EMBOSSED SEAL OF KEVIN M. CROWLEY.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT TO THE STANDARDS OF CLASS "A2" AS NOTED HEREON.

KEVIN M. CROWLEY  
R.L.S. # 70261



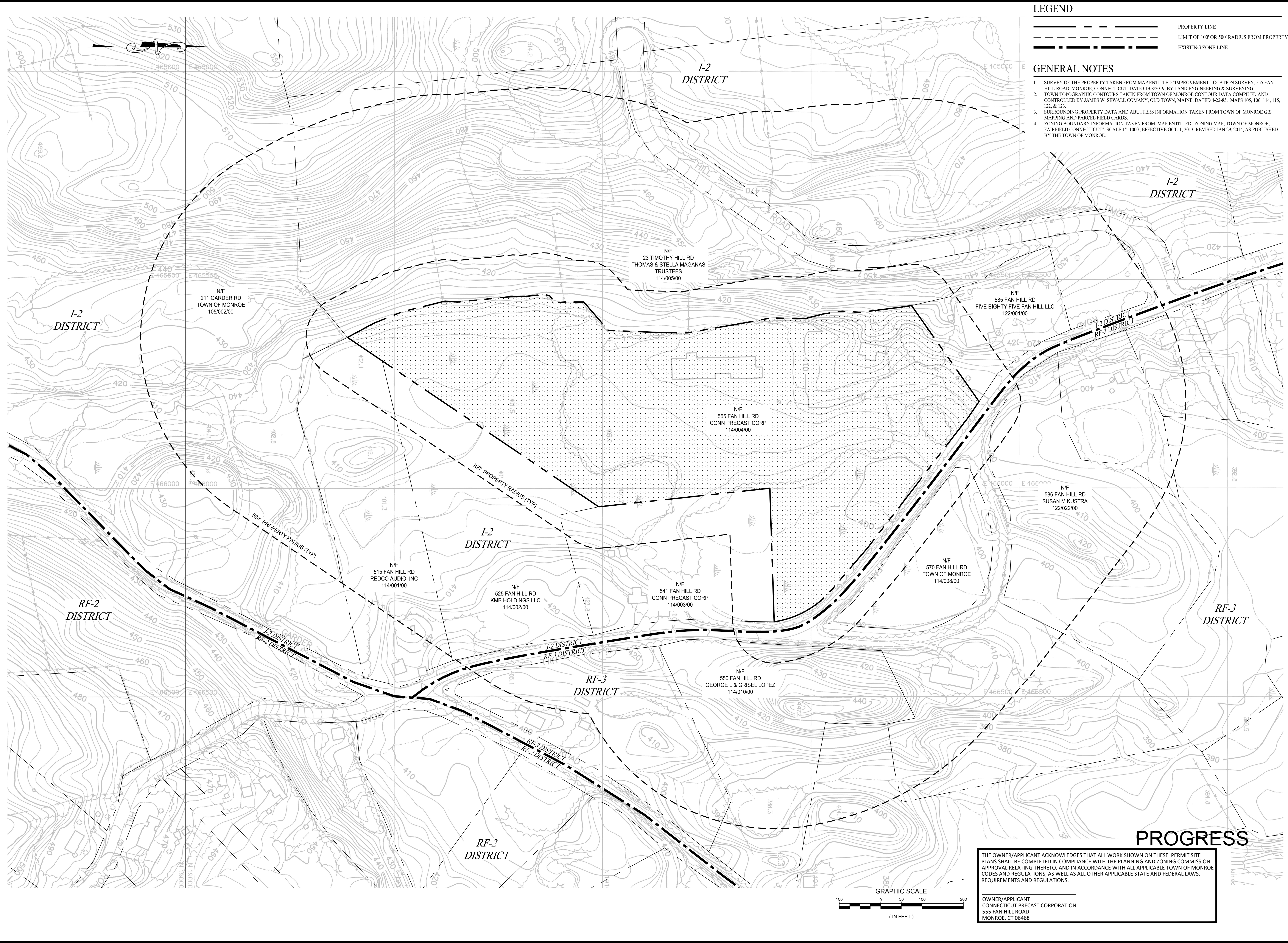
**FULLER ENGINEERING & LAND SURVEYING**  
525 JOHN STREET  
BRIDGEPORT, CT.  
203-336-4422  
EMAIL: INFO@FULLERSURVEYORS.COM

|       |         |          |
|-------|---------|----------|
| DRAWN | CHECKED | APPROVED |
|-------|---------|----------|

IMPROVEMENT LOCATION SURVEY  
PROPOSED ADDITION  
555 FAN HILL ROAD  
MONROE, CONNECTICUT  
PREPARED FOR  
**CONNECTICUT PRECAST CORPORATION**

| REVISIONS |
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|           |
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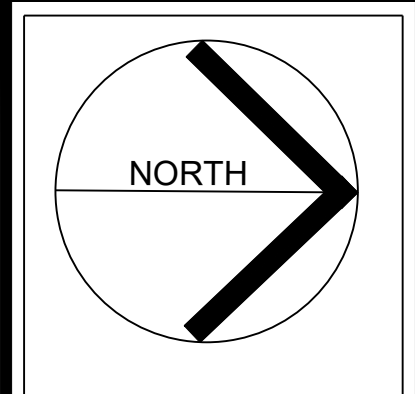
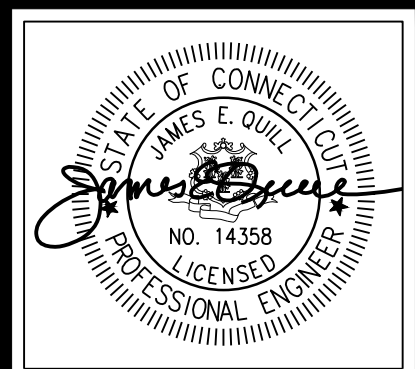
Scale: 1"=60'  
Date: October 11, 2022  
Sheet No. C-1.11  
Job No. L95-11



**LEGEND**

|  |  |
|--|--|
|  | PROPERTY LINE                              |
|  | LIMIT OF 100' OR 500' RADIUS FROM PROPERTY |
|  | EXISTING ZONE LINE                         |

- GENERAL NOTES**
1. SURVEY OF THE PROPERTY TAKEN FROM MAP ENTITLED "IMPROVEMENT LOCATION SURVEY, 555 FAN HILL ROAD, MONROE, CONNECTICUT, DATE 01/08/2019, BY LAND ENGINEERING & SURVEYING.
  2. TOWN TOPOGRAPHIC CONTOURS TAKEN FROM TOWN OF MONROE CONTOUR DATA COMPILED AND CONTROLLED BY JAMES W. SEWALL COMPANY, OLD TOWN, MAINE, DATED 4-22-85. MAPS 105, 106, 114, 115, 122 & 123.
  3. SURROUNDING PROPERTY DATA AND ABUTTERS INFORMATION TAKEN FROM TOWN OF MONROE GIS MAPPING AND PARCEL FIELD CARDS.
  4. ZONING BOUNDARY INFORMATION TAKEN FROM MAP ENTITLED "ZONING MAP, TOWN OF MONROE, FAIRFIELD COUNTY, CT, SCALE 1"=100', EFFECTIVE OCT. 1, 2013, REVISED JAN 29, 2014, AS PUBLISHED BY THE TOWN OF MONROE.



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**PROPOSED ADDITION  
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Drawn By: Checked By:  
D.R.R. J.E.Q.

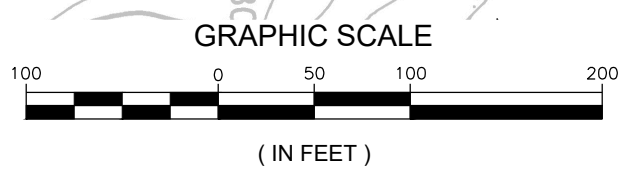
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**PROPERTY RADIUS & SITE AREA MAP**

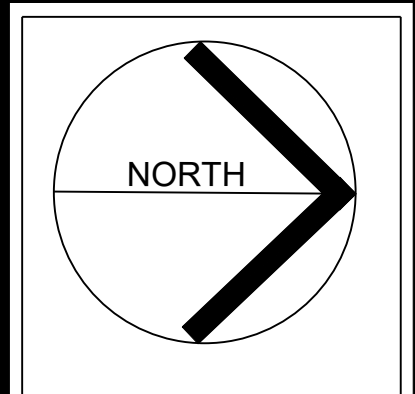
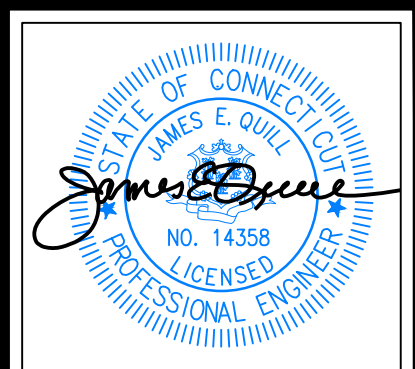
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1"=100'

Sheet Number:  
**C-1.40**

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**PROPOSED ADDITION**  
**555 FAN HILL ROAD, MONROE CT**  
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Job Number:  
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Job Start Date:  
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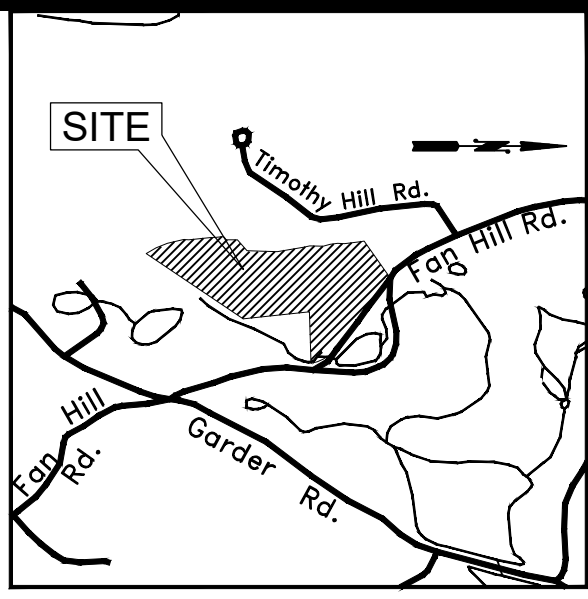
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Drawn By: Checked By:  
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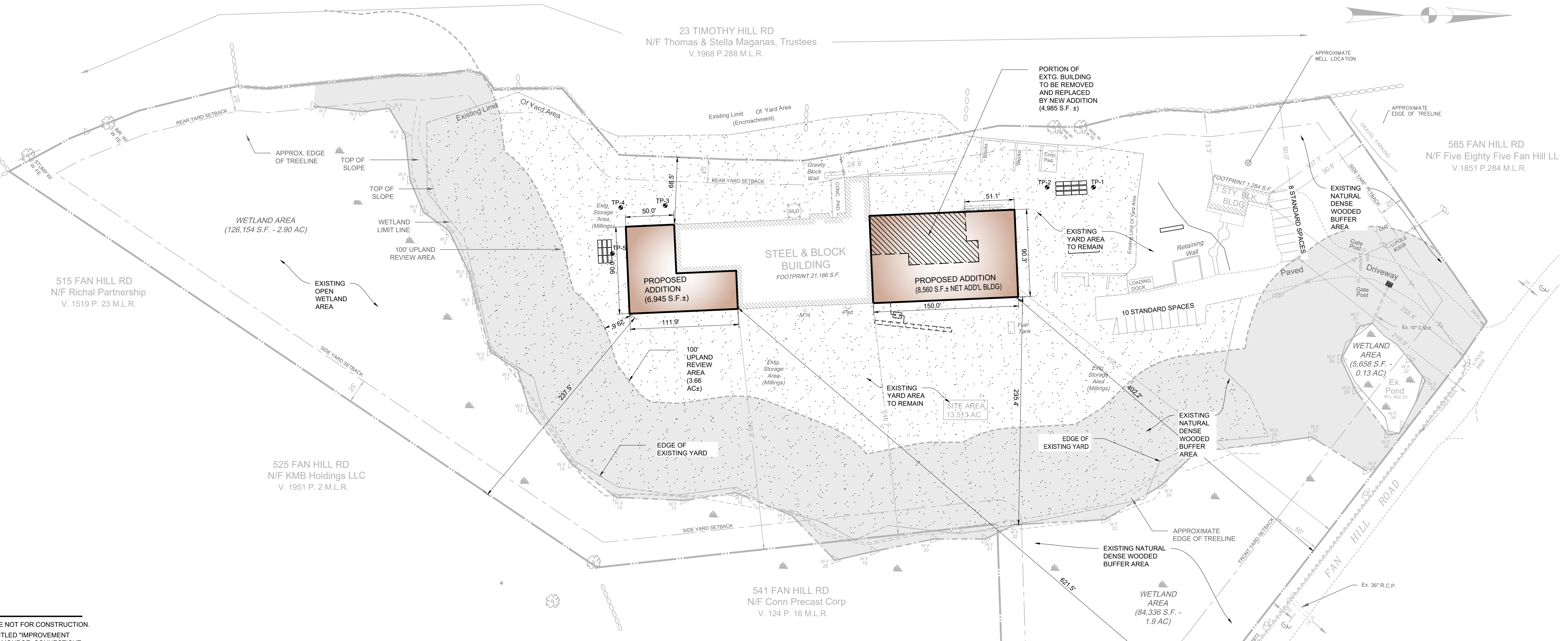
Sheet Title:  
**OVERALL SITE LAYOUT PLAN**

Scale:  
 1" = 60'

Sheet Number:  
**C-2.11**



VICINITY MAP  
 SCALE: 1" = 1200'



**SITE PLAN NOTES**

- THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION.
- EXISTING SITE CONDITIONS TAKEN FROM A SURVEY PLAN ENTITLED "IMPROVEMENT LOCATION SURVEY, PROPOSED ADDITION, 555 FAN HILL ROAD, MONROE, CONNECTICUT, PREPARED FOR CONNECTICUT PRECAST CORPORATION", DATED JANUARY 8, 2019, SCALE 1"=80', BY LAND ENGINEERING & SURVEYING, LLC.
- THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY TOWN OF MONROE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
- THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE CIVIL ENGINEER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS.
- THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING.
- SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE CIVIL ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK.
- ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING AS APPLICABLE UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
- THE CONTRACTOR SHALL ABIDE BY ALL OSHA FEDERAL STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.
- THE CONTRACTOR SHALL RESTORE ANY DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS OR SIGNAGE DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE CIVIL ENGINEER.
- THE ARCHITECT AND ENGINEER ARE NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK. JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
- ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, CIVIL ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION.
- INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY PROVIDER AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" 72 HOURS BEFORE COMMENCEMENT OF WORK AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
- NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
- NO PART OF THE PROJECT PARCEL IS LOCATED WITHIN ANY FEMA DESIGNATED FLOOD HAZARD AREAS.
- NO WALL SIGNS ARE PROPOSED AS PART OF THIS SUBMISSION.

**ZONING COMPLIANCE TABLE**

| ZONING CATEGORY                                | REQUIREMENT             | EXISTING        | PROPOSED             | RESULTANT CONDITIONS  | COMMENTS               |
|--|-------------------------|-----------------|----------------------|-----------------------|------------------------|
| Minimum Lot Area                               | 3                       | 13.513 AC       | NO CHANGE            | NO CHANGE             |                        |
| Minimum Lot Frontage                           | 200 Ft                  | 740.8 Ft        | NO CHANGE            | NO CHANGE             |                        |
| Minimum Square                                 | 150x150 Ft              | 150x150 Ft      | NO CHANGE            | NO CHANGE             |                        |
| <b>SETBACKS</b>                                |                         |                 |                      |                       |                        |
| Minimum Front Yard                             | Office<br>Manufacturing | 50 Ft<br>50 Ft  | 225.4 Ft<br>456.2 Ft | NO CHANGE<br>402.2 Ft | NO CHANGE<br>402.2 Ft  |
| Minimum Side Yard                              | Office<br>Manufacturing | 25 Ft<br>25 Ft  | 107.1 Ft<br>24.3 Ft  | NO CHANGE<br>68.5 Ft  | NO CHANGE<br>NO CHANGE |
| Minimum Rear Yard                              | Office<br>Manufacturing | 25 Ft<br>25 Ft  | 107.1 Ft<br>249.9 Ft | NO CHANGE<br>22       | NO CHANGE<br>402.2 Ft  |
| Minimum Yard Adjacent Residential District     | Office<br>Manufacturing | 100 Ft<br>25 Ft | NA<br>249.9 Ft       | NA<br>22              | NA<br>402.2 Ft         |
| Maximum Height (Stories)                       | 3 Stories               | 1               | 1                    | 1                     | 1                      |
| Maximum Height (feet)                          | 40 Ft                   | <40 Ft          | <40 Ft               | <40 Ft                |                        |
| <b>Maximum Building Coverage</b>               |                         |                 |                      |                       |                        |
| Office   | 25.0%                   | 2.2%            | NO CHANGE            | 2.2%                  |                        |
| Manufacturing                                  | 25.0%                   | 3.7%            | 2.6%                 | 6.3%                  |                        |
| Total  |                         |                 |                      | 8.5%                  |                        |
| <b>Minimum Floor Area</b>                      |                         |                 |                      |                       |                        |
| Office   | NA                      | 1,284 S.F.      | NO CHANGE            | 1,284 S.F.            |                        |
| Manufacturing                                  | NA                      | 21,883 S.F.     | 15,506 S.F.          | 37,389 S.F.           |                        |
| <b>Minimum Parking Setbacks</b>                |                         |                 |                      |                       |                        |
| From Residential Zone Boundary                 | 100 Ft                  | 226 Ft          | NO CHANGE            | NO CHANGE             |                        |
| From Public Street                             | 50 Ft                   | 90.8 Ft         | NO CHANGE            | NO CHANGE             |                        |
| From Property Line                             | 25 Ft                   | 90.0 Ft         | NO CHANGE            | NO CHANGE             |                        |
| <b>Minimum Landscape Buffer to Residential</b> |                         |                 |                      |                       |                        |
| Front Yard                                     | 50 Ft                   | NA              | > 20 Ft              | > 20 Ft               |                        |
| Rear and Side Yard                             | 25 Ft                   | NA              | > 30 Ft              | > 30 Ft               |                        |

**FLOOR AREA TABLE**

| USE                    | AREA (GFA)         |
|------------------------|--------------------|
| OFFICE                 | 1,284 S.F.         |
| MANUFACTURING          | 21,883 S.F.        |
| PROPOSED MANUFACTURING | 15,506 S.F.        |
| <b>TOTAL</b>           | <b>38,653 S.F.</b> |

**OFF-STREET PARKING COMPLIANCE TABLE**

| USE                                  | SIZE GFA    | ZONING STANDARD    | REQUIRED SPACES |
|--------------------------------------|-------------|--------------------|-----------------|
| OFFICE                               | 1,284 S.F.  | 1 SPACE / 250 S.F. | 6               |
| MANUFACTURING                        | 37,369 S.F. | 1 SPACE / 600 S.F. | 63              |
| <b>TOTAL REQUIRED PARKING SPACES</b> |             |                    | <b>69</b>       |
| <b>TOTAL PROPOSED PARKING SPACES</b> |             |                    | <b>18</b>       |

**OFF-STREET LOADING COMPLIANCE TABLE**

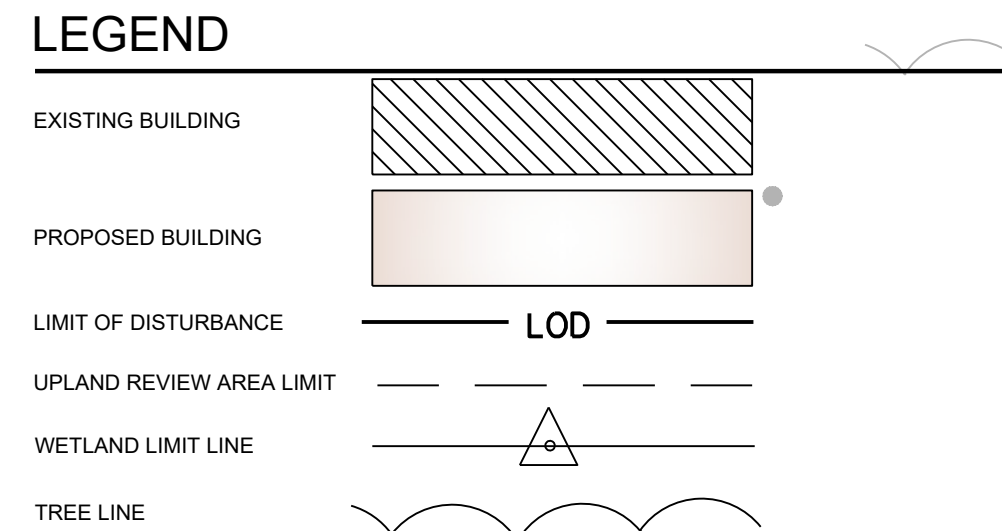
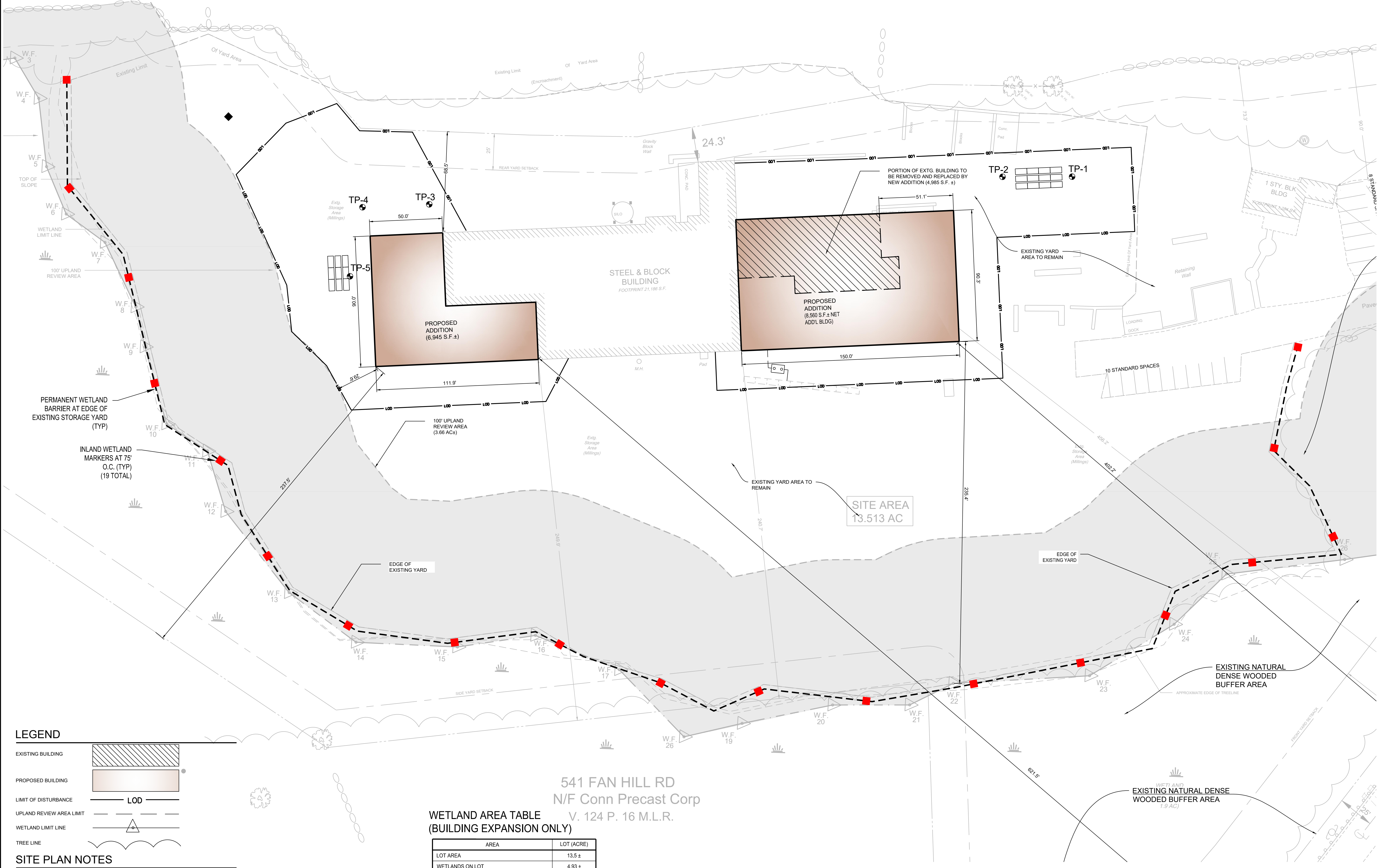
| USE                                  | SIZE GFA    | ZONING STANDARD  | REQUIRED SPACES |
|--------------------------------------|-------------|--|-----------------|
| NON-RESIDENTIAL                      | 38,653 S.F. | 1 SPACE FOR 1,500 TO 20,000 PLUS 1 SPACE FOR EACH ADDITIONAL 20,000 SF | 2               |
| <b>TOTAL LOADING SPACES REQUIRED</b> |             |  | <b>2</b>        |
| <b>TOTAL PROPOSED</b>                |             |  | <b>2+ (1)</b>   |

(1) Designated space is not meaningful in this circumstance since the entire site is used for loading

THE OWNER/APPLICANT ACKNOWLEDGES THAT ALL WORK SHOWN ON THESE PERMIT SITE PLANS SHALL BE COMPLETED IN COMPLIANCE WITH THE PLANNING AND ZONING COMMISSION APPROVAL RELATING THERETO, AND IN ACCORDANCE WITH ALL APPLICABLE TOWN OF MONROE CODES AND REGULATIONS, AS WELL AS ALL OTHER APPLICABLE STATE AND FEDERAL LAWS, REQUIREMENTS AND REGULATIONS.

OWNER/APPLICANT  
 CONNECTICUT PRECAST CORPORATION  
 555 FAN HILL ROAD  
 MONROE, CT 06468

23 TIMOTHY HILL RD  
 N/F Thomas & Stella Maganas, Trustees  
 V.1968 P.288 M.L.R.



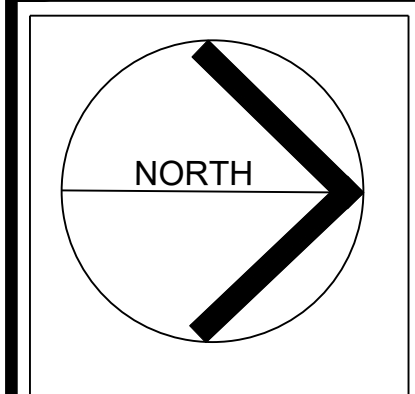
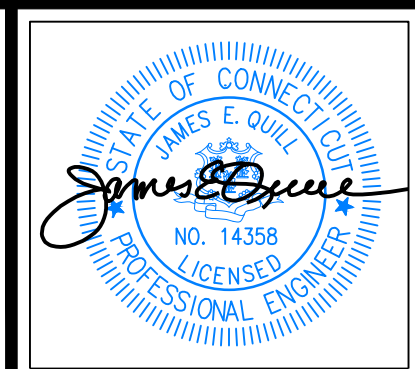
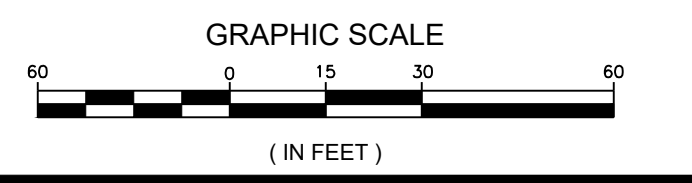
**SITE PLAN NOTES**

- THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION.
- EXISTING SITE CONDITIONS TAKEN FROM A SURVEY PLAN ENTITLED "IMPROVEMENT LOCATION SURVEY, PROPOSED ADDITION, 555 FAN HILL ROAD, MONROE, CONNECTICUT, PREPARED FOR CONNECTICUT PRECAST CORPORATION", DATED JANUARY 8, 2019, SCALE 1"=60', BY LAND ENGINEERING & SURVEYING, LLC.
- SEE C-2.11 FOR ZONING DATA.

541 FAN HILL RD  
 N/F Conn Precast Corp  
 V. 124 P. 16 M.L.R.

**WETLAND AREA TABLE  
 (BUILDING EXPANSION ONLY)**

| AREA                               | LOT (ACRE) |
|------------------------------------|------------|
| LOT AREA                           | 13.5 ±     |
| WETLANDS ON LOT                    | 4.93 ±     |
| UPLAND REVIEW AREA ON LOT          | 3.66 ±     |
| WETLANDS TO BE ALTERED             | 0.0        |
| UPLAND REVIEW AREA TO BE ALTERED   | 0 ±        |
| TOTAL REGULATED AREA TO BE ALTERED | 0 ±        |



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**FULLER ENGINEERING & LAND SURVEYING**

525 JOHN STREET BRIDGEPORT, CT. 06604  
 Office (203) 333-8465  
 fax (203) 336-1769  
 e-mail info@FullerSurveyors

**PROPOSED ADDITION**  
**555 FAN HILL ROAD, MONROE CT**  
 PREPARED FOR  
**CONNECTICUT PRECAST CORP.**

Job Number:  
 FE21-1600

Job Start Date:  
 01-21-21

| Rev                     | Date       |
|-------------------------|------------|
| 1. IW Submission        | 30/11/2022 |
| 2. Admin. IW Submission | 3/6/2023   |
| 3. SEP Submission       | 6/14/2023  |

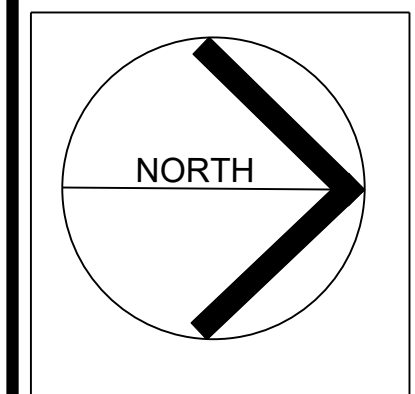
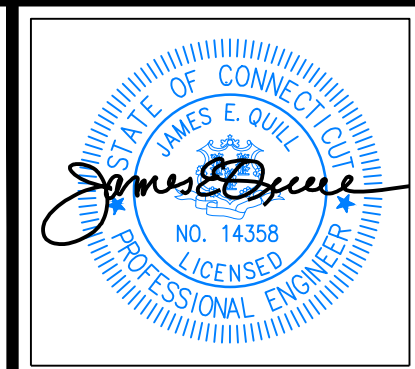
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 D.R.R. J.E.Q.

Sheet Title:  
**SITE LAYOUT ENLARGEMENT PLAN**

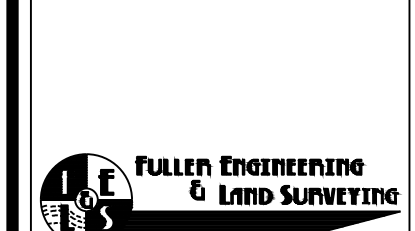
Scale:  
 1" = 30'

Sheet Number:  
**C-2.12**

6/14/2023 2:51 PM C-2.12 Layout Enlargement.dwg  
 O:\Fuller\_CAD\_Engineering\555 Fan Hill Road\FE21-1600 - 555 Fan Hill Rd (CT Precast)\DWG\SNA



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**PROPOSED ADDITION**  
**555 FAN HILL ROAD, MONROE CT**  
PREPARED FOR  
**CONNECTICUT PRECAST CORP.**

Job Number:  
FE21-1600

Job Start Date:  
01-21-21

| Rev                     | Date       |
|-------------------------|------------|
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| 2. Admin. IW Submission | 3/6/2023   |
| 3. SEP Submission       | 6/14/2023  |

Drawn By: Checked By:  
D.R.R. J.E.Q.

Sheet Title:  
**GRADING AND DRAINAGE PLAN**

Scale:  
1"=30'

Sheet Number:  
**C-3.11**



**DEEP TEST HOLE DATA**

DEEP TEST BY JAY D. KEILLOR TAKEN ON AUGUST 2, 2018, WITNESSED BY RICHARD JACKSON, R.S.

**TH #201**  
0' - 8" TOPSOIL  
8" - 42" YELLOWISH BROWN FINE SANDY LOAM  
42" - 96" LIGHT OLIVE BROWN FINE TO MEDIUM TO COARSE SAND  
NO LEDGE, NO WATER

**TH #202**  
0' - 10" TOPSOIL  
10" - 27" YELLOWISH BROWN FINE SANDY LOAM  
27" - 84" LIGHT OLIVE BROWN FINE TO MEDIUM TO COARSE SAND  
NO LEDGE, NO WATER

**TH #203**  
0' - 9" TOPSOIL  
9" - 27" YELLOWISH BROWN FINE SANDY LOAM  
27" - 76" LIGHT OLIVE BROWN FINE TO MEDIUM TO COARSE SAND  
NO LEDGE, NO WATER

**TH #204**  
0' - 15" HARD PACKED PROCESSED  
15" - 72" TAN M-C SAND & GRAVEL  
NO LEDGE, WATER @ 48"

TEST PIT DATA  
(DONE 7-14-22)

**TP-1**  
0-20" COMPACT PROCESSED AGGREGATE  
20-42" LT. BR. MEDIUM SAND  
42-100" LT. GREY MEDIUM SAND  
100" BOTTOM OF HOLE  
GW @ 84"

**TP-2**  
0-28" COMPACT PROCESSED AGGREGATE  
28-54" LT. BR. MEDIUM SAND  
54-100" LT. GREY MEDIUM SAND  
100" BOTTOM OF HOLE  
GW @ 84"

**TP-3**  
0-15" COMPACT PROCESSED AGGREGATE  
15-64" 2" CRUSHED STONE  
64-66" BLACK SAT. SILT  
66" BOTTOM OF HOLE  
GW @ 54"

**TP-4**  
0-24" COMPACT PROCESSED AGGREGATE  
24-64" 2" CRUSHED STONE  
64" BOTTOM OF HOLE  
GW @ 60"

**TP-5**  
0-60" COMPACT GRAVEL AND GRANULAR FILL  
60" BOTTOM OF HOLE  
GW @ 60"

**PERCOLATION TEST**  
PT-1 (AT TP-2)

| TIME  | DEPTH  |
|-------|--------|
| 10:29 | 4-14"  |
| 10:39 | 9-34"  |
| 10:48 | 15-14" |
| 10:56 | 17-34" |

PERCOLATION RATE = 1" / 4 MIN.

**B-100a WAREHOUSE SEPTIC SYSTEM**

Proposed Warehouse Addition (no additional employees)  
15 Warehouse employees + 4 Drivers = 19 Employees  
Design Flow = 19 Employees x 20 gal/day/employee = 380 gal/day (Use 400 Gal/Day)  
Design Percolation Rate = 1710-20 min.  
Sewage Application Rate = 1.2 Gal/Day/S.F.  
Required Effective Leaching Area (ELA) = 400 Gal/Day / 1.2 Gal/Day/S.F. = 334 S.F.  
Proposed Leaching System 12" Concrete Galleries @ 5.9 S.F./L.F. ELA  
L = 334 / 5.9 = 57 L.F. (Use 64 L.F.)

**B-100a OFFICE SEPTIC SYSTEM**

Proposed Office Space = 1,284 s.f.  
Design Flow = 0.1 gpd / S.F. x 1,284 S.F. = 128 GPD  
Design Percolation Rate = 1710-20 min.  
Sewage Application Rate = 1.2 Gal/Day/S.F.  
Required Effective Leaching Area (ELA) = 128 Gal/Day / 1.2 Gal/Day/S.F. = 107 S.F.  
Proposed Leaching System 12" Concrete Galleries @ 5.9 S.F./L.F. ELA  
L = 107 / 5.9 = 18.1 L.F. (Use 24 L.F.)

**GENERAL NOTES**

- THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION.
- EXISTING SITE CONDITIONS TAKEN FROM A SURVEY PLAN ENTITLED "IMPROVEMENT LOCATION SURVEY, PROPOSED ADDITION, 555 FAN HILL ROAD, MONROE, CONNECTICUT, PREPARED FOR CONNECTICUT PRECAST CORPORATION", DATED JANUARY 8, 2019, SCALE 1"=60', BY LAND ENGINEERING & SURVEYING, LLC.

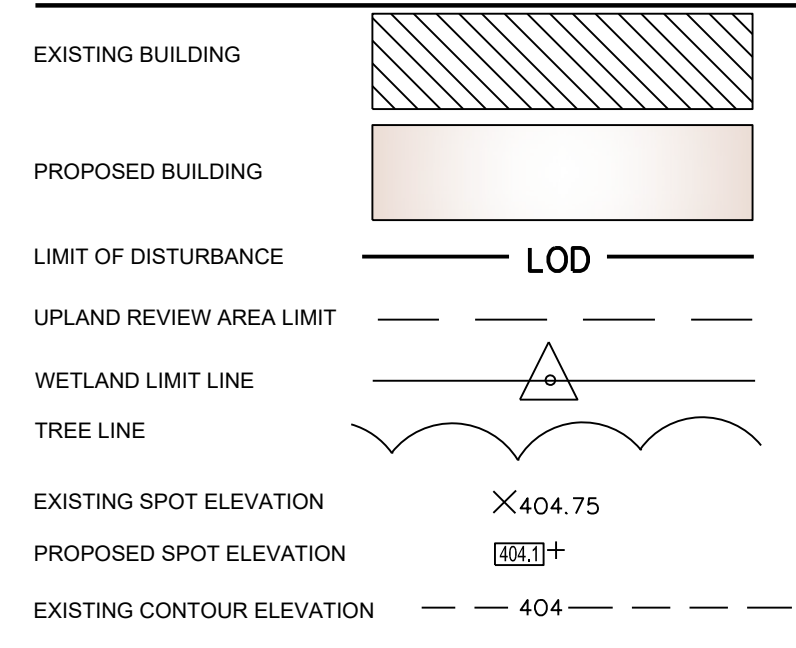
**GRADING AND DRAINAGE NOTES**

- THIS DRAWING IS INTENDED TO DESCRIBE GRADING AND DRAINAGE ONLY. REFER TO SITE PLAN FOR GENERAL INFORMATION, AND DETAIL SHEETS FOR CONSTRUCTION DETAILS.
- THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO EROSION CONTROL PLAN FOR LIMIT OF DISTURBANCE AND EROSION CONTROL NOTES.
- TOPSOIL SHALL BE STRIPPED AND STOCKPILED ON SITE FOR USE IN FINAL LANDSCAPING.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PERMITS REQUIRED BY GOVERNMENT AND LOCAL AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY

- CONSTRUCTION PERMITS FROM THE TOWN OF MONROE REQUIRED TO PERFORM ALL WORK, INCLUDING FOR STREET CUTS AND CONNECTIONS TO EXISTING UTILITIES. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORMED TRAFFIC CONTROLLERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE STATE AND LOCAL GOVERNING AUTHORITIES.
- THE CONTRACTOR SHALL COMPACT FILL IN 12" MAXIMUM LIFTS UNDER ALL PARKING, BUILDING, AND DRIVE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
- UNDERDRAINS SHALL BE ADDED, IF DETERMINED NECESSARY IN THE FIELD BY THE OWNER/GEOTECHNICAL ENGINEER, AFTER SUBGRADE IS ROUGH GRADED.
- ALL DISTURBANCE INCURRED TO TOWN OR STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER, TO THE SATISFACTION OF THE TOWN OF MONROE AUTHORITY.
- IF IMPACTED OR CONTAMINATED SOIL IS ENCOUNTERED BY THE CONTRACTOR, THE CONTRACTOR SHALL SUSPEND EXCAVATION WORK OF IMPACTED SOIL AND NOTIFY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT PRIOR TO PROCEEDING WITH FURTHER WORK IN THE IMPACTED SOIL

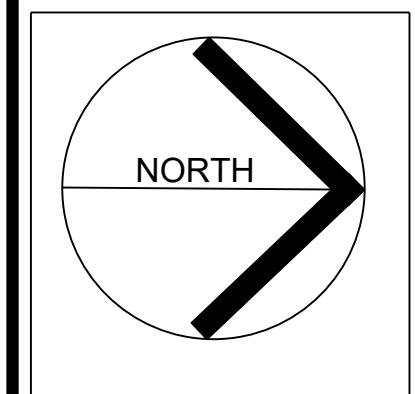
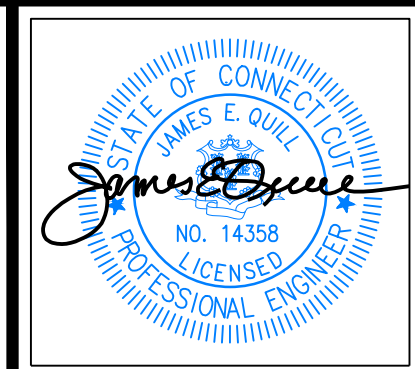
- LOCATION UNTIL FURTHER INSTRUCTED BY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT.
- IF GROUNDWATER IS ENCOUNTERED DURING THE INSTALLATION OF THE UNDERGROUND DETENTION SYSTEM THEN THE BASIN SHALL BE LINED WITH AN IMPERVIOUS MEMBRANE PREVENT GROUNDWATER FROM ENTERING THE SYSTEM.
- INSTALL JUTE MESH ON ALL DISTURBED SLOPES GREATER THAN 2:1 FOR STABILIZATION. PIN MESH AS REQUIRED.
- VERIFY DEPTH TO ROCK AT ALL TREE PIT LOCATIONS. NOTIFY ENGINEER IF PLANTING PITS ARE NOT FREE DRAINING. (SEE DRAWING 2.61)

**LEGEND**

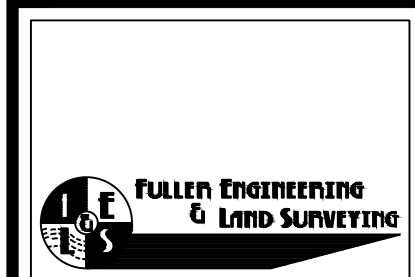


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OWNER/APPLICANT  
CONNECTICUT PRECAST CORPORATION  
555 FAN HILL ROAD  
MONROE, CT 06468



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525 JOHN STREET BRIDGEPORT, CT. 06604  
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**PROPOSED ADDITION  
555 FAN HILL ROAD, MONROE CT  
PREPARED FOR  
CONNECTICUT PRECAST CORP.**

Job Number:  
FE21-1600

Job Start Date:  
01-21-21

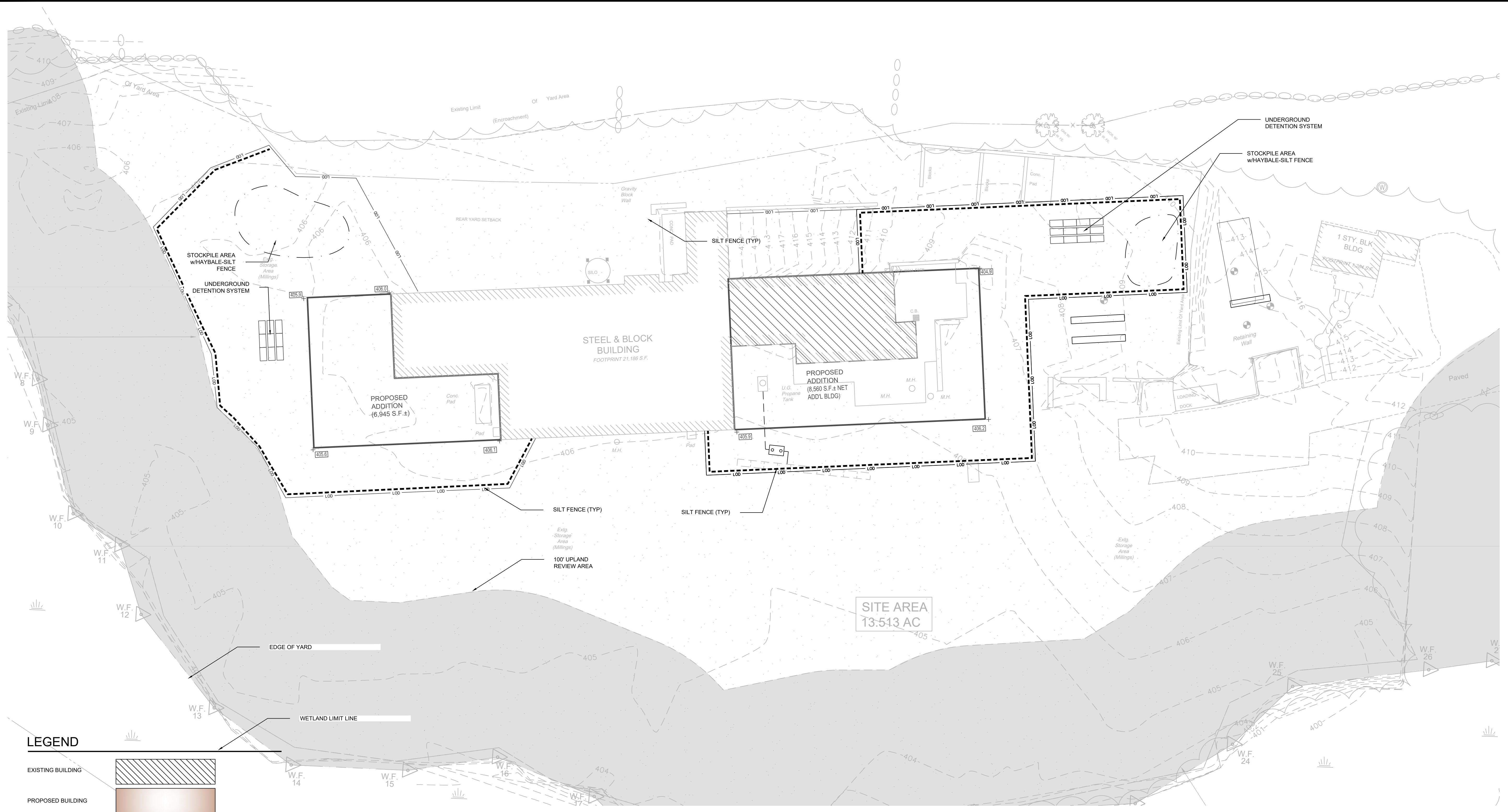
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| 1. IW Submission        | 10/11/2022 |
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| 3. SEP Submission       | 6/14/2023  |

Drawn By: Checked By:  
D.R.R. J.E.Q.

**Sheet Title:  
SOIL EROSION  
& SEDIMENT  
CONTROL  
PLAN**

Scale:  
1"=30'

Sheet Number:  
**C-4.11**



**LEGEND**

- EXISTING BUILDING
- PROPOSED BUILDING
- LIMIT OF DISTURBANCE LOD
- UPLAND REVIEW AREA LIMIT
- WETLAND LIMIT LINE
- TREE LINE
- SILT FENCE

**GENERAL NOTES**

- BASE MAP TAKEN FROM PLAN ENTITLED "PROPERTY SURVEY MAP - AREA = 588,646 S.F./13.5135 AC. 555 FAN HILL ROAD MONROE CONNECTICUT PREPARED FOR CONNECTICUT PRECAST CORPORATION" SCALE: 1"=60'; DATED: APRIL 14, 2005 AND PREPARED BY LAND ENGINEERING ASSOCIATES.
- SEE SHEET 2.2 FOR DETAILS REGARDING THE PROPOSED GRADING AND DRAINAGE FEATURES, STORMWATER CONVEYANCE SYSTEM, AND STORMWATER DETENTION FACILITIES.
- SEE SHEET 2.32 FOR SOIL EROSION AND SEDIMENT CONTROL NOTES AND DETAILS.
- ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED HEREON ARE CONSIDERED TEMPORARY, UNLESS OTHERWISE NOTED AND SHALL BE REMOVED UPON COMPLETION OF APPROVED SITEMWORK. REFER TO THE OPERATION REQUIREMENT ON SHEET 2.32 FOR MORE DETAILS.

THE OWNER/APPLICANT ACKNOWLEDGES THAT ALL WORK SHOWN ON THESE PERMIT SITE PLANS SHALL BE COMPLETED IN COMPLIANCE WITH THE PLANNING AND ZONING COMMISSION APPROVAL RELATING THERETO, AND IN ACCORDANCE WITH ALL APPLICABLE TOWN OF MONROE CODES AND REGULATIONS, AS WELL AS ALL OTHER APPLICABLE STATE AND FEDERAL LAWS, REQUIREMENTS AND REGULATIONS.

OWNER/APPLICANT  
CONNECTICUT PRECAST CORPORATION  
555 FAN HILL ROAD  
MONROE, CT 06468

**SOIL EROSION & SEDIMENTATION CONTROL NOTES**

**SEDIMENT & EROSION CONTROL NARRATIVE**

THE SEDIMENT AND EROSION CONTROL PLAN WAS DEVELOPED TO PROTECT THE EXISTING ROADWAY AND STORM DRAINAGE SYSTEMS, ADJACENT PROPERTIES, AND ANY ADJACENT WETLAND AREA AND WATER COURSE FROM SEDIMENT LADEN SURFACE RUNOFF AND EROSION.

ALL CONSTRUCTION ACTIVITIES INVOLVING THE REMOVAL OR DISTURBANCE OF SOILS ARE TO BE PROVIDED WITH APPROPRIATE PROTECTIVE MEASURES TO MINIMIZE EROSION AND CONTAIN SEDIMENT DISPOSITION WITHIN THE AREA UNDER DEVELOPMENT. THE MINIMUM STANDARD FOR INDIVIDUAL MEASURES SHALL BE THOSE OUTLINED IN THE "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL" 2002 EDITION AS AMENDED TO DATE. THOSE METHODS DEEMED MOST EFFECTIVE FOR THIS PROJECT ARE DESCRIBED HEREIN.

**CONSTRUCTION SCHEDULE**

THE ANTICIPATED STARTING DATE FOR CONSTRUCTION IS FALL/WINTER 2022 WITH COMPLETION ANTICIPATED BY SUMMER/FALL 2023. APPROPRIATE EROSION CONTROL MEASURES AS DESCRIBED HEREIN, SHALL BE INSTALLED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF ALL SITE CLEARING OR CONSTRUCTION ACTIVITY. SCHEDULE WORK TO MINIMIZE THE LENGTH OF TIME THAT BARE SOIL WILL BE EXPOSED.

**CONSTRUCTION SEQUENCE**

1. INSTALLATION OF SEDIMENT AND EROSION CONTROLS
2. REMOVAL AND RE-LOCATION EXISTING STORED MATERIALS.
3. FOUNDATION / BUILDING CONSTRUCTION
4. INSTALLATION OF SITE UTILITIES
5. SITE STABILIZATION
6. REMOVAL OF SEDIMENT AND EROSION CONTROLS AFTER APPROVAL BY TOWN

**CONTINGENCY EROSION PLAN**

THE CONTRACTOR SHALL INSTALL ALL SPECIFIED EROSION CONTROL MEASURES AND WILL BE REQUIRED TO MAINTAIN THEM IN THEIR INTENDED FUNCTIONING CONDITION. THE AGENTS OF THE TOWN, INLAND WETLANDS COMMISSION AND/OR PROJECT ENGINEER SHALL HAVE THE AUTHORITY TO REQUIRE SUPPLEMENTAL MAINTENANCE OR ADDITIONAL MEASURES IF FIELD CONDITIONS ARE ENCOUNTERED BEYOND WHAT WOULD NORMALLY BE ANTICIPATED.

**OPERATION REQUIREMENTS**

**ROUGH GRADING OPERATIONS:**

1. DURING THE REMOVAL AND/OR PLACEMENT OF EARTH AS INDICATED ON THE GRADING PLAN, TOPSOIL SHALL BE STRIPPED AND APPROPRIATELY STOCKPILED FOR REUSE.
2. ALL STOCKPILED TOPSOIL SHALL BE SEEDED, MULCHED WITH HAY, AND ENCLOSED BY A SILTATION FENCE.

**FILLING OPERATIONS:**

1. PRIOR TO FILLING, ALL SEDIMENTATION AND EROSION CONTROL DEVICES SHALL BE PROPERLY IMPLEMENTED, MAINTAINED AND FULLY INSTALLED, AS DIRECTED BY THE ENGINEER AND AS SHOWN ON THIS PLAN.
2. AS GENERAL GRADING OPERATIONS PROGRESS, ANY TEMPORARY DIVERSION DITCHES SHALL BE RAISED OR LOWERED, AS NECESSARY, TO DIVERT SURFACE RUNOFF TO THE SEDIMENT BASINS.

**FINAL GRADING AND PAVING OPERATIONS:**

1. NO CUT OR FILL SLOPES SHALL EXCEED 2:1 EXCEPT WHERE STABILIZED BY ROCK FACED EMBANKMENTS OR EROSION CONTROL BLANKETS, JUTE MESH AND VEGETATION. ALL SLOPES SHALL BE SEEDED, AND ANY ROAD OR DRIVEWAY SHOULDER AND BANKS SHALL BE STABILIZED IMMEDIATELY UPON COMPLETION OF FINAL GRADING UNTIL TURF IS ESTABLISHED.
2. PAVEMENT SUB-BASE AND BASE COURSES SHALL BE INSTALLED OVER AREAS TO BE PAVED AS SOON AS FINAL SUB-GRADES ARE ESTABLISHED AND UNDERGROUND UTILITIES AND STORM DRAINAGE SYSTEMS HAVE BEEN INSTALLED.
3. AFTER CONSTRUCTION OF PAVEMENT, TOPSOIL, FINAL SEED, MULCH AND LANDSCAPING, REMOVE ALL TEMPORARY EROSION CONTROL DEVICES ONLY AFTER ALL AREAS HAVE BEEN PAVED AND/OR GRASS HAS BEEN WELL ESTABLISHED AND THE SITE HAS BEEN INSPECTED AND APPROVED BY THE TOWN, EASTERN CONNECTICUT SOILS CONSERVATION DISTRICT, INLAND WETLANDS COMMISSION.

**INSTALLATION OF SEDIMENTATION AND EROSION CONTROL MEASURES**

1. SILTATION FENCE:
  - A. DIG A SIX-INCH TRENCH ON THE UPHILL SIDE OF THE DESIGNATED FENCE LINE LOCATION.
  - B. POSITION THE POST AT THE BACK OF THE TRENCH (DOWNHILL SIDE), AND HAMMER THE POST AT LEAST 1.5 FEET INTO THE GROUND.
  - C. LAY THE BOTTOM SIX INCHES OF THE FABRIC INTO THE TRENCH TO PREVENT UNDERMINING BY STORM WATER RUN-OFF.
  - D. BACKFILL THE TRENCH AND COMPACT.
2. STOCKPILE PROTECTION
  - A. DIG A SIX-INCH TRENCH ON THE STOCKPILE SIDE OF THE DESIGNATED FENCE LINE LOCATION.
  - B. POSITION THE POST AT THE BACK OF THE TRENCH (DOWNHILL SIDE), AND HAMMER THE POST AT LEAST 1.5 FEET INTO THE GROUND.
  - C. LAY THE BOTTOM SIX INCHES OF THE FABRIC INTO THE TRENCH TO PREVENT UNDERMINING BY STORM WATER RUN-OFF.
  - D. BACKFILL THE TRENCH AND COMPACT.
  - E. INSTALL HAYBALE PROTECTION ON THE OUTER PERIMETER OF THE SILT FENCE.

**OPERATION AND MAINTENANCE OF SEDIMENTATION AND EROSION CONTROL MEASURES**

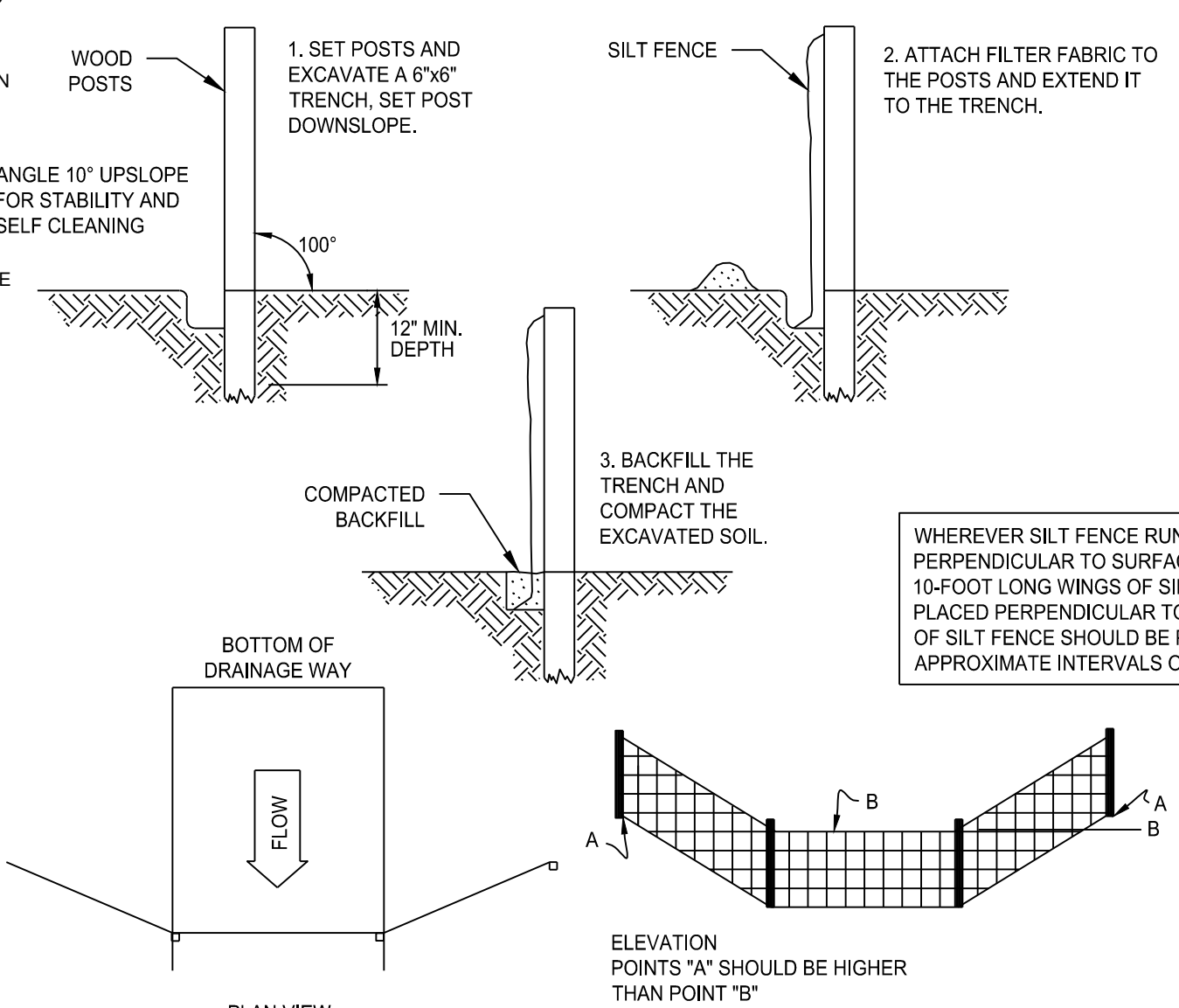
1. SILTATION FENCE:
  - A. ALL SILTATION FENCES SHALL BE INSPECTED AS A MINIMUM WEEKLY OR AFTER EACH RAINFALL. ALL DETERIORATED FABRIC AND DAMAGED POSTS SHALL BE REPLACED AND PROPERLY REPOSITIONED IN ACCORDANCE WITH THIS PLAN.
  - B. SEDIMENT DEPOSITS SHALL BE REMOVED FROM BEHIND THE FENCE WHEN THEY EXCEED A HEIGHT OF ONE FOOT.
2. SEDIMENT TRAPS:
  - A. CONTRACTOR TO KEEP WEEKLY CHECKLIST LOGS FOR INSPECTIONS OF ALL SEDIMENT AND EROSION CONTROL DEVICES AND HAVE THEM READILY AVAILABLE ON-SITE AT ALL TIMES FOR INSPECTION BY CT DEEP, LOCAL AUTHORITIES OR ENGINEER.
  - B. ALL SEDIMENT BASINS SHALL BE INSPECTED FOLLOWING EACH RAINFALL. REPAIR OF SLOPES SHALL BE PROMPTLY MADE AS NEEDED. EROSION CONTROL BLANKETS MAY BE USED FOLLOWING REPAIR OF SLOPE AS DIRECTED BY THE ENGINEER.
  - C. SEDIMENT DEPOSITS SHALL BE REMOVED FROM SEDIMENT BASINS AND/OR SEDIMENT TRAPS WHEN THEY EXCEED A HEIGHT OF ONE FOOT UNLESS OTHERWISE INDICATED ON THE EROSION CONTROL PLANS AND DETAILS TO BE AT A SPECIFIC ELEVATION PER CLEAN OUT MARKERS.
  - D. SEDIMENT SHALL BE DISPOSED OF ON-SITE OR AS DIRECTED BY THE ENGINEER AND LOCAL GOVERNING OFFICIALS. SEE SEDIMENT AND EROSION CONTROL NOTES HEREIN REGARDING DISPOSAL REQUIREMENTS FOR OFF-SITE SPILL DISPOSAL.
3. CHECK DAMS:
  - A. ALL STONE CHECK DAMS SHALL BE INSPECTED FOLLOWING EACH RAINFALL. REPAIR OF STONE CHECK DAMS SHALL BE PROMPTLY MADE AND ACCUMULATED SEDIMENT REMOVED WHEN IT REACHES ONE HALF OF THE HEIGHT OF THE CHECK DAM.
4. TEMPORARY/PERMANENT DRAINAGE SWALES:
  - A. SWALES SHALL BE INSPECTED FOLLOWING EACH RAINFALL. REPAIR OF ANY WASHED OUT OR ERODED SLOPES SHALL BE MADE PROMPTLY AND THE AREA SHALL BE RE-SEEDED AS NECESSARY.
  - B. EROSION CONTROL BLANKETS MAY BE USED TO REPAIR ERODED SWALES AS DIRECTED BY THE ENGINEER OR TOWN AGENT.
5. SILT SACKS
  - A. MONITOR, MAINTAIN, REMOVE, OR REPLACE SILT SACK AS REQUIRED TO ASSURE FREE DRAINAGE INTO EXISTING DRYWELL.
6. ANTI-TRACKING APRONS

- MAINTAIN FUNCTIONALITY OF ANTI-TRACKING APRON THROUGHOUT THE CONSTRUCTION PERIOD.
  - REMOVE AND DISPOSE OF ACCUMULATED SEDIMENTS IMMEDIATELY IF THIS MEASURE SHOWS SIGNS NON-FUNCTIONALITY.
- EROSION AND SEDIMENT CONTROL PLAN**
1. SILTATION FENCE WILL BE INSTALLED AT ALL CULVERT OUTLETS & CULVERT OUTLETS ARE APPLICABLE TO THIS PROJECT AND ALONG THE TOE OF ALL CRITICAL CUT AND FILL SLOPES.
  2. CULVERT DISCHARGE AREAS WILL BE PROTECTED WITH RIP RAP CHANNELS; ENERGY DISSIPATORS WILL BE INSTALLED AS SHOWN ON THESE PLANS AND AS NECESSARY.
  3. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL MANUAL, LATEST EDITION.
  4. EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED PRIOR TO CONSTRUCTION WHENEVER POSSIBLE.
  5. ALL CONTROL MEASURES WILL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
  6. ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING THE CONSTRUCTION PERIOD, IF NECESSARY OR REQUIRED OR AS DIRECTED BY THE CIVIL ENGINEER OR BY LOCAL GOVERNING OFFICIALS.
  7. SEDIMENT REMOVED FROM EROSION CONTROL STRUCTURES WILL BE DISPOSED IN A MANNER WHICH IS CONSISTENT WITH THE INTENT AND REQUIREMENTS OF THE EROSION CONTROL PLANS, NOTES, AND DETAILS.
  8. THE OWNER IS ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENT CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN.

**SEDIMENT AND EROSION CONTROL NOTES**

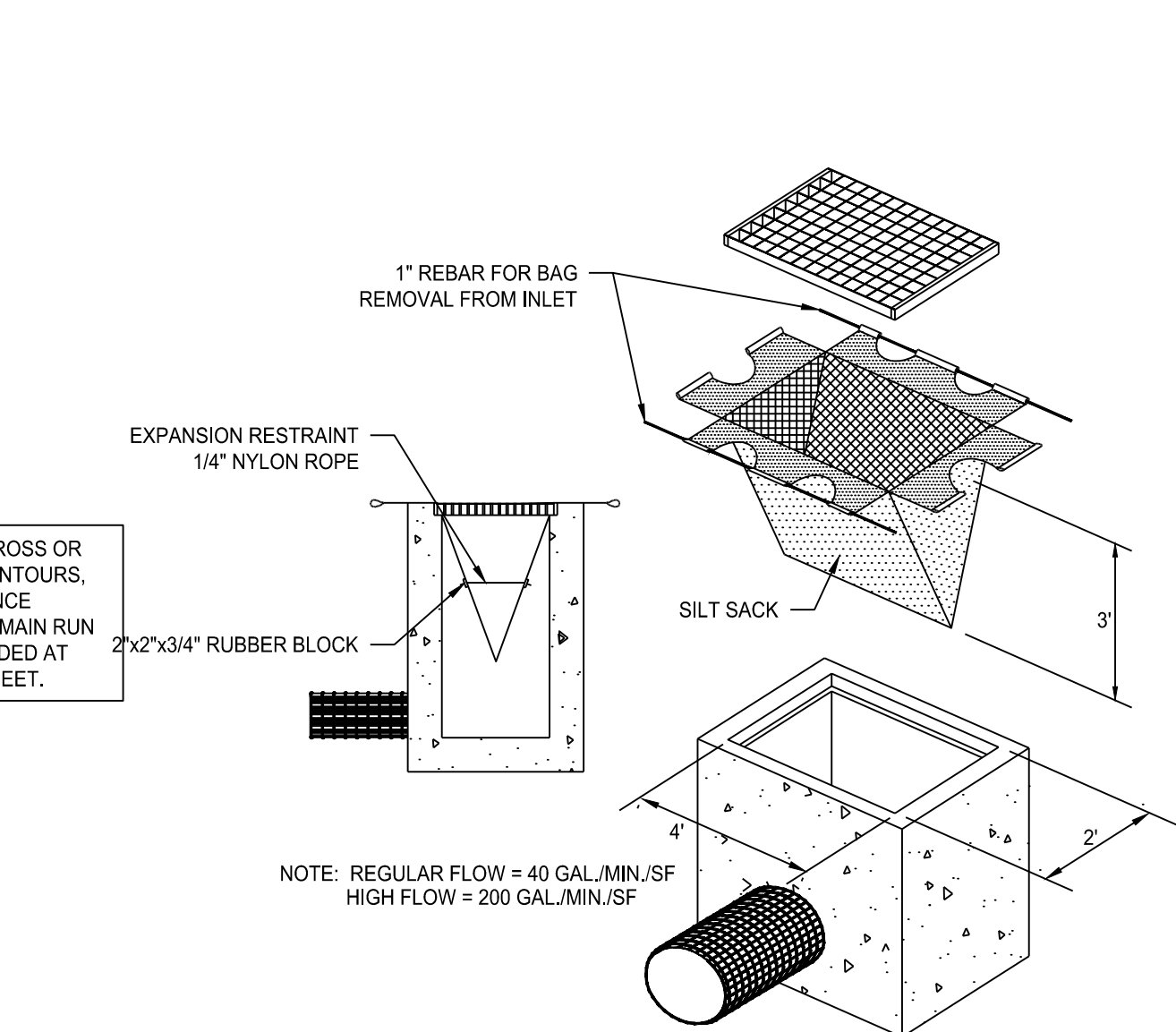
1. THE OWNER IS RESPONSIBLE FOR IMPLEMENTING THIS SEDIMENT AND EROSION CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE PROPER INSTALLATION AND MAINTENANCE OF EROSION CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED WITH CONSTRUCTION ON THE SITE OF THE REQUIREMENTS AND OBJECTIVES OF THIS PLAN, INFORMING THE GOVERNING AUTHORITY OR INLAND WETLANDS AGENCY OF ANY TRANSFER OF THIS RESPONSIBILITY, AND FOR CONVEYING A COPY OF THE SEDIMENT & EROSION CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.
2. AN EROSION CONTROL BOND MAY BE REQUIRED TO BE POSTED WITH THE TOWN TO ENSURE IMPLEMENTATION OF THE EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE POSTING OF THIS BOND AND FOR INQUIRIES TO THE TOWN FOR INFORMATION ON THE METHOD, TYPE AND AMOUNT OF THE BOND POSTING UNLESS OTHERWISE DIRECTED BY THE OWNER.
3. VISUAL SITE INSPECTIONS SHALL BE CONDUCTED WEEKLY, AND AFTER EACH MEASURABLE PRECIPITATION EVENT OF 0.1 INCHES OR GREATER BY QUALIFIED PERSONNEL, TRAINED AND EXPERIENCED IN EROSION AND SEDIMENT CONTROL, TO ASCERTAIN THAT THE EROSION AND SEDIMENT CONTROL (E&S) BMPs ARE OPERATIONAL AND EFFECTIVE IN PREVENTING POLLUTION. A WRITTEN REPORT OF EACH INSPECTION SHALL BE KEPT, AND INCLUDE:
  - A. A SUMMARY OF THE SITE CONDITIONS, E&S BMPs, AND COMPLIANCE; AND
  - B. THE DATE, TIME, AND THE NAME OF THE PERSON CONDUCTING THE INSPECTION
4. THE CONTRACTOR SHALL CONSTRUCT ALL SEDIMENT AND EROSION CONTROLS IN ACCORDANCE WITH THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, PREPARED BY CTDEEP, LATEST EDITION IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, AND AS DIRECTED BY THE TOWN. THE CONTRACTOR SHALL KEEP A COPY OF THE GUIDELINES ON-SITE FOR REFERENCE DURING CONSTRUCTION.
5. ADDITIONAL AND/OR ALTERNATIVE SEDIMENT AND EROSION CONTROL MEASURES MAY BE INSTALLED DURING THE CONSTRUCTION PERIOD IF FOUND NECESSARY BY THE CONTRACTOR, OWNER, CIVIL ENGINEER, THE TOWN, EASTERN CONNECTICUT SOILS CONSERVATION DISTRICT, INLAND WETLANDS COMMISSION, OR GOVERNING AGENCIES. THE CONTRACTOR SHALL CONTACT THE OWNER AND APPROPRIATE GOVERNING AGENCIES FOR APPROVAL IF ALTERNATIVE CONTROLS OTHER THAN THOSE SHOWN ON THE PLANS ARE PROPOSED.
6. THE CONTRACTOR SHALL INSPECT ALL SEDIMENT AND EROSION CONTROLS BEFORE AND AFTER EACH STORM (0.10 INCHES OR GREATER RAINFALL, OR AT LEAST WEEKLY, TO VERIFY THAT THE CONTROLS ARE OPERATING PROPERLY AND MAKE REPAIRS WHERE NECESSARY.
7. THE CONTRACTOR SHALL KEEP A SUPPLY OF EROSION CONTROL MATERIAL (HAY BALES, SILT FENCE, JUTE MESH, RIP RAP ETC.) ON-SITE FOR MAINTENANCE AND EMERGENCY REPAIRS.
8. INSTALL PERIMETER SEDIMENT CONTROLS PRIOR TO CLEARING OR CONSTRUCTION. ALL CONSTRUCTION SHALL BE CONTAINED WITHIN THE LIMIT OF DISTURBANCE (LOD), WHICH SHALL BE MARKED WITH SILT FENCE, SAFETY FENCE, HAY BALES, RIBBONS, OR OTHER MEANS PRIOR TO CLEARING. CONSTRUCTION ACTIVITY SHALL REMAIN ON THE UPHILL SIDE OF THE SILT FENCE UNLESS WORK IS SPECIFICALLY CALLED FOR ON THE DOWNHILL SIDE OF THE FENCE.
9. TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING. ALL EARTH STOCKPILES SHALL HAVE HAY BALES OR SILT FENCE AROUND THE LIMIT OF FILE. PILES SHALL BE TEMPORARILY SEEDED IF PILE IS TO REMAIN IN PLACE FOR MORE THAN 7 DAYS.
10. SEDIMENTATION TRAPS SHALL PROVIDE 134 CUBIC YARDS OF SEDIMENT STORAGE PER DISTURBED ACRE CONTRIBUTING TO THE TRAP. PROVIDE TRAP VOLUMES FOR ALL DISTURBANCE ON SITE.
11. MINIMIZE LAND DISTURBANCES. SEED AND MULCH DISTURBED AREAS WITH TEMPORARY MIX AS SOON AS PRACTICABLE (2 WEEK MAXIMUM UNSTABILIZED PERIOD) USING PERENNIAL RYEGRASS AT 40 LBS PER ACRE. MULCH ALL CUT AND FILL SLOPES AND SWALES WITH LOOSE HAY AT A RATE OF 2 TONS PER ACRE, IF NECESSARY. REPLACE LOOSE HAY ON SLOPES WITH EROSION CONTROL BLANKETS OR JUTE CLOTH. MODERATELY GRADED AREAS, ISLANDS, AND TEMPORARY CONSTRUCTION STAGING AREAS MAY BE HYDROSEEDING WITH TACKIFIER.
12. SILT FENCE AND OTHER SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH CONTRACT DRAWINGS AND MANUFACTURER'S RECOMMENDATIONS PRIOR TO WORK IN ANY UPLAND AREAS.
13. EXCAVATED MATERIAL FROM TEMPORARY SILT TRAPS MUST BE STOCKPILED ON UPHILL SIDE OF SILT FENCE.
14. INSTALL SILT FENCE ACCORDING TO MANUFACTURER'S INSTRUCTION. PARTICULARLY, BURY LOWER EDGE OF FABRIC INTO GROUND. SILT FENCE SHALL BE MIRAFI ENVIRONMENTAL AMMOG SILT STOP OR EQUIVALENT APPROVED BY THE CIVIL ENGINEER. FILTER FABRIC USED SHALL BE MIRAFI 100X OR EQUIVALENT. SEE SPECIFICATIONS FOR FURTHER INFORMATION.
15. WHERE INDICATED ON EROSION CONTROL PLANS USE NEW HAY BALES AND REPLACE THEM WHENEVER THEIR CONDITION DETERIORATES BEYOND REASONABLE USABILITY. STAKE HAY BALES SECURELY INTO GROUND AND BUTT TIGHTLY TOGETHER TO PREVENT UNDERMINING AND BYPASSING.
16. INSTALL TEMPORARY DIVERSION DITCHES, PLUNGE POOLS, SEDIMENT TRAPS, AND DEWATERING TITS AS SHOWN AND AS NECESSARY DURING VARIOUS PHASES OF CONSTRUCTION TO CONTROL RUNOFF UNTIL UPHILL AREAS ARE STABILIZED. LOCATION OF TEMPORARY SEDIMENT TRAPS WILL REQUIRE REVIEW AND APPROVAL BY THE CIVIL ENGINEER AND GOVERNING OFFICIAL.
17. BLOCK THE OPEN UPSTREAM ENDS OF DETENTION BASINS/SEDIMENTATION BASIN OUTLET CONTROL ORIFICE UNTIL SITE IS STABILIZED. TEMPORARY SEDIMENT BASINS TO PERMANENT DETENTION BASINS ONCE SITE HAS BEEN STABILIZED. CLEAN OUTLET CONTROL STRUCTURES AS NECESSARY AND REMOVE ACCUMULATED SEDIMENT FROM BOTTOM OF BASIN. BLOCK END OF STORM SEWERS IN EXPOSED TRENCHES WITH BOARDS AND SANDBAGS AT THE END OF EACH WORKING DAY WHEN RAIN IS EXPECTED.
18. SWEEP AFFECTED PORTIONS OF OFF SITE ROADS ONE OR MORE TIMES A DAY (OR LESS FREQUENTLY IF TRACKING IS NOT A PROBLEM) DURING CONSTRUCTION. OTHER DUST CONTROL MEASURES TO BE USED AS NECESSARY INCLUDE WATERING DOWN DISTURBED AREAS, USING CALCIUM CHLORIDE, AND COVERING LOADS ON DUMP TRUCKS.
19. PERIODICALLY CHECK ACCUMULATED SEDIMENT LEVELS IN THE SEDIMENT TRAPS DURING CONSTRUCTION AND CLEAN ACCUMULATED SILT WHEN NECESSARY OR WHEN ONE FOOT OF SEDIMENT HAS ACCUMULATED OR PER SPECIFIC CLEANOUT MARKER ELEVATION. REMOVE ACCUMULATED SEDIMENT FROM BEHIND SILT FENCE WHEN LEVEL REACHES HALF THE HEIGHT OF THE HAY BALE OR ONE FOOT AT SILT FENCE. DISPOSE OF SEDIMENT LEGALLY EITHER ON OR OFF SITE.

22. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES (BMP) TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
23. ALL EXCAVATED MATERIAL SHALL BE PLACED ON THE HIGH SIDE OF UTILITY AND STORM PIPE TRENCHES SO AS TO ALLOW THE TRENCH TO INTERCEPT ALL SILT LADEN RUNOFF.
24. AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM OF 70% UNIFORM PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING OR OTHER MOVEMENTS.
25. MAINTAIN ALL PERMANENT AND TEMPORARY SEDIMENT CONTROL DEVICES IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD. UPON COMPLETION OF WORK SWEEP PARKING LOT AND REMOVE ALL TEMPORARY SEDIMENT CONTROLS WHEN AUTHORIZED BY LOCAL GOVERNING AUTHORITY. FILE NOT (NOTICE OF TERMINATION) WITH GOVERNING AUTHORITY RESPONSIBLE FOR REGULATING STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES PER NPDES.



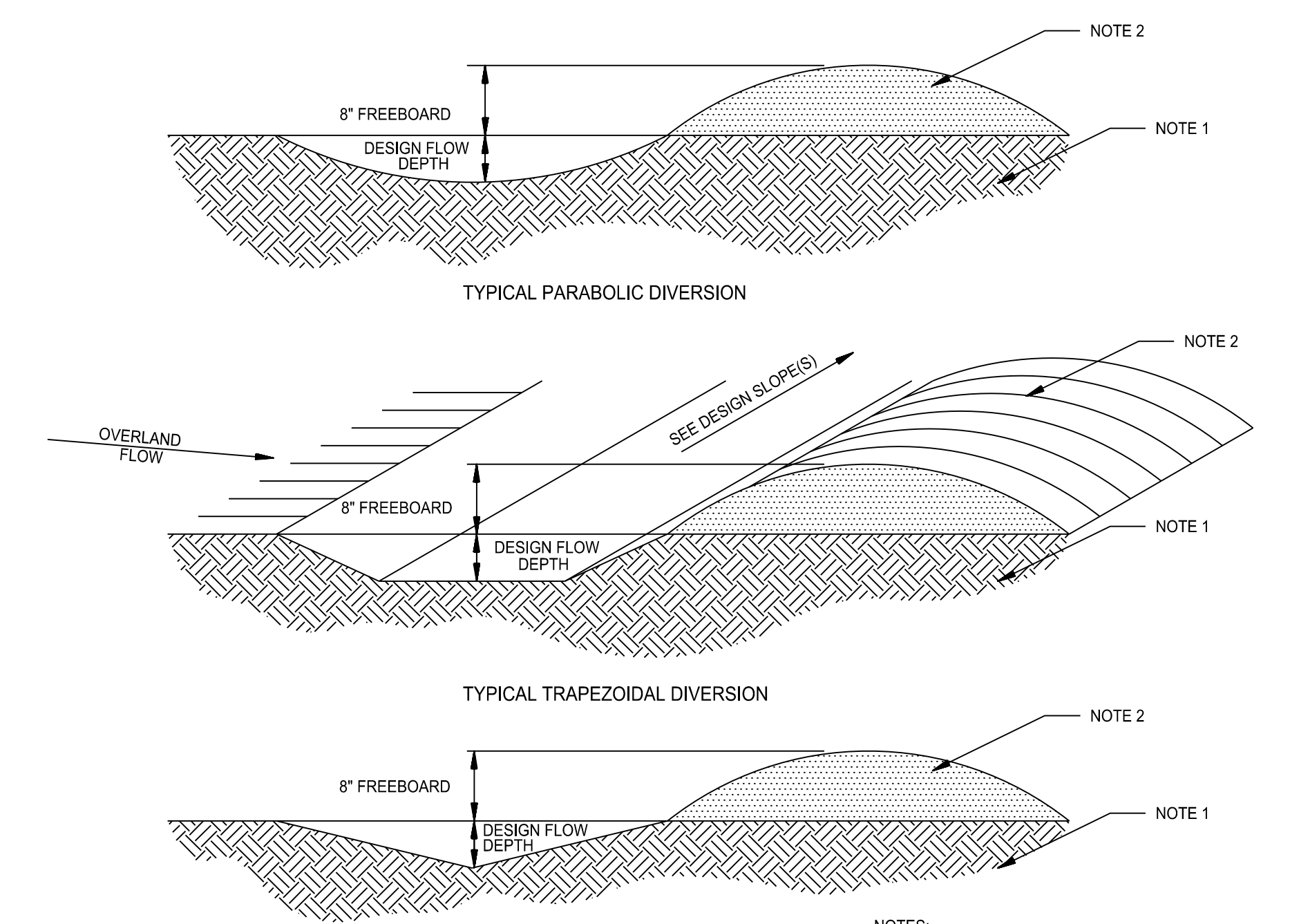
**SILT FENCE PROTECTION DETAIL**

SCALE: NTS



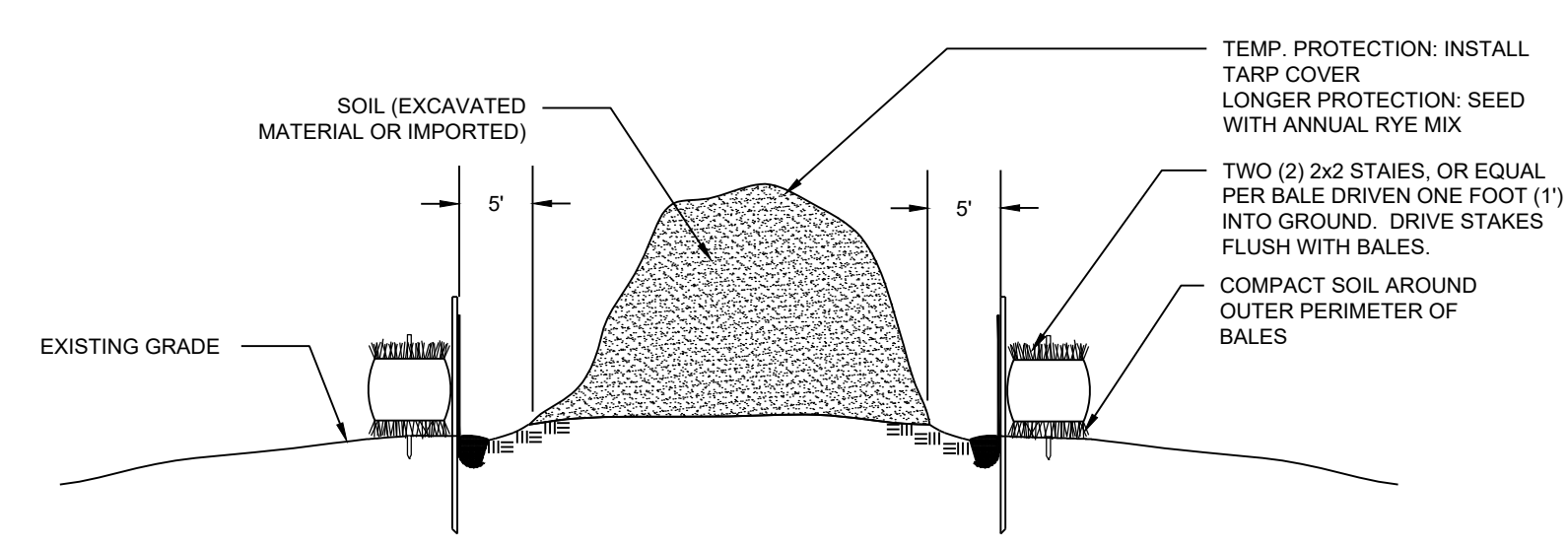
**SILT SACK INLET PROTECTION DETAIL (If Required)**

SCALE: NTS



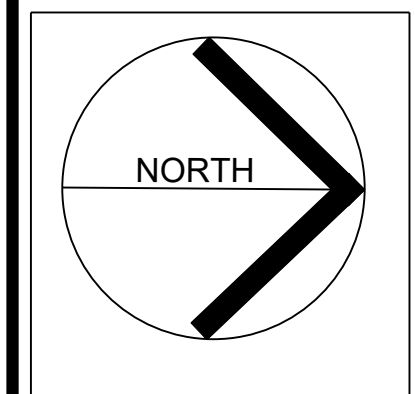
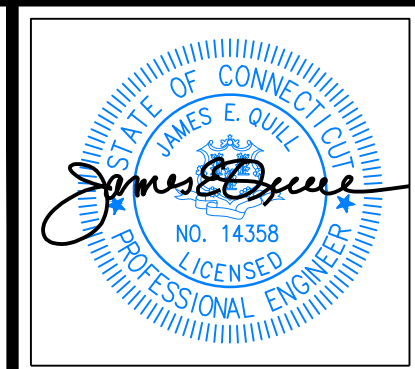
**DIVERSION BERM DETAIL (If Required)**

SCALE: NTS



**STOCKPILE PROTECTION DETAIL**

SCALE: NTS



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 e-mail info@FullerSurveyors

**PROPOSED ADDITION**  
**555 FAN HILL ROAD, MONROE CT**  
 PREPARED FOR  
**CONNECTICUT PRECAST CORP.**

Job Number:  
 FE21-1600

Job Start Date:  
 01-21-21

| Rev                     | Date       |
|-------------------------|------------|
| 1. IW Submission        | 10/11/2022 |
| 2. Admin. IW Submission | 3/6/2023   |
| 3. SEP Submission       | 6/14/2023  |

Drawn By: Checked By:  
 D.R.R. J.E.Q.

Sheet Title:  
**SOIL EROSION AND SEDIMENT CONTROL NOTES & DETAILS**

Scale:  
 AS NOTED

Sheet Number:  
**C-4.12**

THE OWNER/APPLICANT ACKNOWLEDGES THAT ALL WORK SHOWN ON THESE PERMIT SITE PLANS SHALL BE COMPLETED IN COMPLIANCE WITH THE PLANNING AND ZONING COMMISSION APPROVAL RELATING THERETO, AND IN ACCORDANCE WITH ALL APPLICABLE TOWN OF MONROE CODES AND REGULATIONS, AS WELL AS ALL OTHER APPLICABLE STATE AND FEDERAL LAWS, REQUIREMENTS AND REGULATIONS.

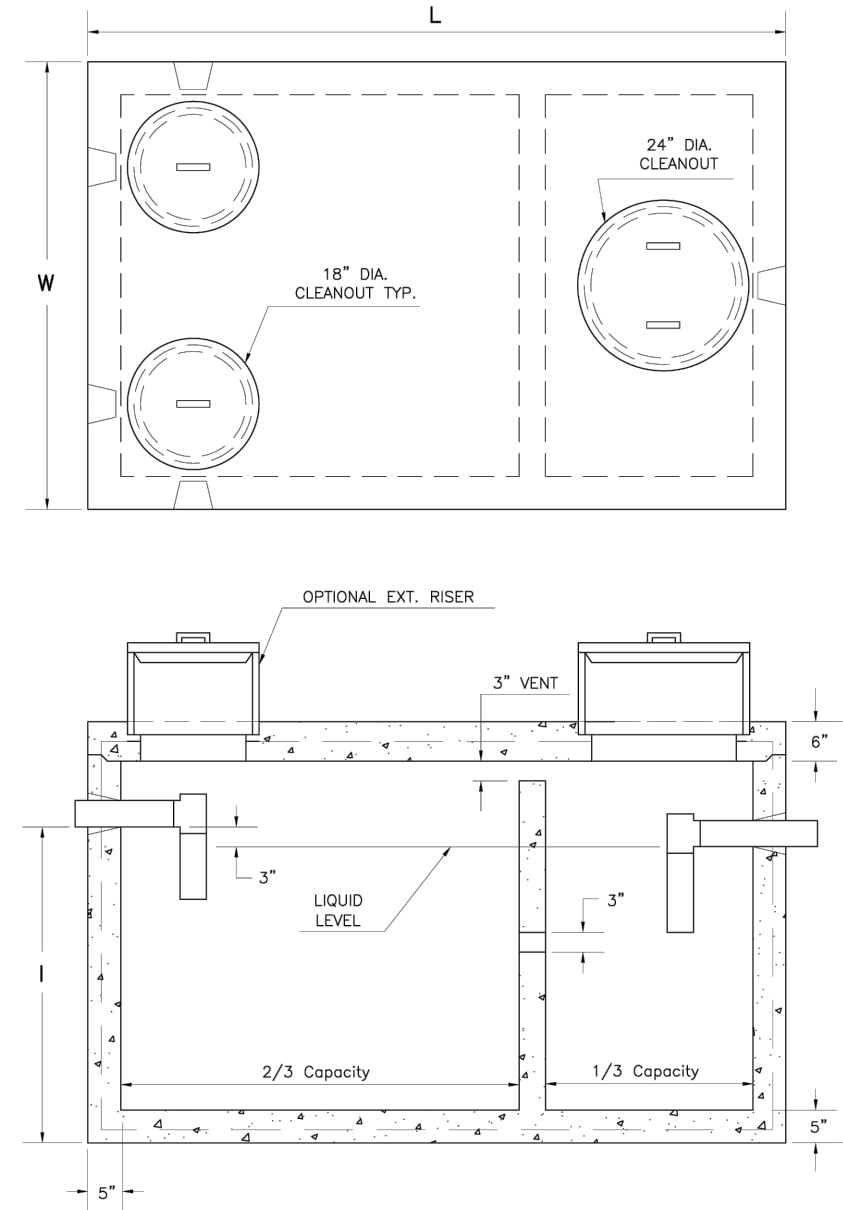
OWNER/APPLICANT  
 CONNECTICUT PRECAST CORPORATION  
 555 FAN HILL ROAD  
 MONROE, CT 06468

### Septic Tanks

PRECAST CONCRETE  
1000 Gallon Capacity  
H-20 Loading

| MODEL NO. | LIQUID CAPACITY | LENGTH L | WIDTH W | INVERT I | HEIGHT H | WEIGHT (LBS.) |
|-----------|-----------------|----------|---------|----------|----------|---------------|
| T1000H20  | 1000            | 8'-10"   | 5'-8"   | 4'-3"    | 5'-4"    | 14300         |

- NOTES:
- Concrete - 4,000 PSI @ 28 DAYS.
  - Meets or exceeds state and local requirements.
  - All shiplap joints sealed with Butyl Rubber.
  - Design loading: AASHTO HS-20.
  - Two compartment tank, Monolithic Design.
  - Side inlet pipes shall extend to cleanout cover.
  - Maximum fill over top of tank - 3 feet.
  - Tank shall be supplied with tees and biofilter.
  - Tank shall be marked with manufacturer name, phone no., tank capacity, date of manufacture, and ASTM C1227 conformance.



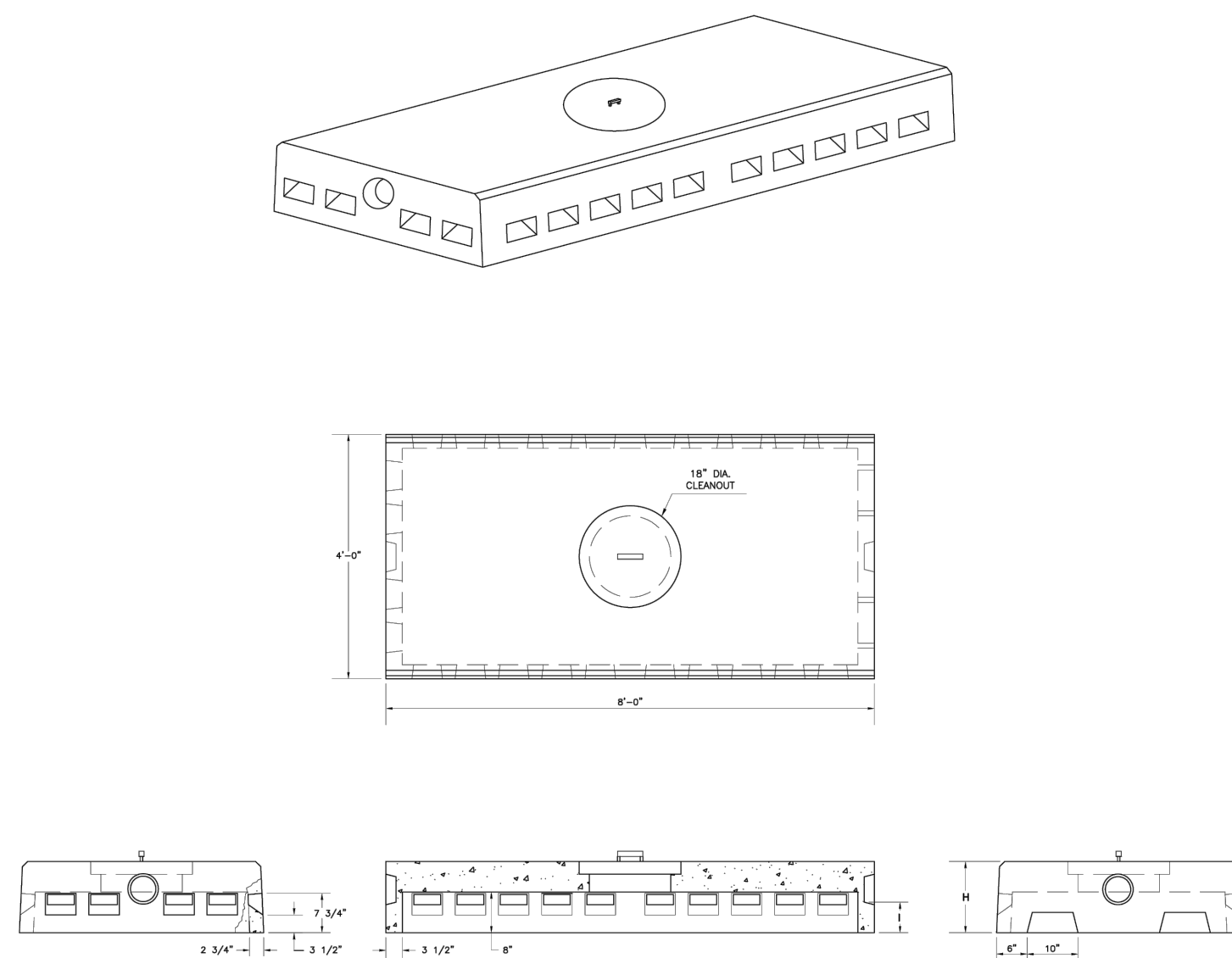
1000 GALLON SEPTIC TANK  
SCALE: N.T.S.

### Low Profile Galleries

PRECAST CONCRETE  
LOW PROFILE GALLERIES  
12" NOMINAL HEIGHT - HEAVY DUTY

| MODEL NO. | HEIGHT H | INVERT I | EFFECTIVE LEACHING (SF/LF) | WEIGHT (LBS.) |
|-----------|----------|----------|----------------------------|---------------|
| LP12-HD   | 14       | 6        | 5.9                        | 2933          |

- NOTES:
- Concrete - 4,000 PSI @ 28 DAYS.
  - Meets or exceeds state and local requirements.



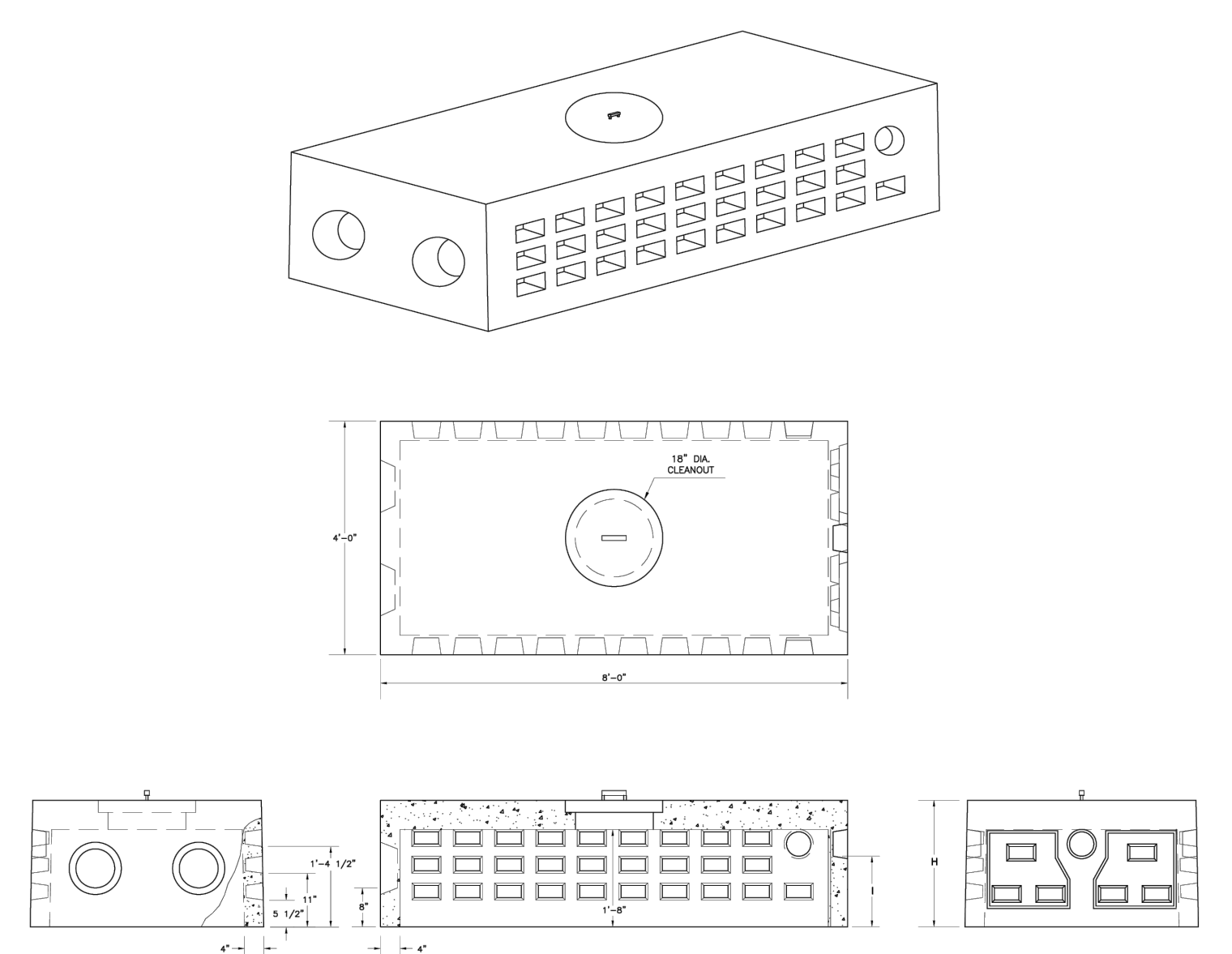
12" LOW PROFILE HS-20  
LEACHING GALLERY  
SCALE: N.T.S.

### Low Profile Galleries

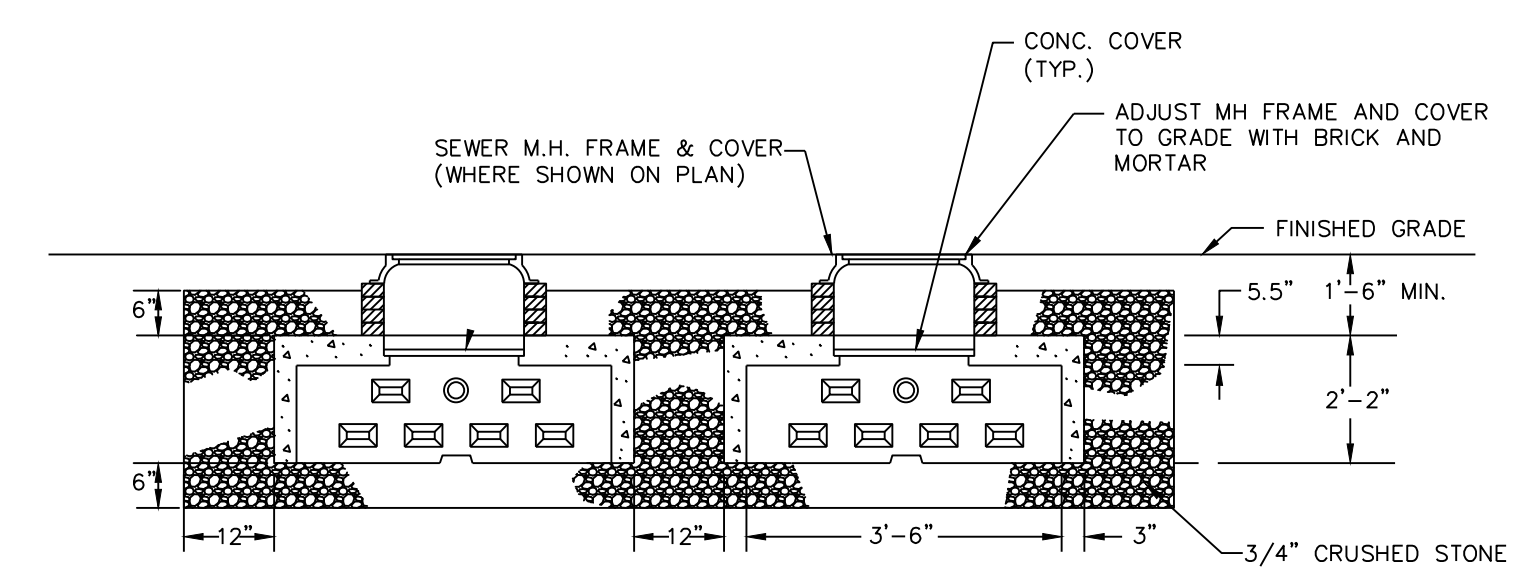
PRECAST CONCRETE  
LOW PROFILE GALLERIES  
24" NOMINAL HEIGHT - HEAVY DUTY

| MODEL NO. | HEIGHT H | INVERT I | EFFECTIVE LEACHING (SF/LF) | WEIGHT (LBS.) |
|-----------|----------|----------|----------------------------|---------------|
| LP24-HD   | 26       | 16       | 6.8                        | 4431          |

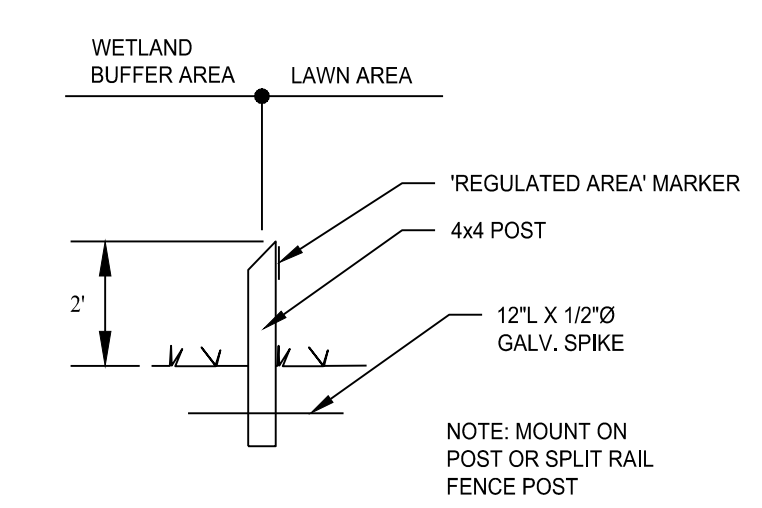
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  - Meets or exceeds state and local requirements.



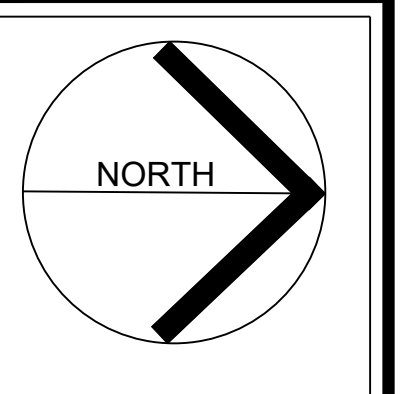
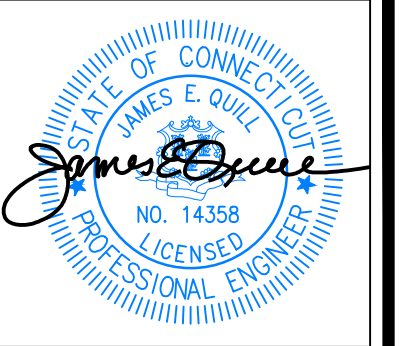
24" LOW PROFILE HS-20  
INFILTRATION GALLERY  
SCALE: N.T.S.



SECTION THRU 24"  
INFILTRATION GALLERIES



'REGULATED AREA' MARKER  
SCALE: N.T.S.



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PROPOSED ADDITION  
555 FAN HILL ROAD, MONROE CT  
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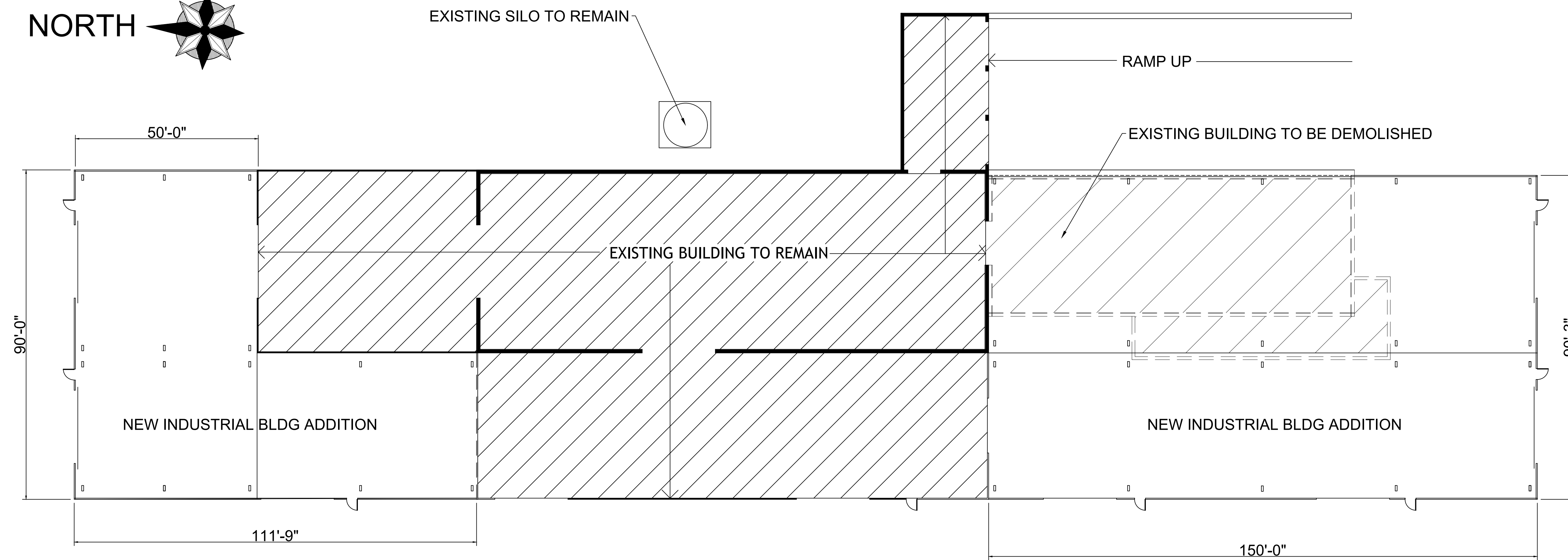
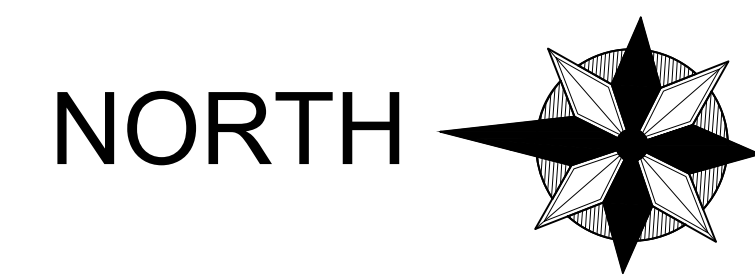
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D.R.R. J.E.Q.

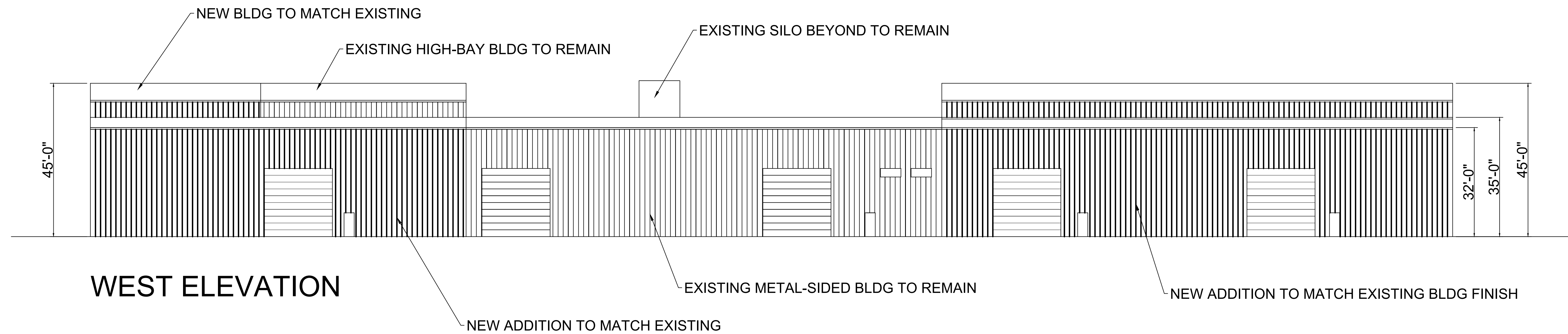
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DETAIL SHEET

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Sheet Number:  
C-6.1



**FLOORPLAN SHOWING ADDITION**

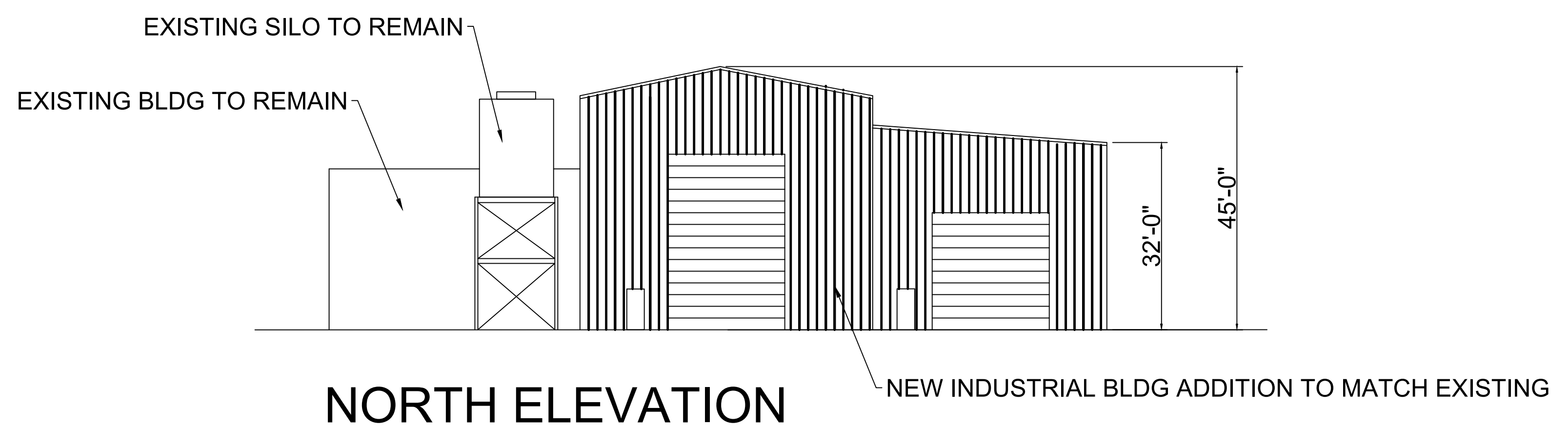
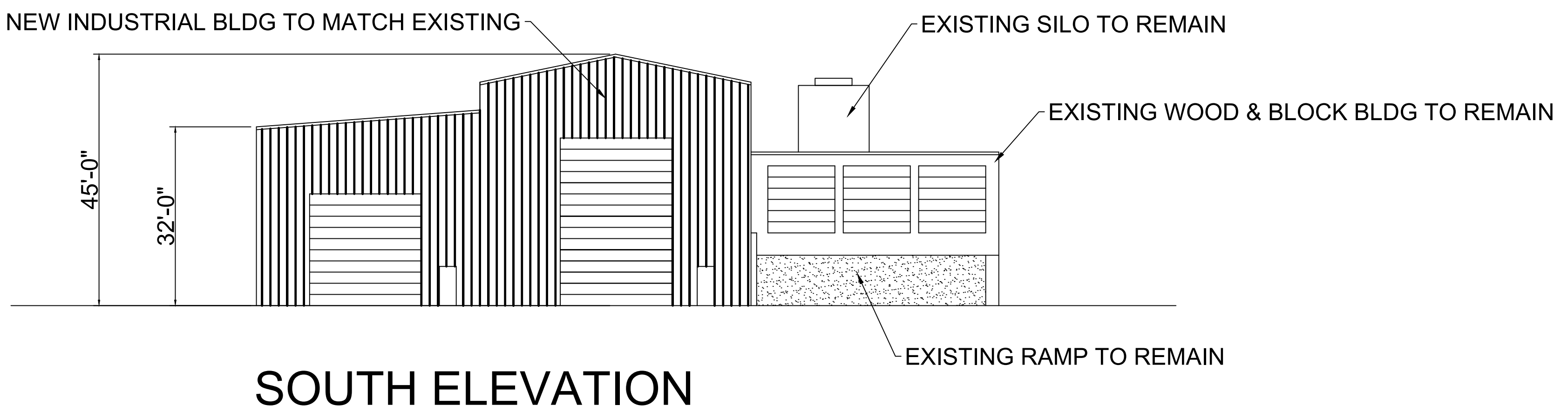
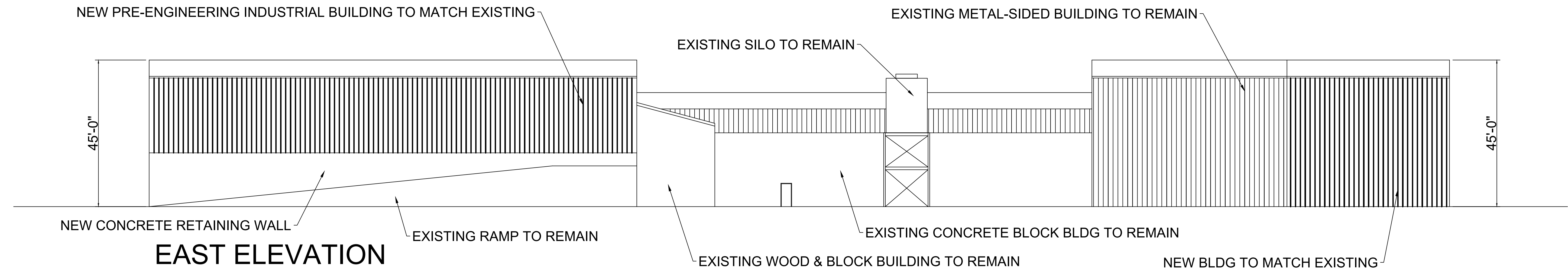


**WEST ELEVATION**

**PROPOSED ADDITION TO EXISTING INDUSTRIAL BUILDING**

**P-1**

CONNECTICUT PRECAST CORP. 555 FAN HILL ROAD, MONROE CT



**PROPOSED ADDITION TO EXISTING INDUSTRIAL BUILDING**

**P-2**

CONNECTICUT PRECAST CORP. 555 FAN HILL ROAD, MONROE CT