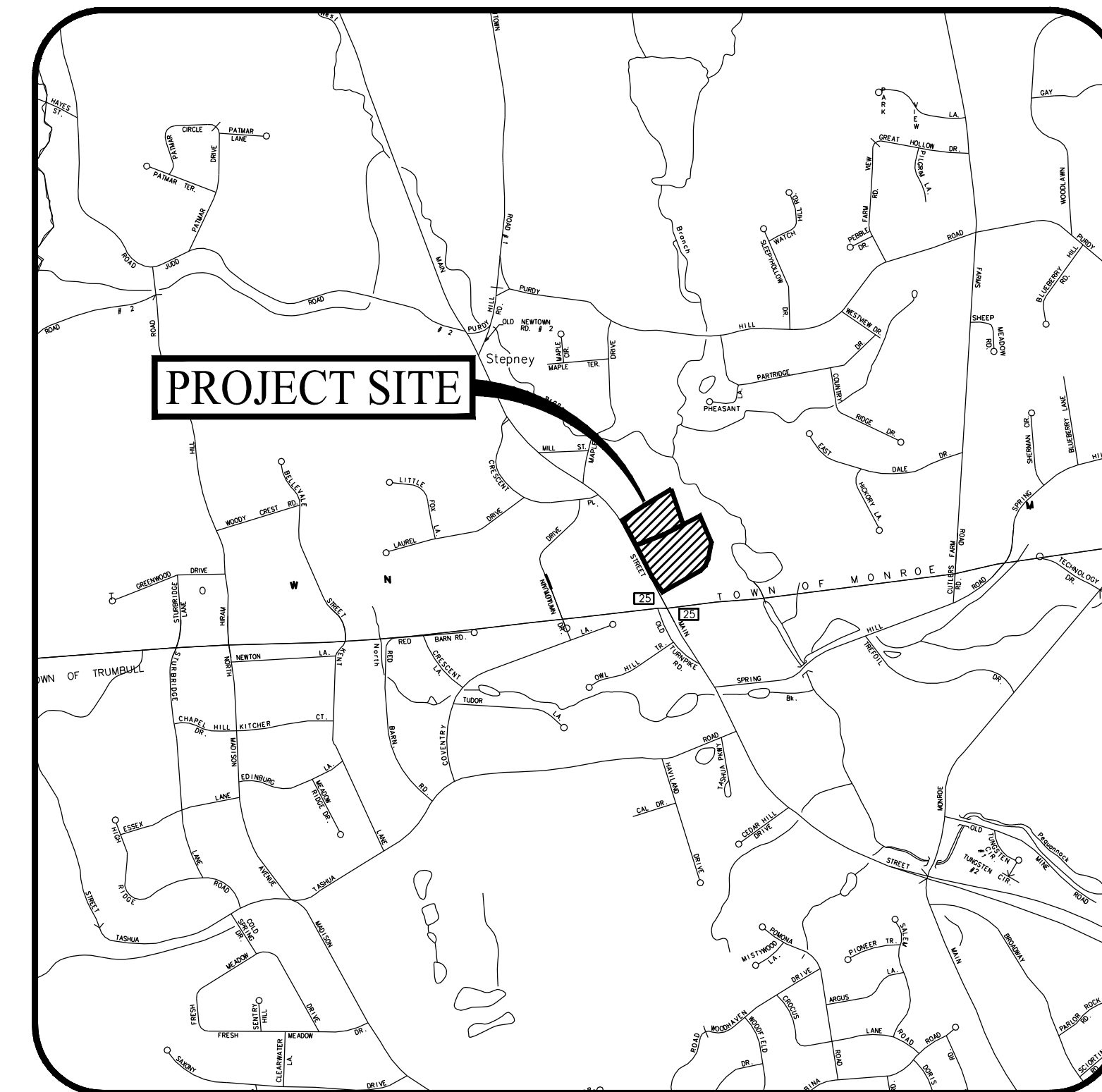


USGS MAP

SCALE: 1" = 1,500'

EXCAVATION/FILLING PERMIT APPLICATION

10 & 36 MAIN STREET
MONROE, CONNECTICUT



LOCATION MAP

SCALE: 1" = 1,500'

PREPARED FOR:

10 & 36 MAIN STREET LLC

16 CROSS STREET
NEW CANAAN, CT, 06840

PREPARED BY:



501 MAIN STREET, MONROE, CONNECTICUT 06468

OWNER/APPLICANT

10 & 36 MAIN STREET LLC
16 CROSS STREET
NEW CANAAN, CT, 06840

PROPERTY INFORMATION

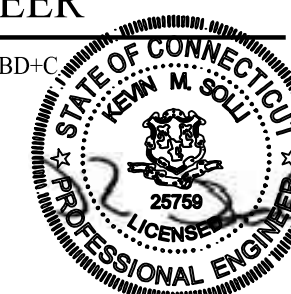
ADDRESS: 10 MAIN STREET, MONROE, CT, 06468
MAP-BLOCK-LOT: 004-036-00
ADDRESS: 36 MAIN STREET, MONROE, CT, 06468
MAP-BLOCK-LOT: 004-035-00

SITE/LANDSCAPE ARCHITECT

MARY BLACKBURN, P.L.A.,
LICENSE CT NO. 1499
SOLLI ENGINEERING, LLC
501 MAIN STREET
MONROE, CONNECTICUT 06468
(203) 880-5455

SITE/CIVIL ENGINEER

KEVIN SOLLI, P.E., CPESC, LEED AP BD+C
LICENSE NO. 25759
SOLLI ENGINEERING, LLC
501 MAIN STREET
MONROE, CONNECTICUT 06468
(203) 880-5455



SOIL SCIENTIST

WILLIAM KENNY ASSOCIATES
ECOLOGICAL SERVICES
195 TUNXIS HILL CUTOFF SOUTH
FAIRFIELD, CT 06825
(203) 366-0588

SURVEYOR OF RECORD

BRYAN NESTERIAK, PE, LS
LICENSE NO. 23556
ACCURATE LAND SURVEYING
15 RESEARCH DR.
WOODBIDGE, CONNECTICUT 06483
(203) 881-8145

DRAWING LIST

CIVIL PLAN SET

SHEET #	SHEET NAME	PLAN DATE	LATEST REVISION
0.00	COVER SHEET	07/26/21	09/15/21
1 of 1	PROPERTY SURVEY	05/21/21	09/15/21
1.40	SITE AREA MAP	07/26/21	09/15/21
2.21	GRADING & SOIL EROSION CONTROL PLAN	07/26/21	09/15/21
2.31	SOIL EROSION CONTROL PHASING PLAN	09/15/21	N/A
2.61	RECLAMATION PLAN	07/26/21	09/15/21
2.80	CROSS SECTION LOCATION PLAN	07/26/21	09/15/21
2.81	SITE CROSS-SECTIONS	07/26/21	09/15/21
2.82	SITE CROSS-SECTIONS	07/26/21	09/15/21
2.83	SITE CROSS-SECTIONS	07/26/21	09/15/21
3.01	DETAIL SHEET	07/26/21	09/15/21

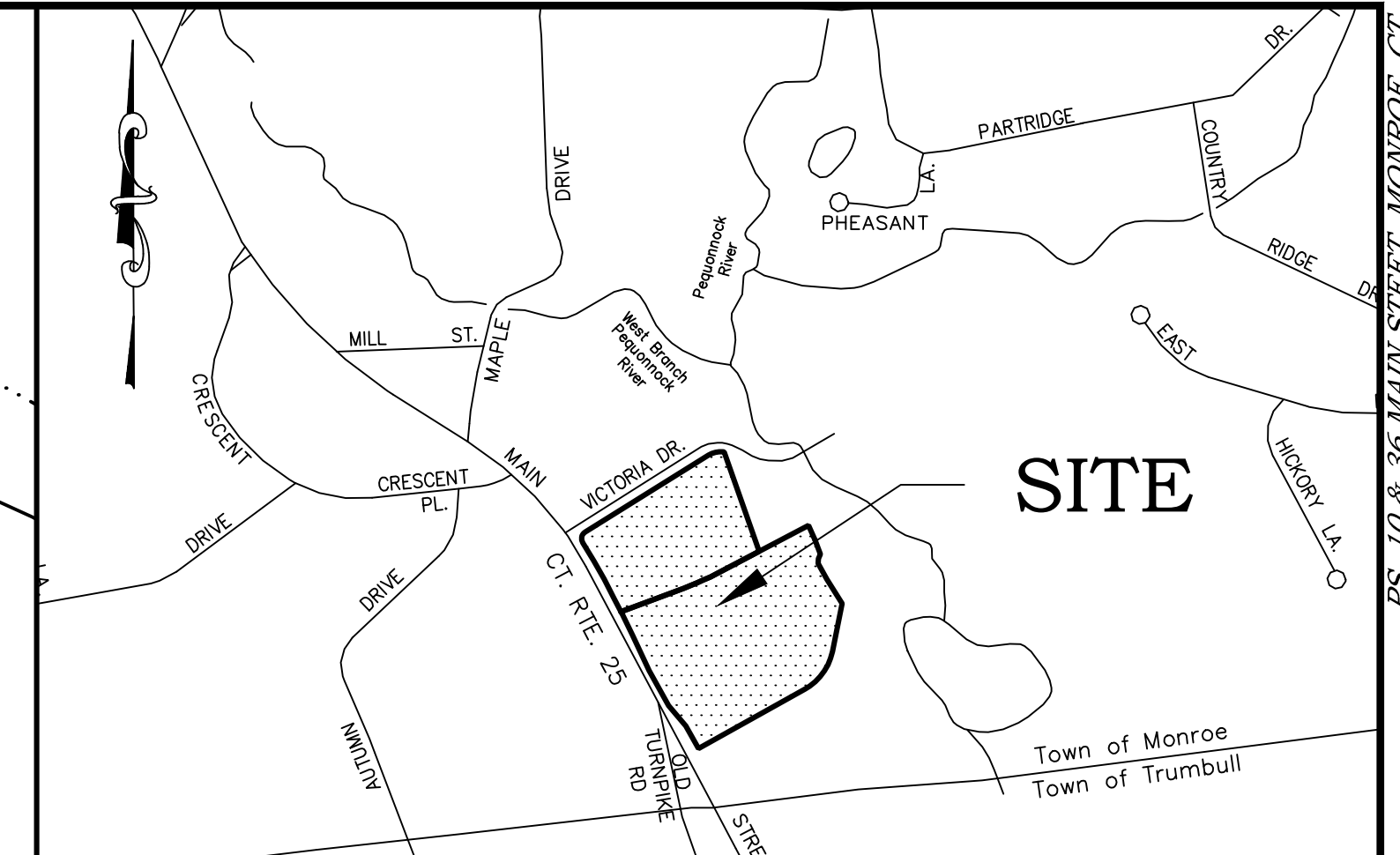
(INCLUDED AS PART OF PLANNING AND ZONING APPLICATION ONLY)

SHEET #	SHEET NAME	PLAN DATE	LATEST REVISION
PDP	POTENTIAL DEVELOPMENT PLAN	07/26/21	N/A

Rev. #:	Date	Description
1	09/15/21	RESPONSE TO IWC COMMENTS

Project:
**EXCAVATION/FILLING
PERMIT APPLICATION**
10 & 36 MAIN STREET
MONROE, CONNECTICUT

Sheet Title: COVER SHEET	Sheet #: 0.00
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LOCATION MAP
SCALE: 1"=800'

GENERAL SURVEY NOTES

1. THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATION OF CONNECTICUT STATE AGENCIES, SECTION 20-306b-1 THROUGH 20-306b-20, EFFECTIVE OCTOBER 26, 2016, AND THE MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC.
2. THE BOUNDARY DETERMINATION SHOWN HEREON IS CONSIDERED A RESURVEY.
3. THE SURVEY CONFORMS TO HORIZONTAL CLASS A-2 ACCURACY STANDARDS BASED ON NAD83. VERTICAL DATA CONFORMS TO CLASS T-2 STANDARDS. VERTICAL & HORIZONTAL CONTROL OBTAINED FROM COT DOT BENCHMARK C-1 FROM MAP REFERENCE 3.4. VERTICAL COMPONENT OF BENCHMARK WAS BASED ON NGVD OF 1929. VALUE WAS CONVERTED TO NAVD OF 1988 BY USING THE VERTCON APPLICATION PROVIDED BY THE NATIONAL GEODETIC SERVICE.
4. THIS IS A PROPERTY. THE PURPOSE OF WHICH IS TO SHOW EXISTING CONDITIONS.
5. PROPERTIES ARE ALSO KNOWN AS TOWN OF MONROE TAX LOTS 35 AND 36 ON ASSESSORS MAP 4.
6. TOTAL AREA: 10 MAIN STREET = 397,841.9 SQ.FT. OR 9.133 ACRES
36 MAIN STREET = 227,442.5 SQ.FT. OR 5.221 ACRES
7. PROPERTIES LIE IN ZONING DISTRICT B-2.
8. A PORTION OF 10 MAIN STREET LIES WITH MULTIPLE FLOOD ZONES, ZONE X (0.2% ANNUAL CHANCE FLOOD HAZARD) AND ZONE AE (1% ANNUAL CHANCE FLOOD HAZARD). A PORTION OF 36 MAIN STREET LIES WITHIN FLOOD ZONE X (0.2% ANNUAL CHANCE FLOOD HAZARD). ALL ARE SHOWN ON FEMA FIRM MAP 090002087, EFFECTIVE DATE JUNE 18, 2010.
9. FEMA FLOOD LINES, BASE FLOOD ELEVATIONS AND CROSS SECTIONS ARE DEPICTED FROM THE MFL COUNTY DATA MAP AVAILABLE FOR DOWNLOAD.
10. THE LOCATION OF UNDERGROUND UTILITIES, OTHER THAN DEPICTED HEREON, IF ANY, IS UNKNOWN.
11. WETLANDS DELINEATED BY WILLIAM KENNY ASSOCIATES, LLC ON APRIL 22, 2021. FLAGS WERE LOCATED VIA CONVENTIONAL SURVEY METHODS.

MAP REFERENCES

1. PLAN ENTITLED: "BOUNDARY MAP OF PROPERTY OWNED BY THE BRIDGEPORT CHILDREN'S CAMP INC. MONROE/TRUMBULL, CONNECTICUT." SCALE: 1"=100'. DATED MARCH 10, 1983. RECEIVED FOR RECORD ON JUNE 4, 1983. PREPARED BY J&D KASPER & ASSOCIATES, ENGINEERS, SURVEYORS, PLANNERS, BRIDGEPORT, CONNECTICUT.
2. PLAN ENTITLED: "BOUNDARY SURVEY PREPARED FOR AMERICAN TRADING REAL ESTATE PROPERTIES INCORPORATED, MAIN STREET (ROUTE 25) MONROE/TRUMBULL, CT." SCALE: 1"=100'. DATED AUGUST 30, 1998. PREPARED BY COSEBOTHAM & ASSOCIATES, LANDSCAPE ARCHITECTURE ENGINEERING SURVEYING, 3060 MAIN STREET, SUITE 201 STRATFORD, CT 06497. JOB #2182.
3. PLAN ENTITLED: "MAP OF PROPERTY IN MONROE, CONNECTICUT. PREPARED FOR LOUIS M. & JOHN H. SNYDER." SCALE: 1"=40'. DATED OCTOBER 9, 1963. RECEIVED FOR RECORD ON OCTOBER 25, 1963. CERTIFIED SUBSTANTIALLY CORRECT BY FRANK C.P. ENGINEER & SURVEYOR. MAP #594.
4. MAP ENTITLED: "BOUNDARY MAP #10 MAIN STREET PREPARED FOR ENSR/AECOM MONROE, CONN." SCALE: 1"=40'. DATED OCTOBER 2, 2008. PREPARED BY AEC/SLUMMAN LAND SURVEYING, PC, 1379 MAIN STREET EAST HARTFORD, CONN. 06108. MAP NO. 208062-1.
5. PLAN ENTITLED: "RESUBDIVISION PLAN OF 2 VICTORIA DRIVE, MONROE, CONNECTICUT. PREPARED FOR KIMBALL LAND HOLDINGS, LLC & KIMBALL DEVELOPMENT, LLC, 523 PEPPER STREET, MONROE, CT 06468. (SHEET 1 OF 3, 2 OF 3 & 3 OF 3) DATED: 04/04/14, REVISED ON 11/12/15. SCALE: 1"=60'. PREPARED BY ACCURATE LAND SURVEYING, ON FILE IN THE TOWN OF MONROE CLERK'S OFFICE AS MAPS 3144A, 3144B AND 3144C.
6. PLAN ENTITLED: "RESUBDIVISION PLAN OF 2 VICTORIA DRIVE, MONROE, CONNECTICUT. PREPARED FOR KIMBALL LAND HOLDINGS, LLC & KIMBALL DEVELOPMENT, LLC, 523 PEPPER STREET, MONROE, CT 06468. (SHEET 1 OF 3, 2 OF 3, & 3 OF 3) DATED: 04/04/14, REVISED THRU:06/23/15. SCALE: 1"=60'. PREPARED BY ACCURATE LAND SURVEYING, ON FILE IN THE TOWN OF MONROE LAND RECORDS AS MAPS 3128A, 3128B AND 3128C.
7. PLAN ENTITLED: "ZONE CHANGE MAP OF 2 VICTORIA DRIVE & 10-26 MAIN STREET, MONROE, CONNECTICUT. PREPARED FOR KIMBALL LAND HOLDINGS, LLC & KIMBALL DEVELOPMENT, LLC & 10 MAIN STREET, LLC, 1428 MONROE TURNPIKE, MONROE, CT 06468. DATED: 10/14/14. REVISED THRU:01/08/18. SCALE: 1"=100'. PREPARED BY ACCURATE LAND SURVEYING, ON FILE IN THE TOWN OF MONROE LAND RECORDS AS MAP 3127.
8. PLAN ENTITLED: "LOT LINE REVISION PLAN OF 2 VICTORIA DRIVE & 10&36 MAIN STREET, MONROE, CONNECTICUT. PREPARED FOR 10 MAIN STREET, LLC, KIMBALL DEVELOPMENT, LLC & KIMBALL LAND HOLDINGS, LLC. DATED: 5/5/2015, ON FILE IN THE TOWN OF MONROE LAND RECORDS AS MAP 3120.
9. PLAN ENTITLED: "LOT LINE REVISION PLAN OF 2 VICTORIA DRIVE & 10&36 MAIN STREET, MONROE, CONNECTICUT. PREPARED FOR 10 MAIN STREET, LLC, KIMBALL DEVELOPMENT, LLC & KIMBALL LAND HOLDINGS, LLC. DATED: 5/14/2015, ON FILE IN THE TOWN OF MONROE LAND RECORDS AS MAP 3121.

No.	Date	REVISION DESCRIPTION
1.	9/15/2021	ADDED FEMA FLOOD INFORMATION



PROPERTY SURVEY

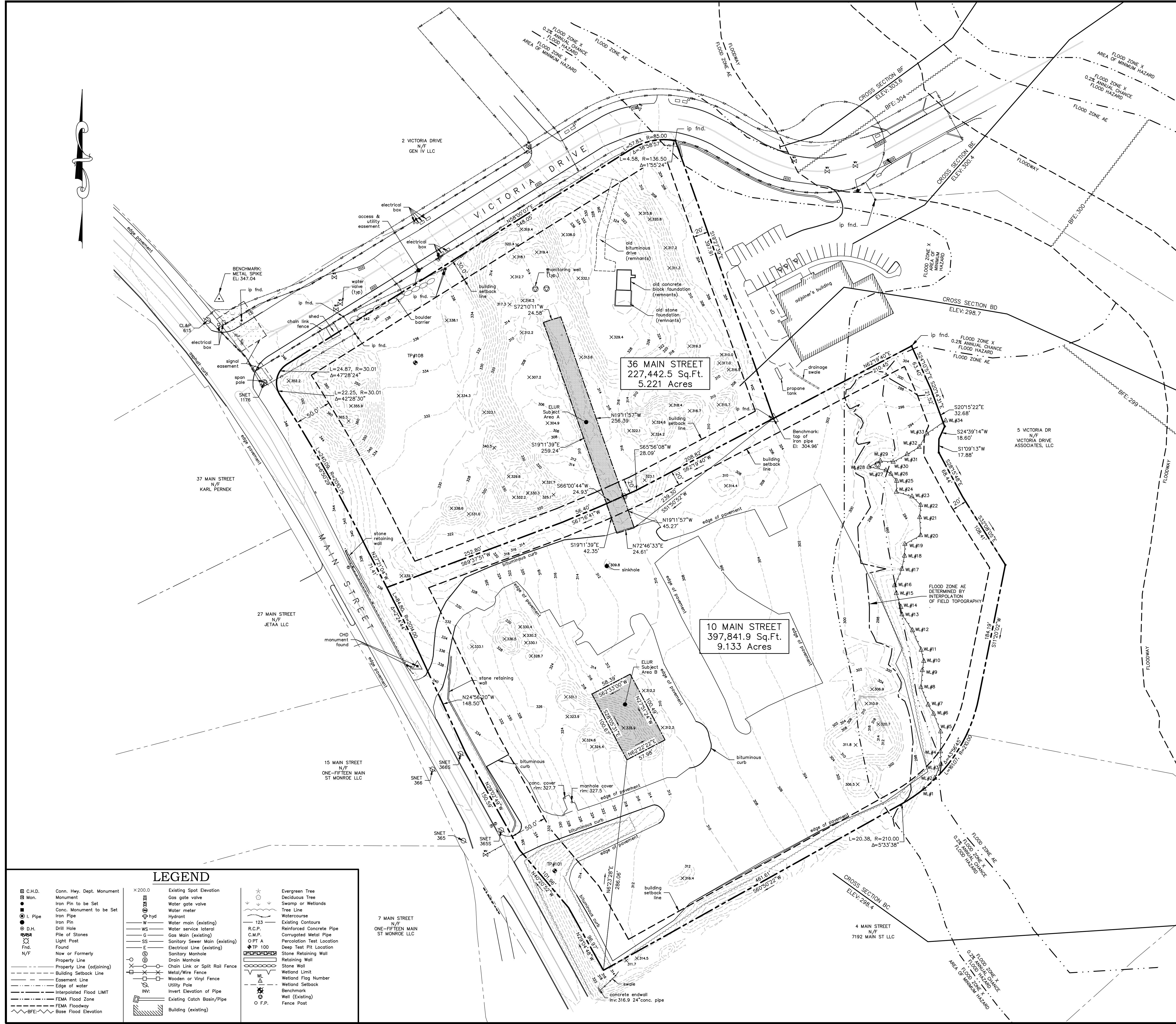
OF
10 & 36 MAIN STREET
MONROE, CONNECTICUT

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Date 5/21/2021
Scale 1"=60'
Job No. 397
Drawing No. 1 of 1

BRYAN P. NESTERAK, PE, LS 23556

THIS DOCUMENT, THE IDEAS, AND DESIGN INCORPORATED HEREON IS AN INSTRUMENT OF PROFESSIONAL SERVICE AND THE PROPERTY OF ACCURATE LAND SURVEYING, LLC. AND IS NOT TO BE REPRODUCED OR USED IN WHOLE OR IN PART FOR ANY EXTENSION OF THIS PROJECT OR FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF ACCURATE LAND SURVEYING, LLC.



LEGEND

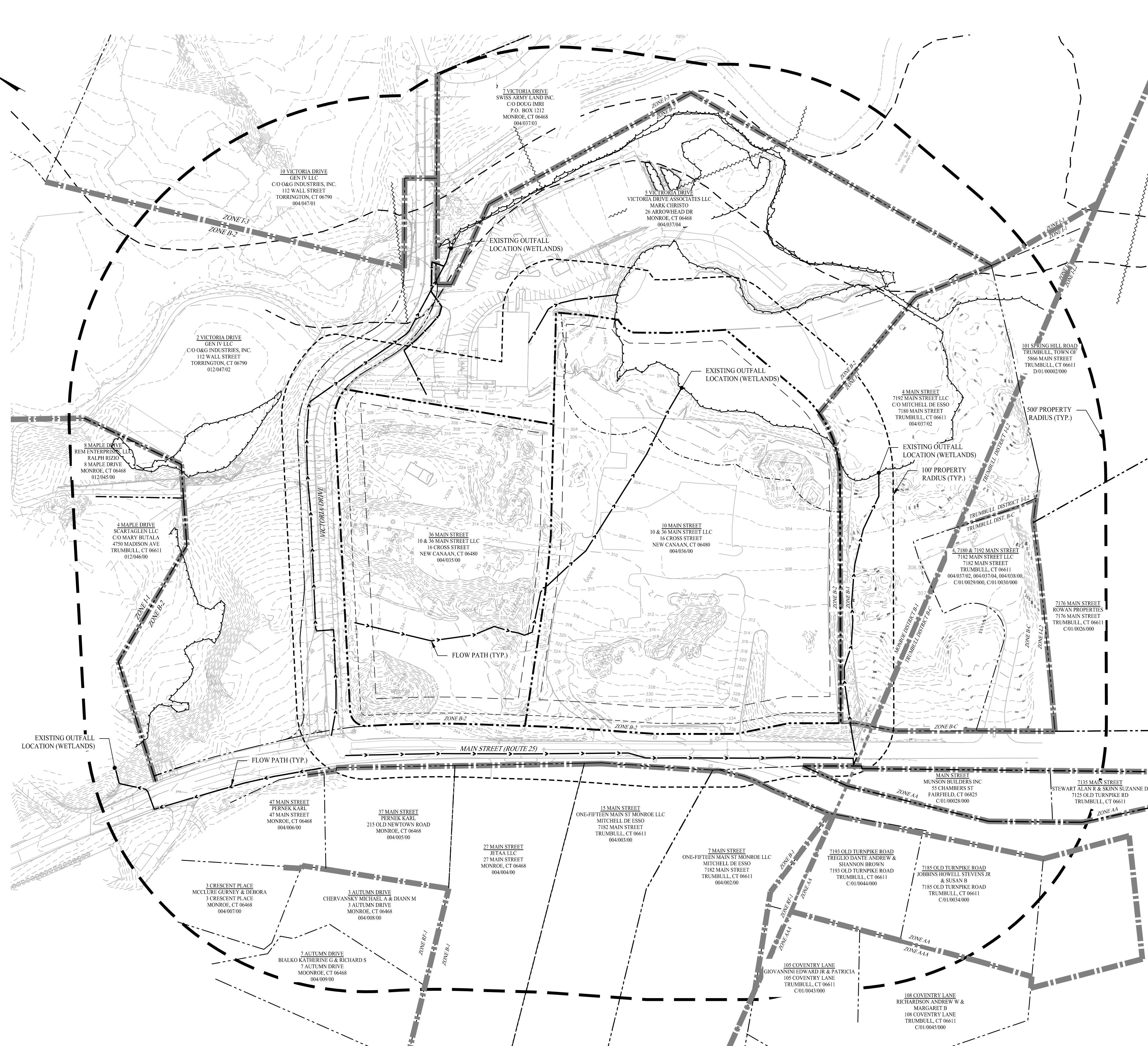
<ul style="list-style-type: none"> ■ C.H.D. ● Mon. ■ Iron Pin to be Set ■ Conc. Monument to be Set ● I. Pipe ● Iron Pin ● D.H. ● Pile of Stones ● Light Post ● Fnd. ○ New or Formerly ○ Property Line ○ Property Line (adjoining) ○ Building Setback Line ○ Easement Line ○ Edge of water ○ Interpolated Flood LIMIT ○ FEMA Flood Zone ○ FEMA Floodway ○ BFE 	<ul style="list-style-type: none"> ×200.0 Existing Spot Elevation ⊕ Gas gate valve ⊕ Water gate valve ⊕ Water meter ⊕ Hyd. ⊕ Hydrant — W — Water main (existing) — WS — Water service lateral — G — Gas Main (existing) — SS — Sanitary Sewer Main (existing) — E — Electrical Line (existing) ○ Sanitary Manhole ○ Drain Manhole ○ Chain Link or Split Rail Fence ○ Metal/Wire Fence ○ Wooden or Vinyl Fence ○ Utility Pole ○ INV. Invert Elevation of Pipe ○ Existing Catch Basin/Pipe ○ Building (existing) 	<ul style="list-style-type: none"> ● Evergreen Tree ● Deciduous Tree ● Swamp or Wetlands ● Tree Line ● Watercourse — 123 — Existing Contours — R.C.P. — Reinforced Concrete Pipe — C.M.P. — Corrugated Metal Pipe — P.T.A. — Percolation Test Location — 100 — Deep Test Pit Location ○ Sanitary Manhole ○ Drain Manhole ○ Stone Retaining Wall ○ Stone Wall ○ Wetland Limit ○ Wetland Flag Number ○ Wetland Setback ○ Benchmark ○ Well (Existing) ○ Fence Post
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GENERAL NOTES

- EXISTING SITE CONDITIONS TAKEN FROM A PLAN ENTITLED "IMPROVEMENT LOCATION SURVEY PREPARED FOR VISHAY SPRAGUE, INC. 10 & 36 MAIN STREET, MONROE, CONNECTICUT", DATED: MAY 21, 2021; SCALE: 1" = 60'; PREPARED BY ACCURATE LAND SURVEYING, LLC.
- EXISTING SITE CONDITIONS TAKEN FROM A PLAN ENTITLED "ZONING LOCATION SURVEY OF 10 & 36 MAIN STREET, MONROE, CONNECTICUT", PREPARED FOR TEN MAIN STREET, LLC, DATED: DECEMBER 10, 2015; SCALE: 1" = 60'; PREPARED BY ACCURATE LAND SURVEYING, LLC.

LEGEND

	PROPERTY LINE
	ZONE LINE
	RIGHT-OF-WAY LINE
	TOWN LINE
	100' RADIUS FROM PROPERTY
	500' RADIUS FROM PROPERTY
	FLOW PATH



1	09/15/21	RESPONSE TO IWC COMMENTS
Rev. #:	Date	Description



SOLLI ENGINEERING
 501 Main Street, Monroe, CT 06468 T: (203) 880-5455 F: (203) 880-9695
 351 Newbury Street, Boston, MA 02115 T: (617) 203-3160 F: (203) 880-9695

Drawn By:	MDM
Checked By:	LAM
Approved By:	KMS
Project #:	2008001
Plan Date:	07/26/21
Scale:	1" = 100'



EXCAVATION/FILLING PERMIT APPLICATION
 10 & 36 MAIN STREET
 MONROE, CONNECTICUT

Sheet Title:	Sheet #:
SITE AREA MAP	1.40

Sep 15, 2021 - 1:57pm mmonaco
 X:\SE Files\Project Data\2021\2008001 - 10 & 36 Main Street - Monroe, CT\Cadd Data\Excavation and Fill Permit\2008001-1.40.dwg

EROSION CONTROL AND SEDIMENT CONTROL NOTES

- PRIOR TO THE START OF CONSTRUCTION, A PRECONSTRUCTION MEETING WITH THE ENGINEER AND THE TOWN OF MONROE AND USE STAFF IS REQUIRED.
- ACTUAL LOCATIONS AND APPLICATIONS OF EROSION CONTROL DEVICES SHALL BE DETERMINED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION BASED ON THE EROSION AND SEDIMENT CONTROL STRATEGY. THE STRATEGY WILL REQUIRE THE CONTRACTOR TO PROVIDE APPROPRIATE CONTROLS SUCH AS STRUCTURAL PRACTICES, MAINTENANCE, AND STABILIZATION PRACTICES ALONG WITH THE PROPER DISCHARGE OR DEWATERING WASTEWATERS.
- LIMITS OF DISTURBANCE SHALL BE FLAGGED IN THE FIELD BY A LICENSED SURVEYOR AND VERIFIED PRIOR TO INITIATION OF CONSTRUCTION.
- EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED PRIOR TO ANY FILLING. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATIONS OF THE STATE OF CT DEEP "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" HANDBOOK, AND 2003 CONNECTICUT STORMWATER QUALITY MANUAL. CONTROL DEVICES CONTINGENT ON INSPECTION APPROVAL BY THE TOWN OF MONROE LAND USE STAFF.
- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED, FUNCTIONING, AND INSPECTED BY THE TOWN OF MONROE AND USE STAFF PRIOR TO ANY SITE DISTURBANCE. ADDITIONAL MEASURES MAY BE REQUIRED DURING THE COURSE OF CONSTRUCTION AND SHALL BE IMPLEMENTED AS NEEDED. ALL SEDIMENT AND EROSION CONTROL MEASURES ARE TO BE INSPECTED PRIOR TO A HEAVY RAIN, IMMEDIATELY AFTER AND AT LEAST DAILY DURING PROLONGED RAIN EVENTS. ANY AND ALL DEFICIENCIES MUST BE CORRECTED WITHIN 24 HOURS OF DISCOVERY.
- ALL GRADED AREAS WITH SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL SHALL BE STABILIZED WITH JUTE NETTING.
 - LAND GRADING:
 - AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED AND STRIPPED OF UNSUITABLE MATERIAL.
 - ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION SLIPPAGE, SETTLEMENT, SUBSIDENCE, OR OTHER RELATED PROBLEMS.
 - MATERIAL SHALL BE FREE OF BRUSH, RUBBISH, ROCKS LOGS, STUMPS, BUILDING DEBRIS AND OTHER UNSUITABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
 - WHEN ALL GRADED AREAS ARE PERMANENTLY STABILIZED, REMOVE ALL EROSION AND SEDIMENT CONTROL DEVICES. AFTER ALL REMOVAL, INSPECTION TO BE PERFORMED BY TOWN OF MONROE LAND USE STAFF.
 - IT SHALL BE THE RESPONSIBILITY OF THE SITE DEVELOPMENT CONTRACTOR TO ENSURE PROPER IMPLEMENTATION OF THE SOIL EROSION AND SEDIMENT CONTROLS AS SHOWN ON THIS PLAN, AND SHALL INCLUDE BUT NOT BE LIMITED TO INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES OF SUCH REQUIREMENTS AND NOTIFICATIONS OF ANY TRANSFER OF THIS RESPONSIBILITY TO OTHER PARTIES. CONTRACTOR: STUART RUDKIN, CONTACT NUMBER: (203) 505-1376.
 - ANY DISTRIBUTION AREA AND PILES PLANNED TO BE LEFT MORE THAN 14 DAYS WILL

- HAVE TO BE SEED OR MULCH IMMEDIATELY WHEN ALL SURFACES ARE PERMANENTLY STABILIZED. ANY REMAINING SEDIMENT AND EROSION CONTROL DEVICES SHALL BE REMOVED AND ALL TRAPPED SEDIMENT SHALL BE REMOVED. ALL CATCH BASIN Sumps SHALL BE CLEARED.
- CONSTRUCTION ACTIVITIES AT THE PROJECT SITE WILL RESULT IN EMISSIONS OF FLIGHTY DUST TO THE ATMOSPHERE. THE QUANTITY OF FLIGHTY DUST GENERATED WILL BE CONTROLLED BUT IS DEPENDENT UPON WEATHER CONDITIONS. FLIGHTY DUST PARTICLES HAVE A GREATER PROPENSITY TO BECOME AIRBORNE DURING DRY AND BREEZY METEOROLOGICAL CONDITIONS. CONSTRUCTION ACTIVITIES AT THE SITE WHICH WILL RESULT IN PILES AND CONSTRUCTION TRAFFIC. THE CONTRACTOR WILL IMPLEMENT THE FOLLOWING REASONABLE PRECAUTIONS DURING CONSTRUCTION TO MINIMIZE THE GENERATION OF FLIGHTY DUST:
 - USE WATER FOR DUST CONTROL OF ACTIVE CONSTRUCTION AREAS, ACTIVE UNPAVED ROADS, AND OTHER SURFACES WHICH CAN FIVE RISE TO AIRBORNE DUST. A TYPICAL PRACTICE TO BE FOLLOWED DURING SITE GRADING WILL BE TO FOLLOW THE EARTH MOVING EQUIPMENT WITH A WATER TRUCK TO IMMEDIATELY WET THE NEW DISTURBED AREA.
 - APPLY SEED FOR A VEGETATIVE COVER ON STORAGE PILES, ESPECIALLY THOSE THAT WILL REMAIN DORMANT FOR AN EXTENDED PERIOD.
 - THE CONTRACTOR MUST CLEAN SWEEP DAILY ALL ON-SITE PAVED ROADS AND THAT PORTION OF ANY SURROUNDING ROADS WHICH ARE USED BY CONSTRUCTION TRAFFIC, FOR THE DURATION OF THE PROJECT.
 - INSTITUTE A MAXIMUM ON-SITE SPEED LIMIT OF 10 MILES PER HOUR.
 - THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL DURING THE CONSTRUCTION PROCESS. THE CONSTRUCTION MANAGER SHALL INSPECT THE SITE TO ASSURE DUST IS ADEQUATELY CONTROLLED. IF THE CONSTRUCTION MANAGER OR OWNERS REPRESENTATIVE FEELS DUST CONTROL MEASURES ARE NOT ADEQUATE THE CONTRACT SHALL BE REQUIRED TO INCREASE THESE MEASURES AS DIRECTED BY THE CONSTRUCTION MANAGER.
 - ALL CONSTRUCTION ACTIVITIES SHALL COMPLY WITH THE TOWN OF MONROE ZONING REGULATIONS.
 - A STORMWATER MANAGEMENT SYSTEM MAINTENANCE SCHEDULE SHALL BE IMPLEMENTED AND OFFICIALLY RECORDED BY THE INDIVIDUAL IDENTIFIED IN NOTE 8 ABOVE. THE SCHEDULE SHALL INCLUDE AS A MINIMUM:
 - ALL ELEMENTS OF THE STORMWATER MANAGEMENT SYSTEM SHALL BE INSPECTED WEEKLY, AND AFTER ANY STORM EVENT GENERATING MORE THAN 0.5 INCHES OF RAIN.
 - A WEEKLY INSPECTION OF THE SITE SHALL BE CONDUCTED FOR SURFACE DEBRIS.
 - A MONTHLY INSPECTION OF ALL STORMWATER STRUCTURES AND OUTFALLS SHALL BE CONDUCTED FOR FLOATING OR SURFACE DEBRIS.
 - STRUCTURES AND OUTFALLS SHALL BE CLEARED OF SEDIMENT AND DEBRIS AT LEAST ONCE A YEAR DURING THE MONTH OF APRIL AND AT OTHER TIMES AS NECESSARY TO PREVENT THE DISCHARGE OF POLLUTANTS FROM STRUCTURES OR OUTFALLS.
 - ALL DRIVES SHALL BE SWEEP CLEAN OF SAND, LITTER AND OTHER POSSIBLE

EQUIPMENT INFORMATION

- 2 LARGE EXCAVATORS 300-400 SIZE
- 1 SMALL EXCAVATOR 60-80 SIZE
- 1 TRACK DOZER 450-750 SIZE
- 2 WHEEL LOADERS WA 500 SIZE
- 2 34 TON TRAILER DUMP TRUCKS
- 2 VIBRATORY COMPACTOR ROLLERS
- 1 105,000 LB JAW CRUSHER
- 1 80' STACKING CONVEYOR

APPROXIMATELY 167,945 CUBIC YARD OF MATERIAL WILL BE IMPORTED. USING A CONVERSION RATE OF 1.37 TON/CY AND A MAXIMUM LOADING RATE OF 24 TON/TRUCK, APPROXIMATELY 9,587 TRUCK LOADS OF FILL WILL BE IMPORTED TO THE PROPERTY.

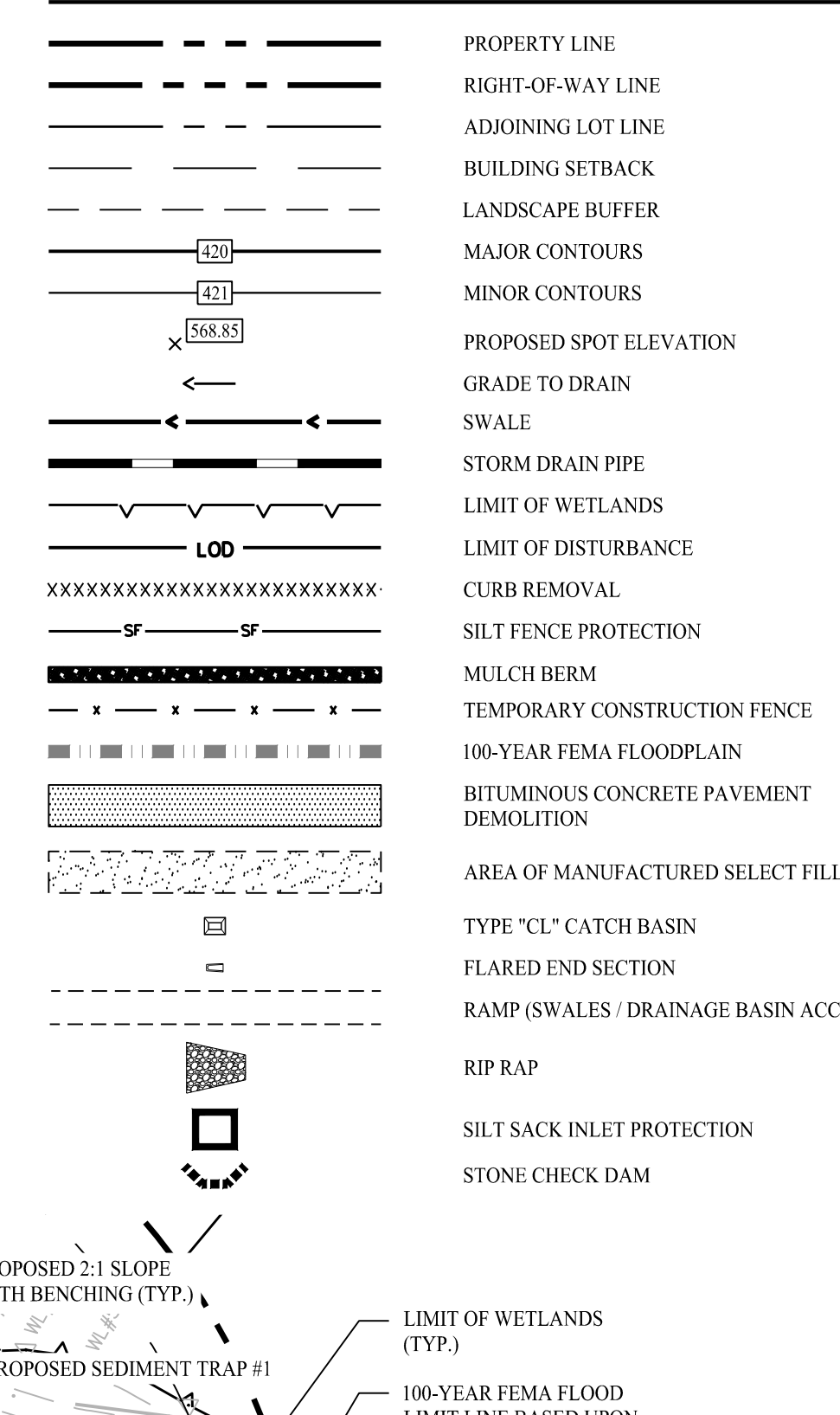
PLANNING & ZONING WAIVERS REQUIRED

- §6-49 C - NO CHANGE IN CONTOUR SHALL BE MADE WITHIN TWENTY-FIVE (25) FEET OF ANY PROPERTY LINE.
 - §6-49 D - NO ARTIFICIAL SLOPE GREATER THAN FOURTEEN DEGREES (14°) TO THE HORIZONTAL (OR MAXIMUM FOUR FEET HORIZONTAL TO ONE FOOT VERTICAL) SHALL BE CREATED WITHIN FIFTY FEET OF ANY PROPERTY LINE.
 - §6-49 P - NO SORTING, GRADING, CRUSHING OR OTHER MACHINERY FOR TREATMENT OR PROCESSING OF MATERIAL BEING REMOVED OR DEPOSITED SHALL BE ERRECTED, MAINTAINED OR OPERATED ON THE PREMISES FOR WHICH A PERMIT MAY BE GRANTED, EXCEPT IN AN INDUSTRIAL DISTRICT OR IN ALL OTHER DISTRICTS WHERE CONTROLLED ROCK CRUSHING, SCREENING AND PROCESSING MAY BE PERMITTED BY THE COMMISSION ON A LIMITED SHORT DURATION BASIS AS PART OF SITE DEVELOPMENT AND CONSTRUCTION PREPARATION.
- (1) SUCH CONTROLLED ACTIVITIES WILL REDUCE CONSTRUCTION TRAFFIC BY USE OF MATERIALS ON-SITE.
 (2) SUCH CONTROLLED ACTIVITIES WILL NOT INVOLVE MINING OR EXCAVATION OF MORE THAN NECESSARY TO ACHIEVE SITE PREPARATION OF AN APPROVED PROJECT.
 ALL PERMITTED SUCH ACTIVITIES REGARDLESS OF PERMITTED LOCATION SHALL NOT INCLUDE, PERMIT OR INVOLVE MATERIALS FROM OFFSITE LOCATIONS.

CONSTRUCTION SCHEDULE

THE ANTICIPATED STARTING DATE FOR CONSTRUCTION IS FALL 2021 WITH COMPLETION ANTICIPATED BY FALL 2023. APPROPRIATE EROSION CONTROL MEASURES AS DESCRIBED HEREIN, SHALL BE INSTALLED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF ALL SITE CLEARING OR CONSTRUCTION ACTIVITY. SCHEDULE WORK TO MINIMIZE THE LENGTH OF TIME THAT BARE SOIL WILL BE EXPOSED.

LEGEND



GENERAL NOTES

- EXISTING SITE CONDITIONS TAKEN FROM A PLAN ENTITLED "IMPROVEMENT LOCATION SURVEY PREPARED FOR VISHAY SPRAGUE" BY ACCURATE LAND SURVEYING, LLC, DATED: MAY 21, 2021, SCALE: 1" = 60'. PREPARED BY ACCURATE LAND SURVEYING, LLC.
- THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS.
- TOPSOIL SHALL BE STRIPPED AND STOCKPILED ON-SITE FOR USE IN FINAL LANDSCAPING.
- CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD AND APPROVED BY THE TOWN OF MONROE PRIOR TO THE START OF WORK ON THE SITE. NO CONSTRUCTION ACTIVITY, STORAGE OF VEHICLES, EQUIPMENT AND MATERIALS IS TO OCCUR BEYOND THE APPROVED LOD.
- ALL DISTURBANCE INCURRED TO TOWN PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER, TO THE SATISFACTION OF THE TOWN OF MONROE.
- REFER TO SHEET 3.01 FOR CONSTRUCTION AND EROSION CONTROL MEASURE DETAILS.
- NO OPERATIONS SHALL BE UNDERTAKEN ON THE SITE EXCEPT BETWEEN THE HOURS OF 8:00 AM AND 5:00 PM MONDAY THROUGH FRIDAY, EXCEPT WITH APPROVAL OF THE COMMISSION. THERE SHALL BE NO BLASTING ON THE SITE. NO ACTIVITY OF ANY TYPE SHALL BE CONDUCTED ON ANY LEGAL HOLIDAY DECLARED BY THE GOVERNMENT OF THE STATE OF CONNECTICUT OR THE UNITED STATES. TRUCK TRAFFIC IS LIMITED TO BETWEEN 9:00 AM AND 4:00 PM DAILY.
- ALL PERMITS SHALL PROVIDE ENGINEERING PROGRESS REPORTS PREPARED BY A LICENSED CIVIL ENGINEER ON A QUARTERLY BASIS. ADDITIONALLY, THE COMMISSION MAY AT ANY TIME DURING THE PERMIT DURATION REQUIRE AN ENGINEERING PROGRESS REPORT FROM THE PERMITTEE. TO BE MADE BY A LICENSED CIVIL ENGINEER. IF SUCH REPORT IS NOT RECEIVED BY THE COMMISSION WITHIN THIRTY (30) DAYS FROM THE DATE OF SUCH REQUEST, THE COMMISSION MAY ENGAGE A PROFESSIONAL ENGINEER OR LAND SURVEYOR TO DETERMINE COMPLIANCE WITH THE TERMS OF THIS REGULATION AND ALL EXPENSES IN CONNECTION THEREWITH SHALL BE PAID BY THE PERMITTEE.
- ALL DISTURBANCE INCURRED TO TOWN PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER, TO THE SATISFACTION OF THE TOWN OF MONROE.
- RE-SPREAD IN ACCORDANCE WITH THE APPROVED CONTROL LINES WITHIN THIRTY (30) DAYS FOLLOWING THE EXPIRATION OR REVOCATION OF THE PERMIT OR COMPLETION OF THE WORK, WHICHEVER OCCURS EARLIER.
- ALL MEASUREMENTS SHALL BE TAKEN TO MINIMIZE THE NUISANCE OF NOISE AND FLYING DUST OR ROCK AND LIGHTING.
- UPON COMPLETION OF THE SITE FILLING/EXCAVATION ACTIVITIES, THE FINAL CONDITION OF THE REMAINING SITE ACCESS TO BE IN THE FORM OF THE ANTI-TRACKING PAD AND THE FRONTAGE CONDITIONS ARE TO BE AS SPECIFIED ON THE RECLAMATION PLAN (SHEET 261).
- ALL FILL MATERIAL BROUGHT TO THE SITE SHALL CONFORM TO THE CT DEEP STANDARDS FOR "CLEAN FILL".
- HEREIN SHALL BE NO SIGNS PERMITTED FOR CUSTOMARY TRAFFIC CONTROL, SAFETY, AND NO TRASPASSING SIGNS AS MAY BE AUTHORIZED BY THE PLANNING AND ZONING ADMINISTRATOR.
- THE FLOODWAY, AS DESIGNATED BY FEMA, IS LOCATED OFF THE PROPERTY TO THE EAST.

CONSTRUCTION SEQUENCE

- INSTALL STABILIZED CONSTRUCTION ENTRANCE EXIT.
- INSTALL SILT FENCES ON THE SITE (CLEAR ONLY THOSE AREAS NECESSARY TO INSTALL SILT FENCE).
- PREPARE TEMPORARY PARKING AND STORAGE AREAS.
- HALT ALL ACTIVITIES AND CONTACT THE ENGINEER OF RECORD TO PERFORM INSPECTION AND CERTIFICATION OF BEST MANAGEMENT PRACTICES (BMPs). GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT THE STORM WATER PRE-CONSTRUCTION MEETING WITH THE ENGINEER, AGENCIES AND GROUND-DISTURBING CONTRACTOR BEFORE PROCEEDING WITH CONSTRUCTION.
- CONSTRUCT AND STABILIZE SEDIMENT BASIN AND SEDIMENT TRAPS WITH APPROPRIATE OUTFALL STRUCTURES (CLEAR ONLY THOSE AREAS NECESSARY TO INSTALL BASINS).
- REMOVE CLEARING AND GRUBBING THE SITE.
- INSTALL THE CONSTRUCTION TRAILER WITH SUPPORT UTILITIES, ELECTRIC, WATER, ETC.)
- REMOVE THE EXISTING BITUMINOUS CONCRETE PAVEMENT AND BITUMINOUS CONCRETE CURB.
- INSTALL ADDITIONAL EROSION CONTROLS AS WORK PROGRESSES, TOPSOIL AND SEED SLOPES WHICH HAVE ACHIEVED FINAL SITE GRADING.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
- THROUGHOUT CONSTRUCTION, REMOVE SEDIMENT FROM BEHIND SILT FENCES, MULCH BERMS AND OTHER EROSION CONTROL DEVICES, AND FROM SEDIMENTATION BASINS AND SEDIMENT TRAPS AS REQUIRED. REMOVAL SHALL BE ON A PERIODIC BASIS (EVERY SIGNIFICANT RAINFALL OF 0.10 INCH OR GREATER). INSPECTION OF EROSION CONTROL MEASURES SHALL BE CONDUCTED DAILY. IMMEDIATELY AFTER EACH RAINFALL OF 0.50 INCHES OR GREATER, SEDIMENT COLLECTED SHALL BE DEPOSITED AND SPREAD EVENLY UPLAND ON SLOPES DURING CONSTRUCTION.
- THROUGHOUT THE CONSTRUCTION SEQUENCE, PERIODIC INSPECTIONS SHALL BE INCORPORATED DURING THE PROCESSING OF THE EXCAVATION AND FILL PERMIT AT SPECIFIC MILESTONES PER TOWN STAFF DIRECTION, AND AT LEAST MONTHLY INSPECTIONS.
- CONDUCT FINE GRADING.
- FERTILIZE SEED AND MULCH SEED MIXTURE TO BE INSTALLED DURING THE SPRING OR FALL SEASON ONLY. USE EROSION CONTROL BLANKETS AS REQUIRED OR ORDERED FOR SLOPES GREATER THAN 3:1 AND AS SHOWN ON LANDSCAPE PLANS OR EROSION CONTROL PLANS. FOR TEMPORARY STABILIZATION BEYOND SEEDING DATES USE ANNUAL RYE AT 40 LBS/1,000 S.F. FERTILIZE WITH 10-10-10 AT 1.0 LBS. OF NITROGEN PER 1,000 S.F. AND LIME AT 100 LBS/1,000 S.F.
- UPON DIRECTION OF THE TOWN OF MONROE AGENT (AFTER THEIR FINAL INSPECTIONS HAVE BEEN PERFORMED AND CERTIFICATES OF COMPLETION FOR INLAND WETLANDS AND EXCAVATION/FILLING HAVE BEEN ISSUED, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED FOLLOWING STABILIZATION OF THE SITE.

VOLUME SUMMARY

AREA	AREA OF DISTURBANCE	CUT (CY)	FILL (CY)	NET (CY)
REGULATED AREA	47,493 SF (1.09 AC)	3,648	1,382	2,266 (CUT)
BALANCE OF SITE	509,350 SF (11.69 AC)	12,737	180,915	168,178 (FILL)
TOTAL	556,843 SF (12.78 AC)	16,385	182,297	165,912 (FILL)

NOTE: NO FILL IS PLANNED WITHIN THE 100-YEAR FLOOD LIMIT.

SEDIMENT BASIN & TRAP CALCULATIONS

- SEE SOIL EROSION CONTROL PHASING PLAN (SHEET 2.31) FOR CALCULATIONS.

GROUNDWATER MONITORING DATA

DATA COLLECTED BY SOLLI ENGINEERING, LLC, WEEKLY FROM 07/15/15 TO 06/14/16.

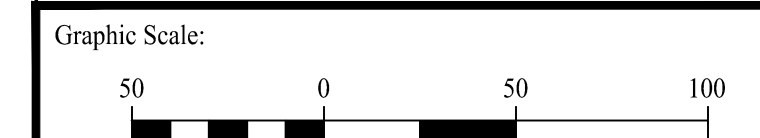
MONITORING WELL 13 (MW-13)
 SURFACE ELEVATION = 291.70
 MINIMUM DEPTH TO GROUNDWATER = 0.88 - 290.82

SELECT FILL REQUIREMENTS

- SELECT FILL MATERIAL AND SELECT BACKFILL MATERIAL PLACED WITHIN AND ADJACENT TO PROPOSED LEACHING AREAS SHALL BE COMPRISED OF CLEAN SAND AND GRAVEL, FREE OF ORGANIC MATTER AND FOREIGN SUBSTANCES. THE FILL MATERIAL SHALL MEET THE FOLLOWING REQUIREMENTS UNLESS OTHERWISE APPROVED BY A PROFESSIONAL ENGINEER FOR USE WITHIN THE LEACHING AREA:
 - THE FILL SHALL NOT CONTAIN ANY MATERIAL LARGER THAN (3) INCHES.
 - UP TO 45% OF THE DRY WEIGHT OF THE REPRESENTATIVE SAMPLE MAY BE RETAINED ON THE #4 SIEVE (THIS IS THE GRAVEL PORTION OF THE SAMPLE).
 - THE MATERIAL THAT PASSES THE #4 SIEVE IS THEN REWEIGHED AND THE SIEVE ANALYSIS STARTED.
 - THE REMAINING SAMPLE SHALL MEET THE FOLLOWING GRADATION CRITERIA:

SIEVE SIZE	REQUIRED % PASSING	
	PERCENT PASSING WET SIEVE	PERCENT PASSING DRY SIEVE
#4	100	100
#10	70-100	70-100
#40	10-50	10-50
#100	0-20	0-5
#200	0-5	0-2.5
- PERCENT PASSING THE #40 SIEVE CAN BE INCREASED TO NO GREATER THAN 75% IF THE PERCENT PASSING THE #100 SIEVE DOES NOT EXCEED 10% AND THE #200 SIEVE DOES NOT EXCEED 5%.
- THE RESPONSIBILITY FOR THE PREPARATION OF A LEACHING AREA UTILIZING "SELECT MATERIAL" IS THAT OF THE LICENSED INSTALLER.
- THE INSTALLER SHALL TAKE THE NECESSARY STEPS TO PROTECT THE UNDERLYING NATURAL SOILS OCCURRING SOILS FROM OVERCOMPACTION AND SILTATION ONCE EXPOSED.
- SELECT FILL SHALL BE PLACED BY A LICENSED INSTALLER.
- ANY TOPSOIL WITHIN SEPTIC AREA IS TO BE REMOVED AND REPLACED WITH SELECT FILL.
- FILL SHALL BE PLACED ON THE PERIMETER OF THE TRENCH AREA AND SPREAD WITH A SMALL CRAWLER, TRACTOR OR OTHER APPROVED MACHINERY.

Rev. #	Date	RESPONSE TO IWC COMMENTS
1	09/15/21	



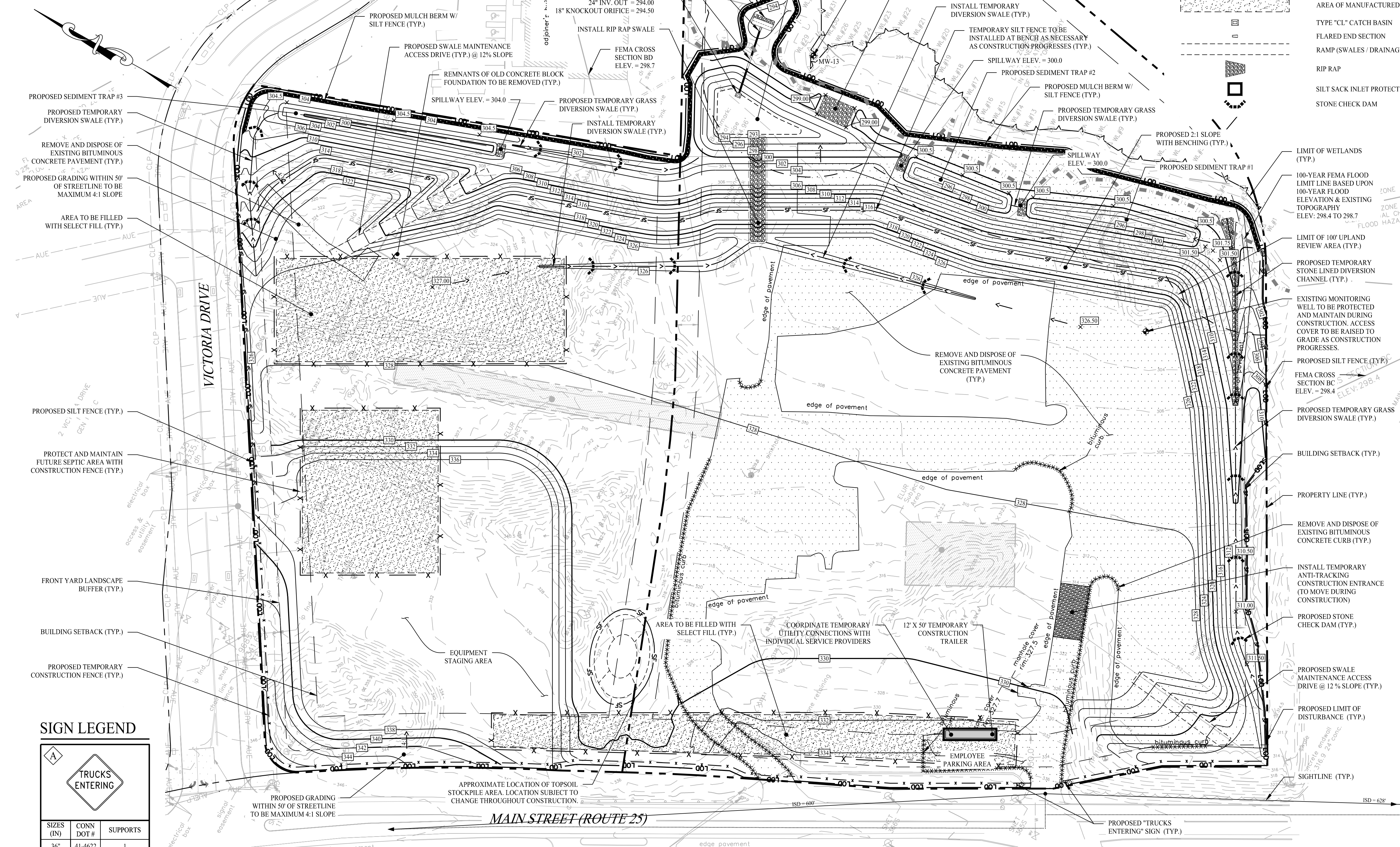
SOLLI ENGINEERING
 501 Main Street, Monroe, CT 06468 T: (203) 880-5455 F: (203) 880-9695
 331 Newbury Street, Boston, MA 02115 T: (617) 203-3160 F: (203) 880-9695

Drawn By: CJP
 Checked By: LAM
 Approved By: KMS
 Project #: 20208001
 Plan Date: 07/26/21
 Scale: 1" = 50'

EXCAVATION/FILLING PERMIT APPLICATION

10 & 36 MAIN STREET
 MONROE, CONNECTICUT

Sheet Title: **GRADING & SOIL EROSION CONTROL PLAN**
 Sheet #: **2.21**

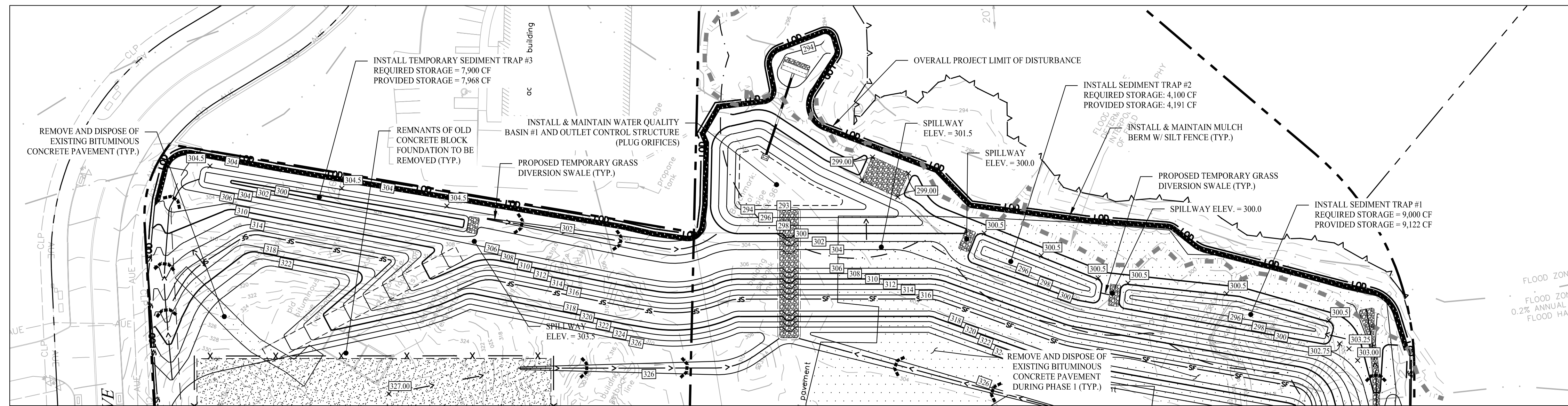


SIGN LEGEND

SIZES (IN)	CONN DOT #	SUPPORTS
36"	41-4622	1

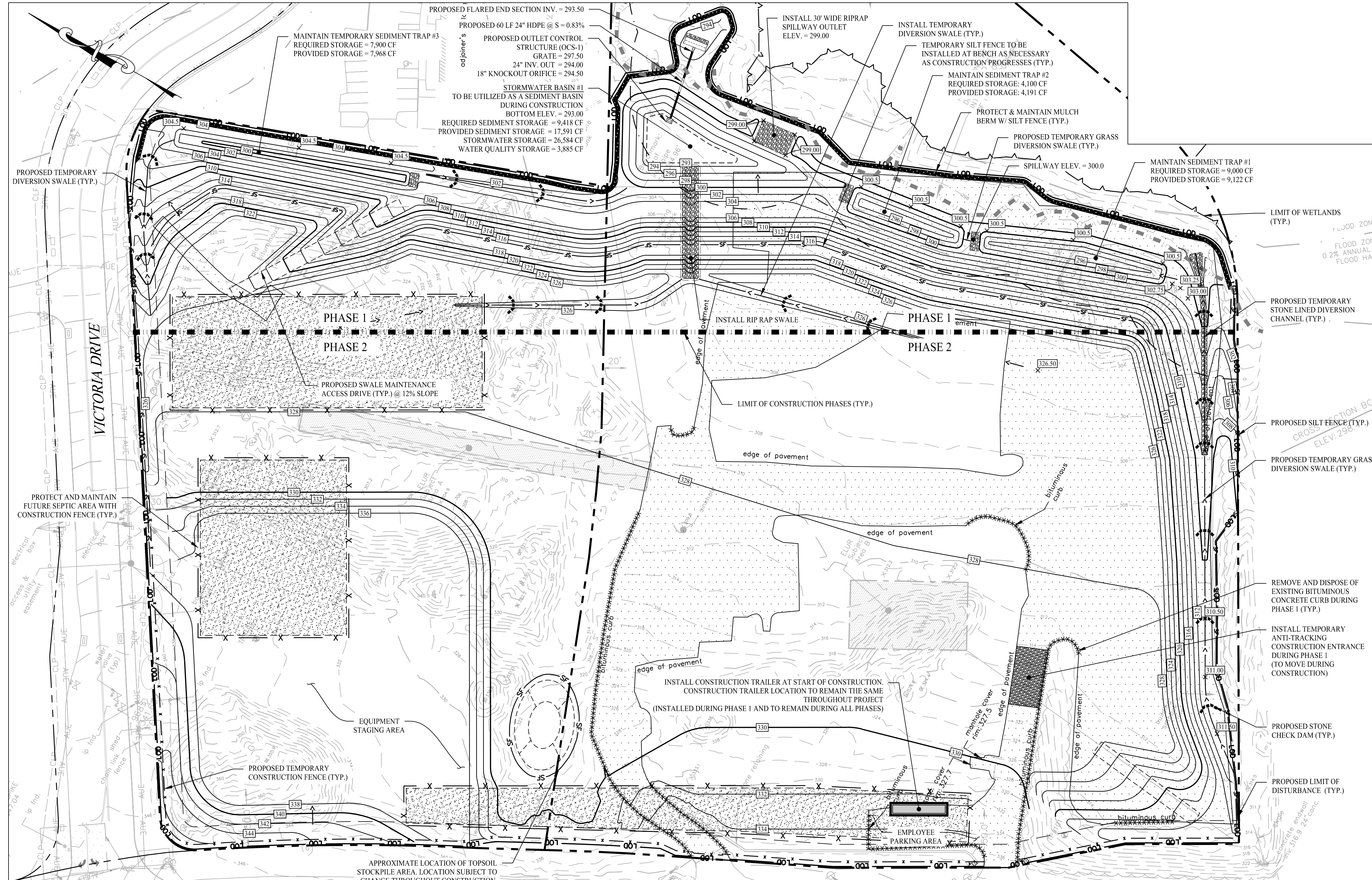
TRUCKS ENTERING

15, 2021 - 2:30pm
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PHASE I

SCALE: 1" = 50'



PHASE II

SCALE: 1" = 50'

GENERAL NOTES

- EXISTING SITE CONDITIONS TAKEN FROM A PLAN ENTITLED "IMPROVEMENT LOCATION SURVEY PREPARED FOR VISHAY SPRAGUE, INC. 10 & 36 MAIN STREET, MONROE, CONNECTICUT" DATED: MAY 21, 2022. SCALE: 1"=40'. PREPARED BY ACCURATE LAND SURVEYING, LLC.
- REFER TO SHEET 2.21 - GRADING & SOIL EROSION CONTROL PLAN FOR MORE INFORMATION.

CONSTRUCTION SCHEDULE

THE ANTICIPATED STARTING DATE FOR CONSTRUCTION IS FALL 2021 WITH COMPLETION ANTICIPATED BY FALL 2023. APPROPRIATE EROSION CONTROL MEASURES AS DESCRIBED HEREIN, SHALL BE INSTALLED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF ALL SITE CLEARING OR CONSTRUCTION ACTIVITY. SCHEDULE WORK TO MINIMIZE THE LENGTH OF TIME THAT BARE SOIL WILL BE EXPOSED.

PHASE I

PHASE I WILL CONSIST OF THE INSTALLATION OF SILT FENCE AND OTHER SOIL EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE SITE. EROSION CONTROLS ALONG THE LIMITS OF WORK, INCLUDING BUT NOT LIMITED TO CONSTRUCTION ENTRANCE, SILT FENCE, AND MULCH BERMS, ARE TO REMAIN AND BE MAINTAINED THROUGHOUT ALL PHASES. PHASE I WILL ALSO INCLUDE THE CONSTRUCTION OF THE WATER QUALITY BASIN, THE CONSTRUCTION OF THE THREE SEDIMENT TRAPS, AS WELL AS THE BEGINNING OF THE FILL OPERATIONS ON SITE. THE EXISTING PAVEMENT, CURB AND FOUNDATION REMNANTS WILL BE REMOVED DURING PHASE I. CONSTRUCTION EQUIPMENT WILL BE STAGED IN THE EQUIPMENT STAGING AREA DEFINED ON THIS PLAN SHEET. THE CONSTRUCTION TRAILER WILL ALSO BE INSTALLED DURING PHASE I.

PHASE 2

ADDITIONAL SOIL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED AS NECESSARY. CONSTRUCTION EQUIPMENT WILL CONTINUE TO BE STAGED IN THE EQUIPMENT STAGING AREA AS SHOWN ON THIS PLAN SHEET. THE CONTINUATION OF THE FILL OPERATIONS UNTIL PROJECT COMPLETION AND THE CONSTRUCTION AND MAINTENANCE OF THE DIVERSION SWALES AND OTHER NECESSARY SOIL EROSION AND SEDIMENT CONTROL MEASURES FOLLOWING COMPLETION, THE SITE IS TO BE SEEDING AND ESTABLISHED AS DESCRIBED ON SHEET 2.61 OF THIS PLAN SET. AT THE COMPLETION OF CONSTRUCTION, THE OUTLET CONTROL STRUCTURE WITHIN THE WATER QUALITY BASIN IS TO BE CLEANED OF ANY SEDIMENT AND DEBRIS, AND ANY ACCUMULATED SEDIMENT WITHIN THE BASIN SHALL BE REMOVED.

CONSTRUCTION SEQUENCE

- INSTALL STABILIZED CONSTRUCTION ENTRANCE/EXIT.
- INSTALL SILT FENCE(S) ON THE SITE (CLEAR ONLY THOSE AREAS NECESSARY TO INSTALL SILT FENCE).
- PREPARE TEMPORARY PARKING AND STORAGE AREAS.
- HALT ALL ACTIVITIES AND CONTACT THE ENGINEER OF RECORD TO PERFORM INSPECTION AND CERTIFICATION OF BEST MANAGEMENT PRACTICES (BMP'S).
- GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT THE STORM WATER PRE-CONSTRUCTION MEETING WITH THE ENGINEER, AGENCIES AND GROUND-DISTURBING CONTRACTOR BEFORE PROCEEDING WITH CONSTRUCTION.
- CONSTRUCT AND STABILIZE SEDIMENT BASIN AND SEDIMENT TRAPS WITH APPROPRIATE OUTFALL STRUCTURES (CLEAR ONLY THOSE AREAS NECESSARY TO INSTALL BASINS).
- BEGIN CLEARING AND GRUBBING THE SITE.
- INSTALL THE CONSTRUCTION TRAILER (WITH SUPPORT UTILITIES, ELECTRIC, WATER, ETC.).
- REMOVE THE EXISTING BITUMINOUS CONCRETE PAVEMENT AND BITUMINOUS CONCRETE CURB.
- INSTALL ADDITIONAL EROSION CONTROLS AS WORK PROGRESSES, TOPSOIL AND SEED SLOPES WHICH HAVE ACHIEVED FINAL SITE GRADING.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
- THROUGHOUT CONSTRUCTION, REMOVE SEDIMENT FROM BEHIND SILT FENCES, MULCH BERMS AND OTHER EROSION CONTROL DEVICES, AND FROM SEDIMENTATION BASINS AND SEDIMENT TRAPS AS REQUIRED. REMOVAL SHALL BE ON A PERIODIC BASIS (EVERY SIGNIFICANT RAINFALL OF 0.10 INCH OR GREATER). INSPECTION OF EROSION CONTROL MEASURES SHALL BE ON A WEEKLY BASIS AND AFTER EACH RAINFALL OF 0.50 INCHES OR GREATER. SEDIMENT COLLECTED SHALL BE DEPOSITED AND SPREAD EVENLY UPON SLOPES DURING CONSTRUCTION.
- THROUGHOUT THE CONSTRUCTION SEQUENCE, PERIODIC INSPECTIONS SHALL BE INCORPORATED DURING THE PROCESSING OF THIS EXCAVATION AND FILL PERMIT AT SPECIFIC MILESTONES PER TOWN STAFF DIRECTION, AND AT LEAST MONTHLY INSPECTIONS.
- CONDUCT FINE GRADING.
- FERTILIZE SEED AND MULCH SEED MIXTURE TO BE INSTALLED DURING THE SPRING OR FALL SEASON ONLY. USE EROSION CONTROL BLANKETS AS REQUIRED OR ORDERED FOR SLOPES GREATER THAN 3:1 AND AS SHOWN ON LANDSCAPE PLANS OR EROSION CONTROL PLANS. FOR TEMPORARY STABILIZATION BEYOND SEEDING DATES USE ANNUAL RYE AT 40 LBS/1,000 S.F. FERTILIZE WITH 10-10-10 AT 1.0 LBS/1,000 S.F. AND LIME AT 100 LBS/1,000 S.F. (MAX.). UPON DIRECTION OF THE TOWN OF MONROE AGENT (AFTER THEIR FINAL INSPECTIONS HAVE BEEN PERFORMED AND CERTIFICATES OF COMPLETION FOR INLAND WETLANDS AND EXCAVATION/FILLING HAVE BEEN ISSUED), EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED FOLLOWING STABILIZATION OF THE SITE.

SEDIMENT BASIN & TRAP CALCULATIONS

SEDIMENT BASIN #1:
 CONTRIBUTING DRAINAGE AREA = 14.71+ ACRES
 $V = [(DA)(K)(T)(C)(2,000)(S/100)] / [(V)(43,560)(SQ. FT./AC)]$
 $V = [(14.71)(50)(40)(.80)(2,000)] / [(100)(43,560)] = 0.1081$ ACRE-FT/YEAR
 $V = 4,709$ CF/YEAR
 $V = (4,709)(CF/YEAR)(2 YEARS) = 9,418$ CF
 REQUIRED WET STORAGE = 2 X 1 YEAR SEDIMENT STORAGE
 $V = (2)(4,709) = 9,418$ CF
 REQUIRED BASIN #1 STORAGE = 9,418 CF
 SEDIMENT BASIN #1 STORAGE CAPACITY = 17,591 + CF
 AT ELEV. 297.50'

SEDIMENT TRAP #1:
 CONTRIBUTING DRAINAGE AREA = 2.49+ ACRES
 $2.49 AC \times 134 CF/AC = 333.33$ CY
 $333.33 CY \times 27 CF/CY = 9,000$ CF
 SEDIMENT TRAP #1 STORAGE CAPACITY = 9,122 + CF
 AT ELEV. 300.0'

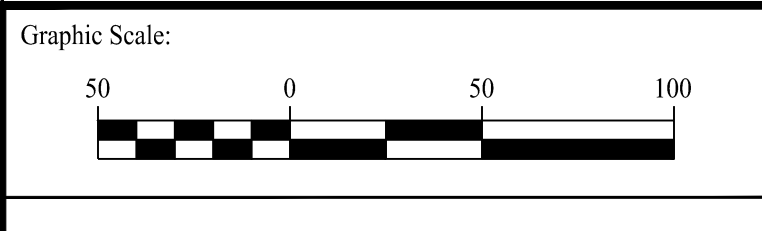
SEDIMENT TRAP #2:
 CONTRIBUTING DRAINAGE AREA = 1.13+ ACRES
 $1.13 AC \times 134 CF/AC = 151.85$ CY
 $151.85 CY \times 27 CF/CY = 4,100$ CF
 SEDIMENT TRAP #2 STORAGE CAPACITY = 4,191 + CF
 AT ELEV. 300.0'

SEDIMENT TRAP #3:
 CONTRIBUTING DRAINAGE AREA = 2.18+ ACRES
 $2.18 AC \times 134 CF/AC = 292.59$ CY
 $292.59 CY \times 27 CF/CY = 7,800$ CF
 SEDIMENT TRAP #3 STORAGE CAPACITY = 7,968 + CF
 AT ELEV. 304.0'

LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- ADJOINING LOT LINE
- BUILDING SETBACK
- LANDSCAPE BUFFER
- MAJOR CONTOURS
- MINOR CONTOURS
- PROPOSED SPOT ELEVATION
- GRADE TO DRAIN
- SWALE
- STORM DRAIN PIPE
- LIMIT OF WETLANDS
- LIMIT OF DISTURBANCE
- CURB REMOVAL
- SILT FENCE PROTECTION
- MULCH BERM
- TEMPORARY CONSTRUCTION FENCE
- 100-YEAR FEMA FLOODPLAIN
- BITUMINOUS CONCRETE PAVEMENT
- DEMOLITION
- AREA OF MANUFACTURED SELECT FILL
- TYPE "CL" CATCH BASIN
- FLARED END SECTION
- RAMP (SWALES / DRAINAGE BASIN ACCESS)
- RIP RAP
- SILT SACK INLET PROTECTION
- STONE CHECK DAM
- CONSTRUCTION PHASE LIMIT

Rev. #:	Date	Description

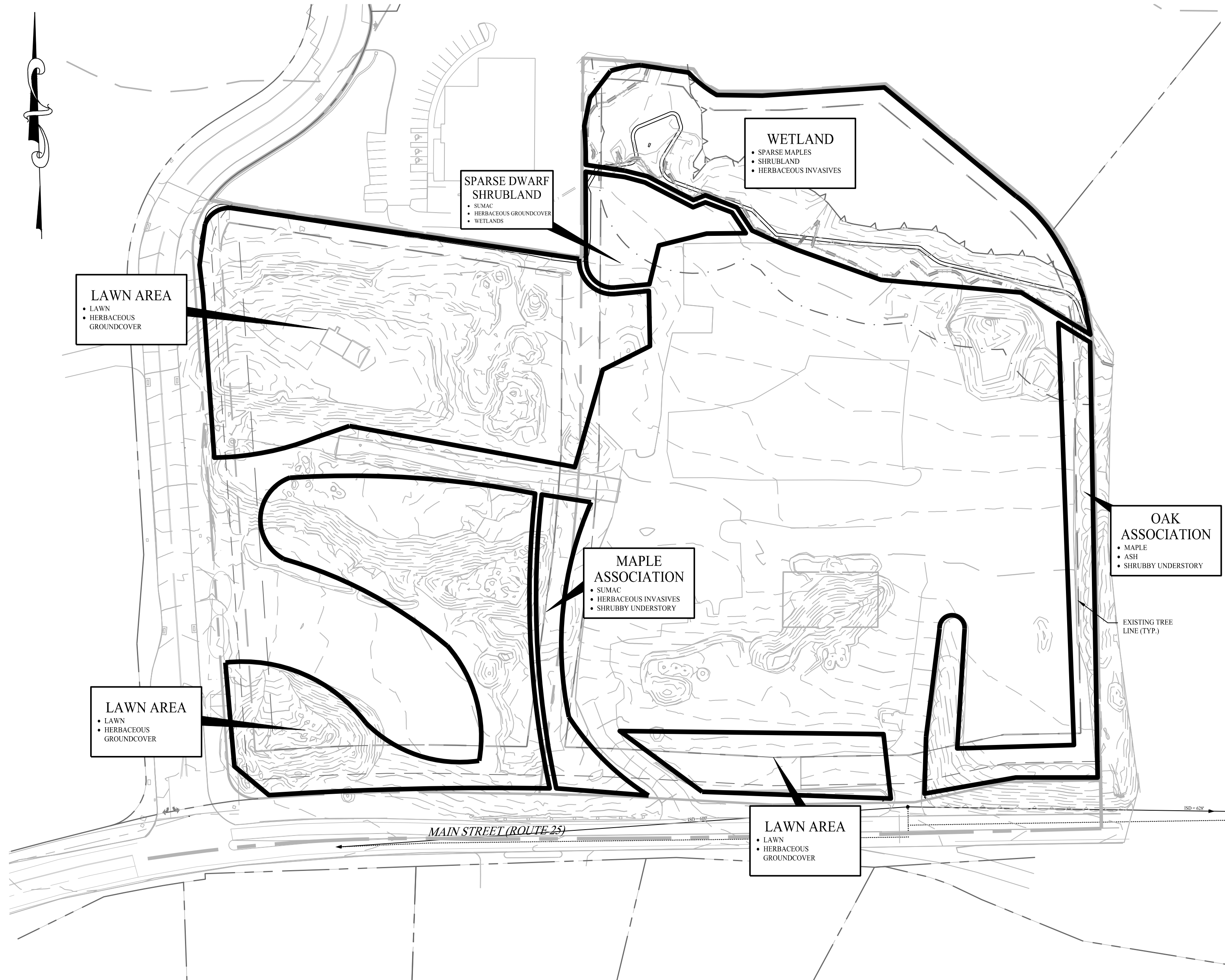


Drawn By:	CJP	
Checked By:	LAM	
Approved By:	KMS	
Project #:	2008001	
Plan Date:	09/15/21	
Scale:	1" = 50'	Kevin Solli, P.E. CT 25759

EXCAVATION/FILLING PERMIT APPLICATION
 10 & 36 MAIN STREET
 MONROE, CONNECTICUT

Sheet Title:	SOIL EROSION CONTROL PHASING PLAN	Sheet #:	2.31
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Sep 15, 2021 - 2:50pm chris
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PRE VEGETATION MAP
SCALE: 1" = 100'



POST VEGETATION MAP
SCALE: 1" = 100'

LEGEND

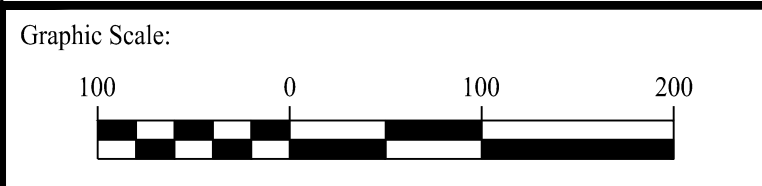
	PROPERTY LINE
	ADJOINING LOT LINE
	MAJOR CONTOURS
	MINOR CONTOURS
	LIMIT OF DISTURBANCE
	EXISTING TREE LINE
	PROPOSED TREE LINE
	PREVIOUSLY DELINEATED WETLANDS
	WETLAND LINE
	LIMIT OF 100' UPLAND REVIEW AREA
	SEEDED LAWN AREA
	NEW ENGLAND CONSERVATION WILDLIFE MIX
	EXISTING WOODED AREA TO REMAIN
	CONSTRUCTION ENTRANCE

- GENERAL NOTES**
- EXISTING SITE CONDITIONS TAKEN FROM A PLAN ENTITLED "PROPERTY SURVEY OF 10 & 36 MAIN STREET, MONROE, CONNECTICUT" DATED: 05/21/21; SCALE: 1" = 60'; PREPARED BY ACCURATE LAND SURVEYING, LLC. REFER TO SAID PLAN FOR ALL DIMENSIONS, BEARINGS OR ANGLES OF PROPERTY LINES, EASEMENTS AND RIGHT-OF-WAYS.
 - THE AREAS OF EXISTING VEGETATION HAVE BEEN FIELD VERIFIED BY A LICENSED LANDSCAPE ARCHITECT ON 05/27/21.
 - SPECIES DEPICTED ON PRE-VEGETATION MAP INDICATE MAJOR PLANT ASSOCIATIONS AND ARE NOT INTENDED TO REPRESENT A DETAILED INVENTORY OF THE SITE'S PLANT MATERIAL.
 - A SITE RESTORATION PLAN MUST BE IMPLEMENTED IN THE EVENT FUTURE DEVELOPMENT OF THE SITE DOES NOT MATERIALIZE WITHIN TWO (2) YEARS OF THE COMPLETION OF EXCAVATION.

- LAWN SEED MIX**
- PRIOR TO SEEDING, AREA IS TO BE TOPSOILED, FINE GRADED, AND RAKED OF ALL DEBRIS LARGER THAN 1" DIAMETER.
 - THE FOLLOWING SEED MIX SHALL BE SOWN AT THE RATES AS DEPICTED:
 CREEPING RED FESCUE 1 LB. / 1,000 SF
 PERENNIAL RYEGRASS 3 LBS. / 1,000 SF
 KENTUCKY BLUEGRASS 1 LB. / 1,000 SF
 - SEED MIX SHALL BE MULCHED WITH SALT HAY OR UNROTTED SMALL GRAIN STRAW AT A RATE OF 2 TONS / ACRE OR 90 LBS. / 1,000 SF.
 - SEEDING DATES FOR THIS MIXTURE SHALL BE AS FOLLOWS:
 SPRING: APRIL 1 - MAY 31
 FALL: AUGUST 16 - OCTOBER 31
 - GERMINATION RATES WILL VARY AS TO TIME OF YEAR FOR SOWING. CONTRACTOR TO IRRIGATE SEEDED AREA UNTIL AN ACCEPTABLE STAND OF COVER IS ESTABLISHED.
 - ALL DISTURBED AREAS TO BE STABILIZED WITH SEED MIX AS SPECIFIED.

- NEW ENGLAND CONSERVATION WILDLIFE MIX**
- PRODUCED BY NEW ENGLAND WETLAND PLANTS, INC., WWW.NEWP.COM; 820 WEST STREET, AMHERST, MA 01002; (413) 548-8000.
 - PRIOR TO SEEDING, AREA IS TO BE TOPSOILED, FINE GRADED, AND RAKED OF ALL DEBRIS LARGER THAN 1" DIAMETER.
 - THE SEED MIX SHALL BE APPLIED AT A RATE OF 1 LB. / 1,750 SQUARE FEET.
 - SEED MIX SHALL BE MULCHED WITH SALT HAY OR UNROTTED SMALL GRAIN STRAW AT A RATE OF 2 TONS / ACRE OR 90 LBS. / 1,000 SF.
 - SEEDING DATES FOR THIS MIXTURE SHALL BE AS FOLLOWS:
 SPRING: APRIL 1 - MAY 31
 FALL: AUGUST 16 - OCTOBER 31
 - GERMINATION RATES WILL VARY AS TO TIME OF YEAR FOR SOWING. CONTRACTOR TO IRRIGATE SEEDED AREA UNTIL AN ACCEPTABLE STAND OF COVER IS ESTABLISHED.
 - ALL DISTURBED AREAS TO BE STABILIZED WITH SEED MIX AS SPECIFIED.

1	09/15/21	RESPONSE TO IWC COMMENTS
Rev. #:	Date	Description



SOLLI ENGINEERING
 501 Main Street, Monroe, CT 06468 T: (203) 880-5455 F: (203) 880-9695
 331 Newbury Street, Boston, MA 02115 T: (617) 203-3160 F: (203) 880-9695

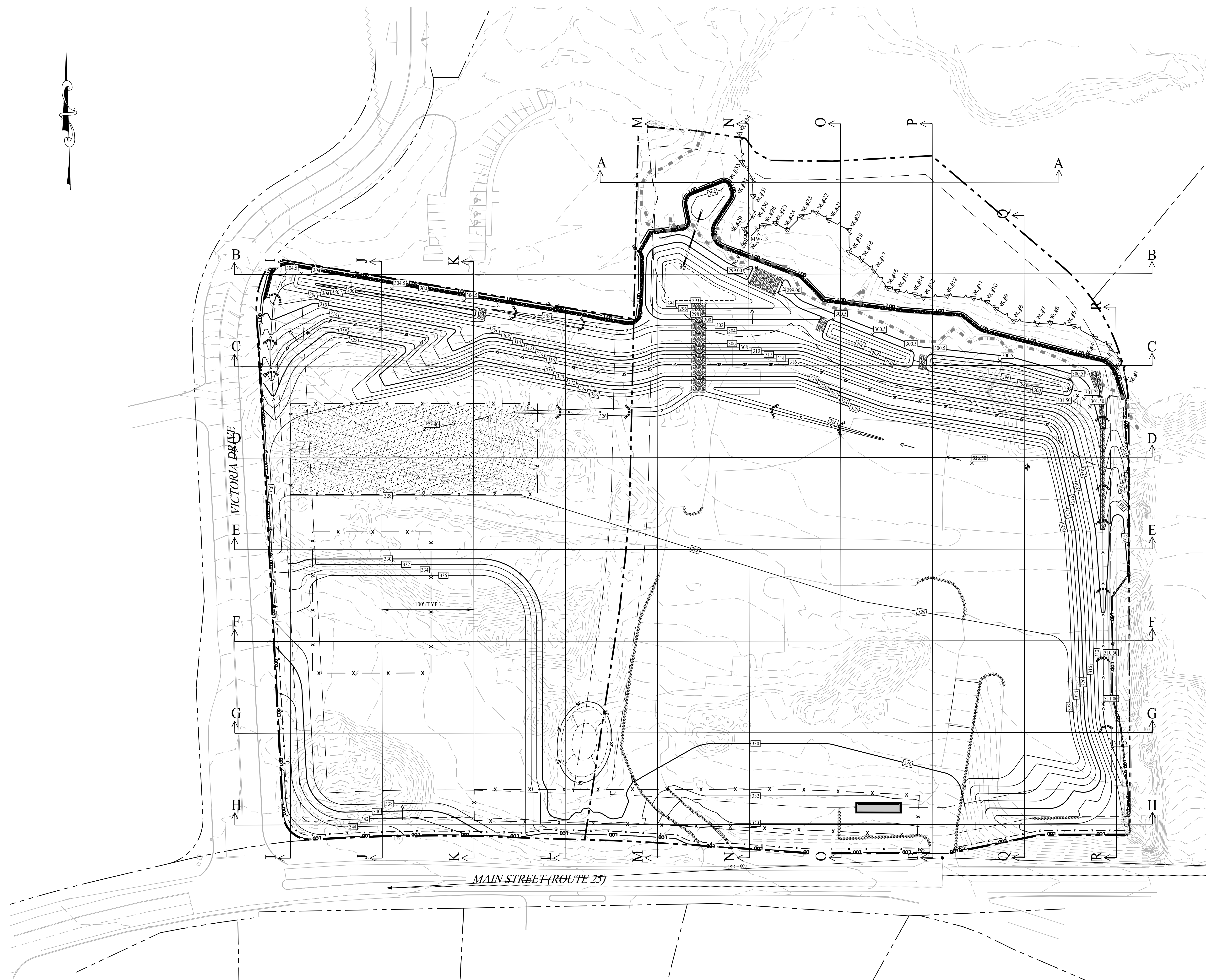
Drawn By:	FLO
Checked By:	MFB
Approved By:	KMS
Project #:	2008001
Plan Date:	07/26/21
Scale:	1" = 100'
Mary Blackburn, P.L.A. CT 1499	

EXCAVATION/FILLING PERMIT APPLICATION
 10 & 36 MAIN STREET
 MONROE, CONNECTICUT

Sheet Title:	Sheet #:
RECLAMATION PLAN	2.61

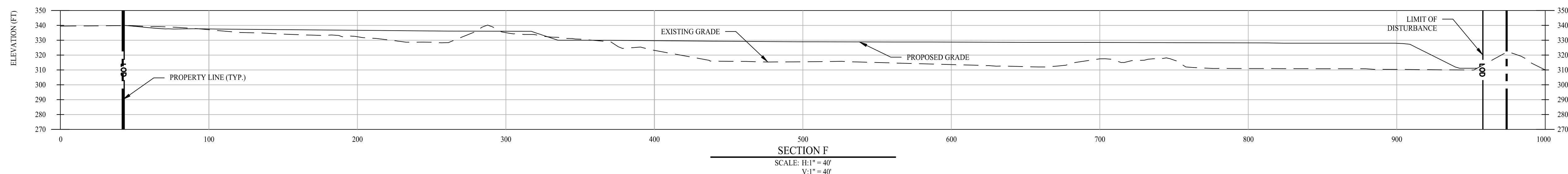
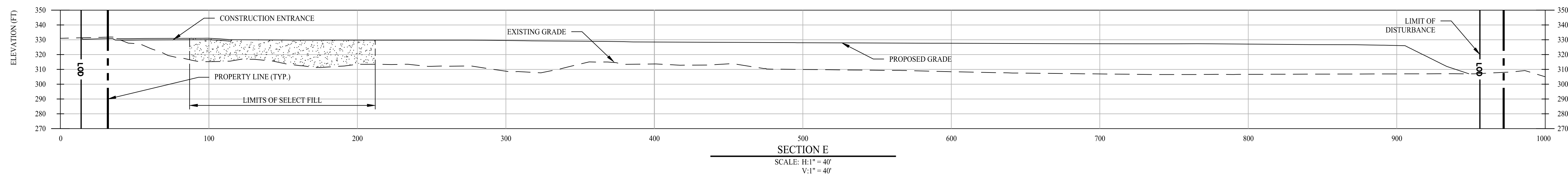
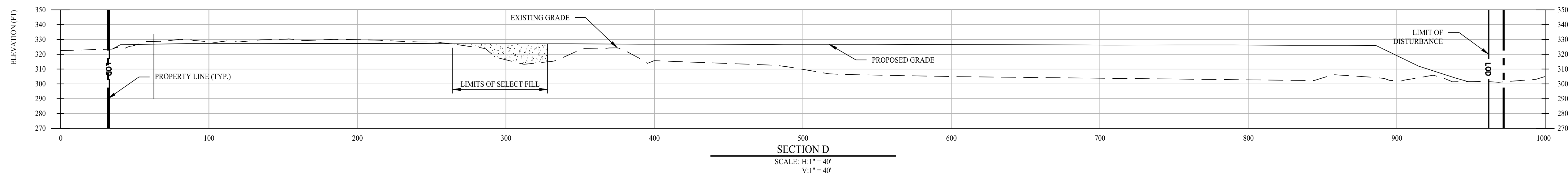
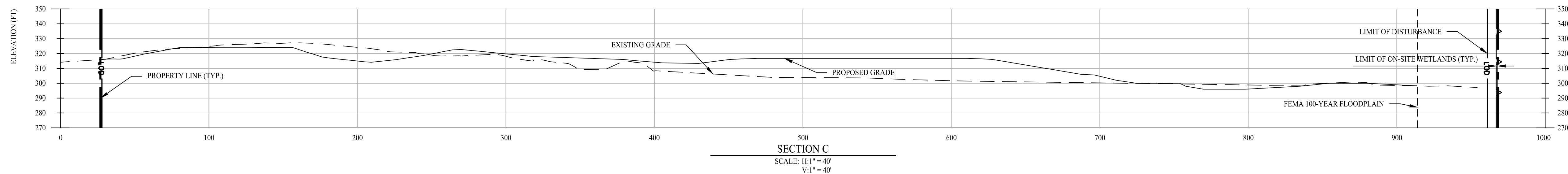
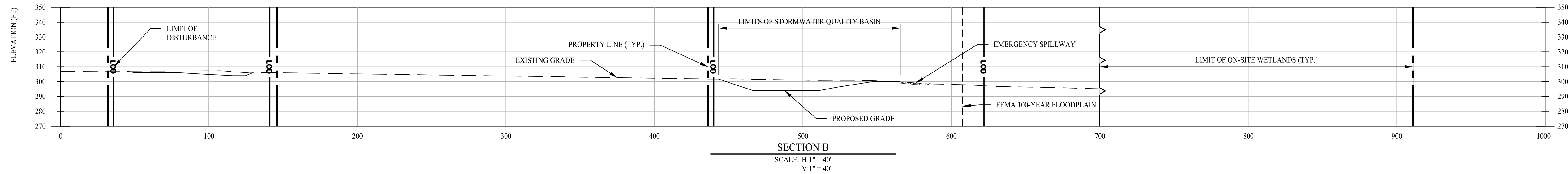
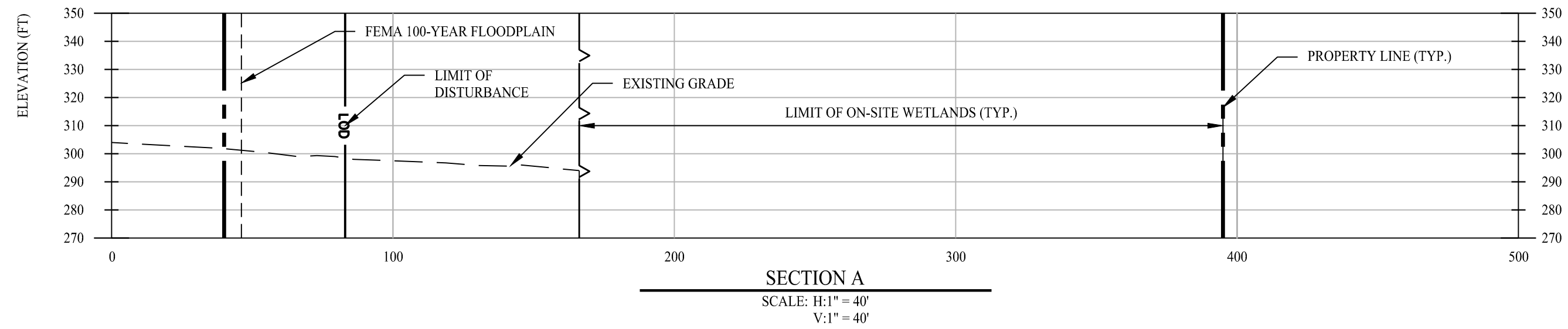
GENERAL NOTES

- EXISTING SITE CONDITIONS TAKEN FROM PLANS ENTITLED "PROPERTY SURVEY OF 10 & 36 MAIN STREET MONROE, CONNECTICUT (1 OF 1)" DATED: 5/21/21; SCALE: 1" = 60'; PREPARED BY ACCURATE LAND SURVEYING, LLC. REFER TO SAID PLAN FOR ALL DIMENSIONS, BEARINGS OR ANGLES OF PROPERTY LINES, EASEMENTS AND RIGHTS-OF-WAY.
- THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES AND ISSUANCE OF A DULY AUTHORIZED CERTIFICATE OF ZONING COMPLIANCE FROM THE TOWN OF MONROE.



09/15/21 RESPONSE TO IWC COMMENTS	
Rev. #:	Date Description
Graphic Scale:	
<small>501 Main Street, Monroe, CT 06468 T: (203) 880-5455 F: (203) 880-9695 351 Newbury Street, Boston, MA 02115 T: (617) 203-3140 F: (203) 880-9695</small>	
Drawn By:	AWC
Checked By:	LAM
Approved By:	KMS
Project #:	2008001
Plan Date:	07/26/21
Scale:	1" = 50'
Project:	
<p>EXCAVATION/FILLING PERMIT APPLICATION 10 & 36 MAIN STREET MONROE, CONNECTICUT</p>	
Sheet Title:	Sheet #:
CROSS SECTION LOCATION PLAN	2.80

Sep 15, 2021 - 3:30pm chris
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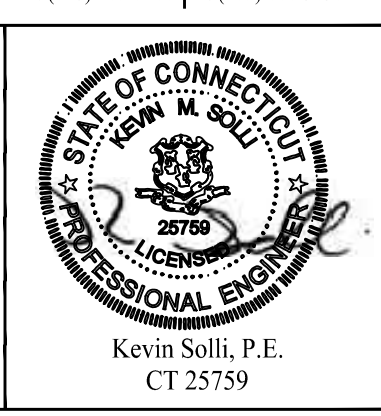


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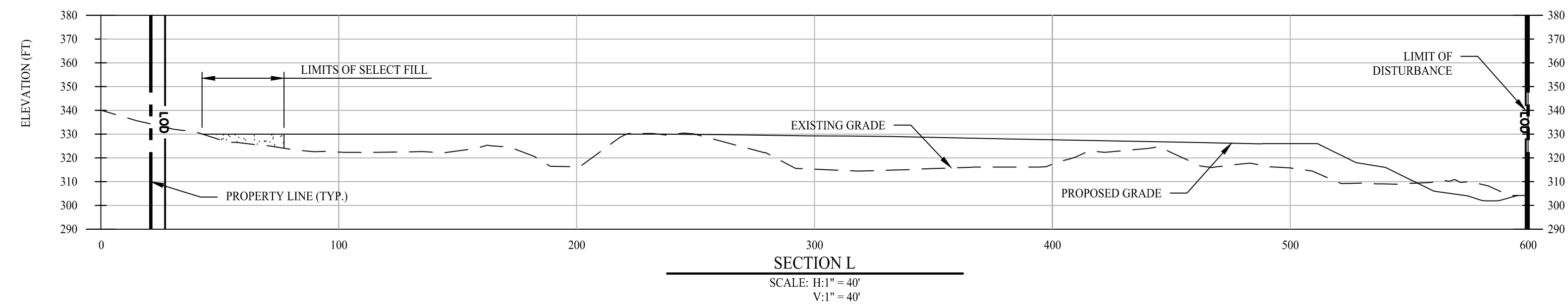
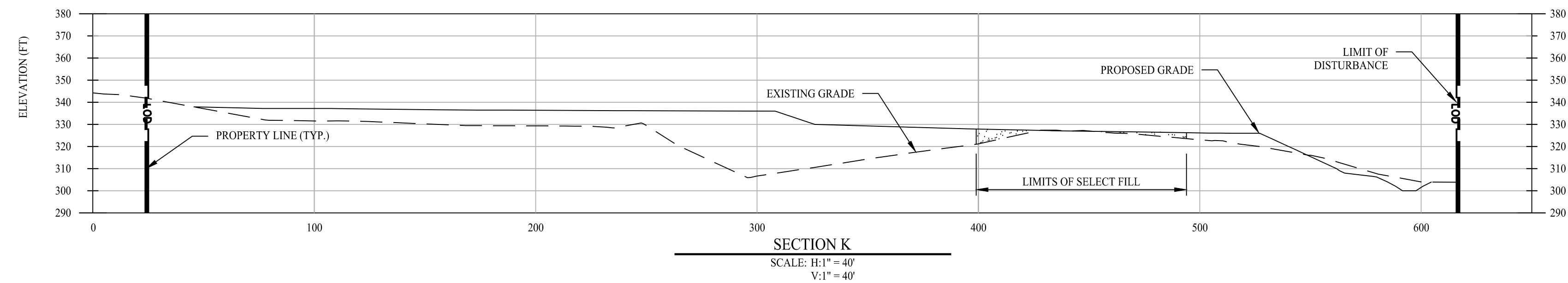
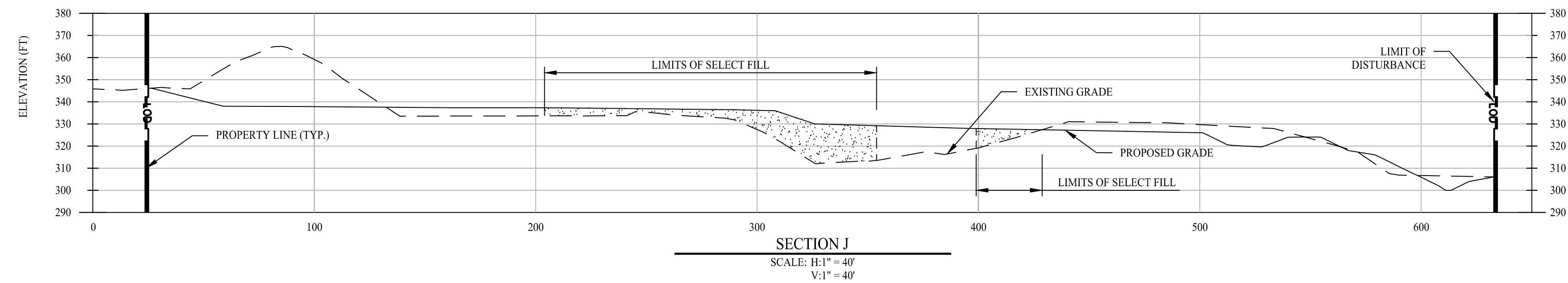
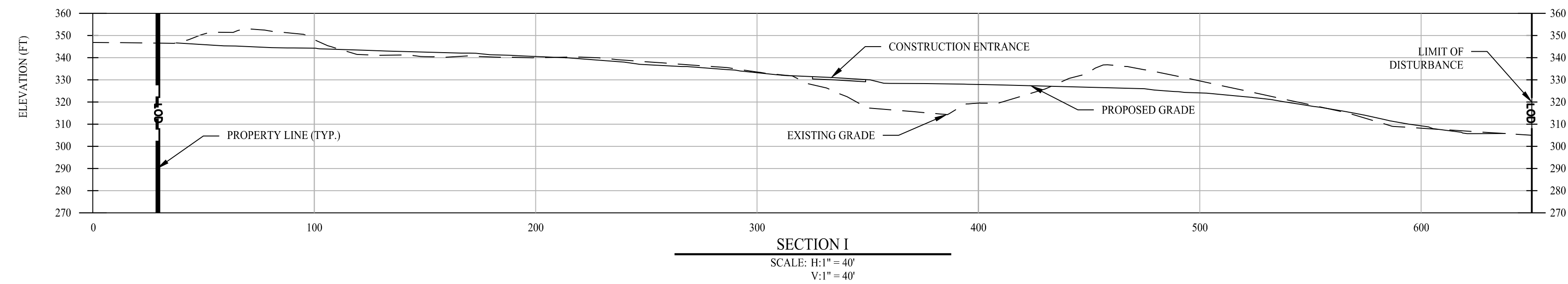
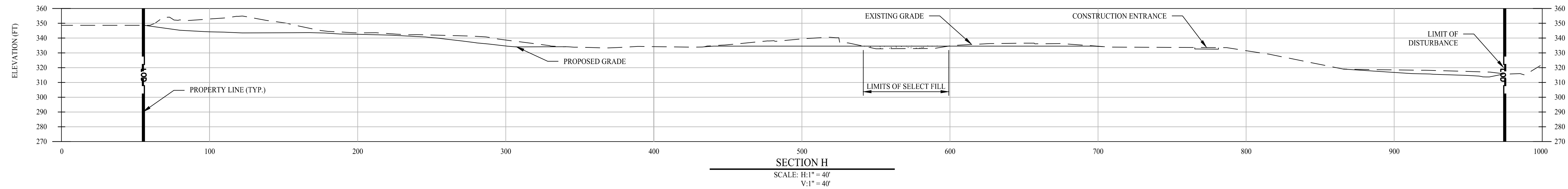
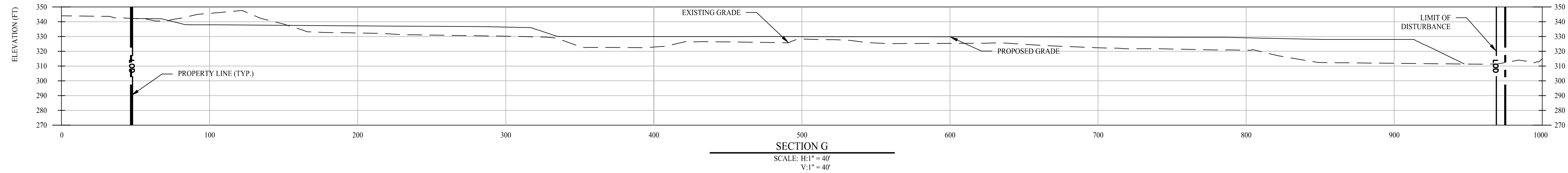
Drawn By: AWC
 Checked By: LAM
 Approved By: KMS
 Project #: 2008001
 Plan Date: 07/26/21
 Scale: AS SHOWN



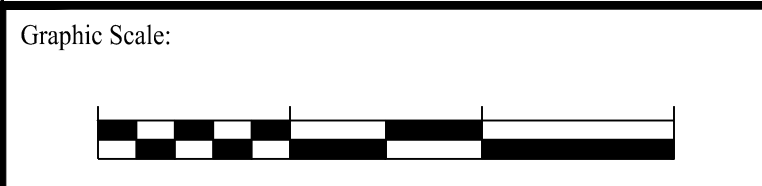
Project:
EXCAVATION/FILLING PERMIT APPLICATION
 10 & 36 MAIN STREET
 MONROE, CONNECTICUT

Sheet Title: **SITE CROSS SECTIONS** Sheet #: **2.81**

Sep 15, 2021 - 3:30pm chris
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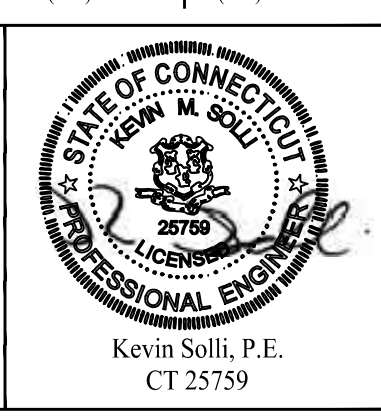


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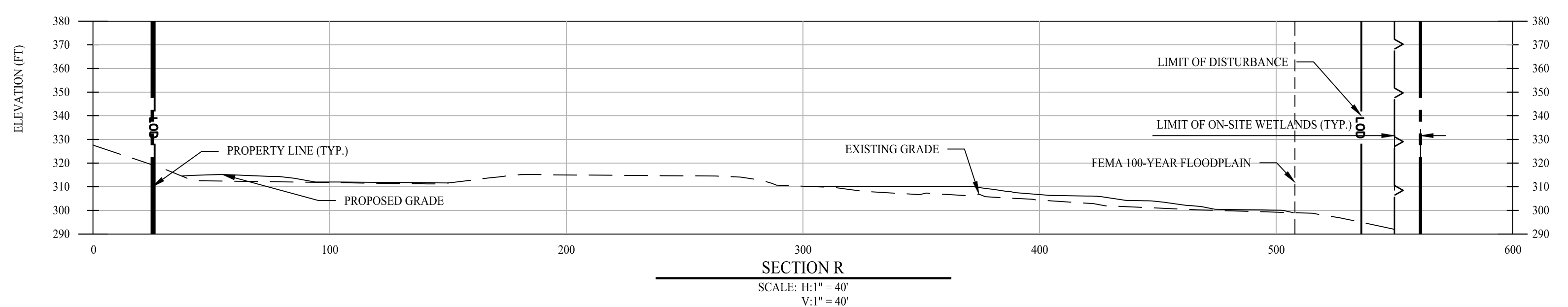
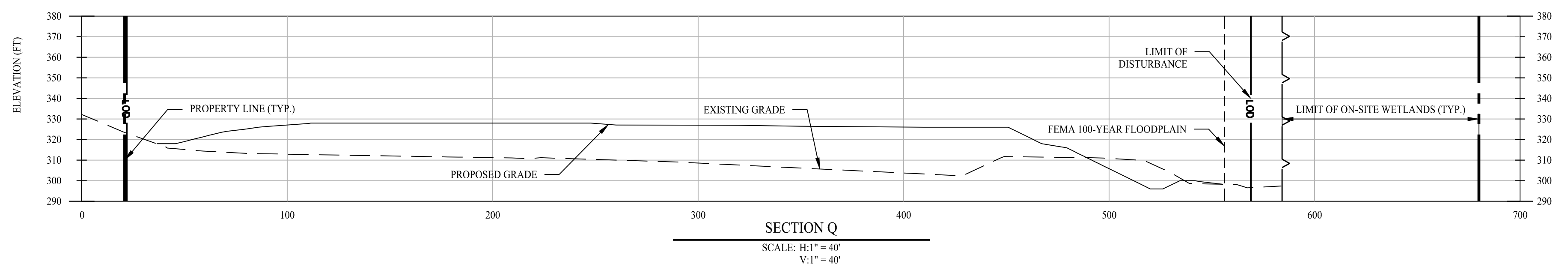
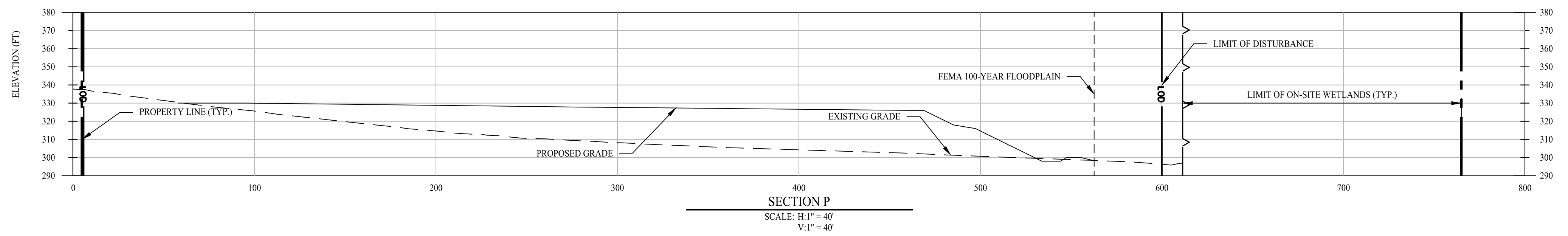
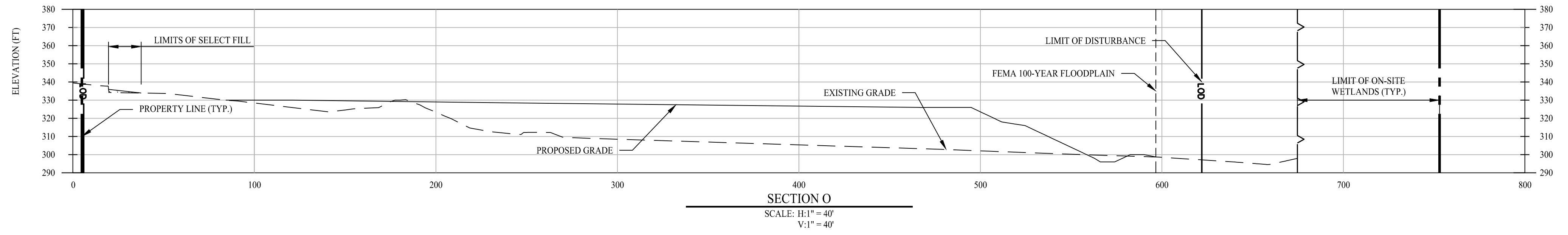
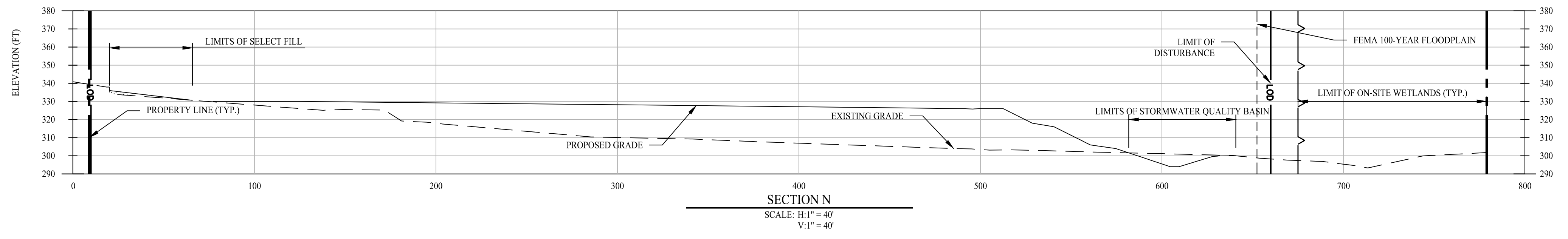
Drawn By: AWC
 Checked By: LAM
 Approved By: KMS
 Project #: 2008001
 Plan Date: 07/26/21
 Scale: AS SHOWN



Project:
EXCAVATION/FILLING PERMIT APPLICATION
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Sheet Title: **SITE CROSS SECTIONS** Sheet #: **2.82**

Sep 15, 2021 - 3:31pm chris
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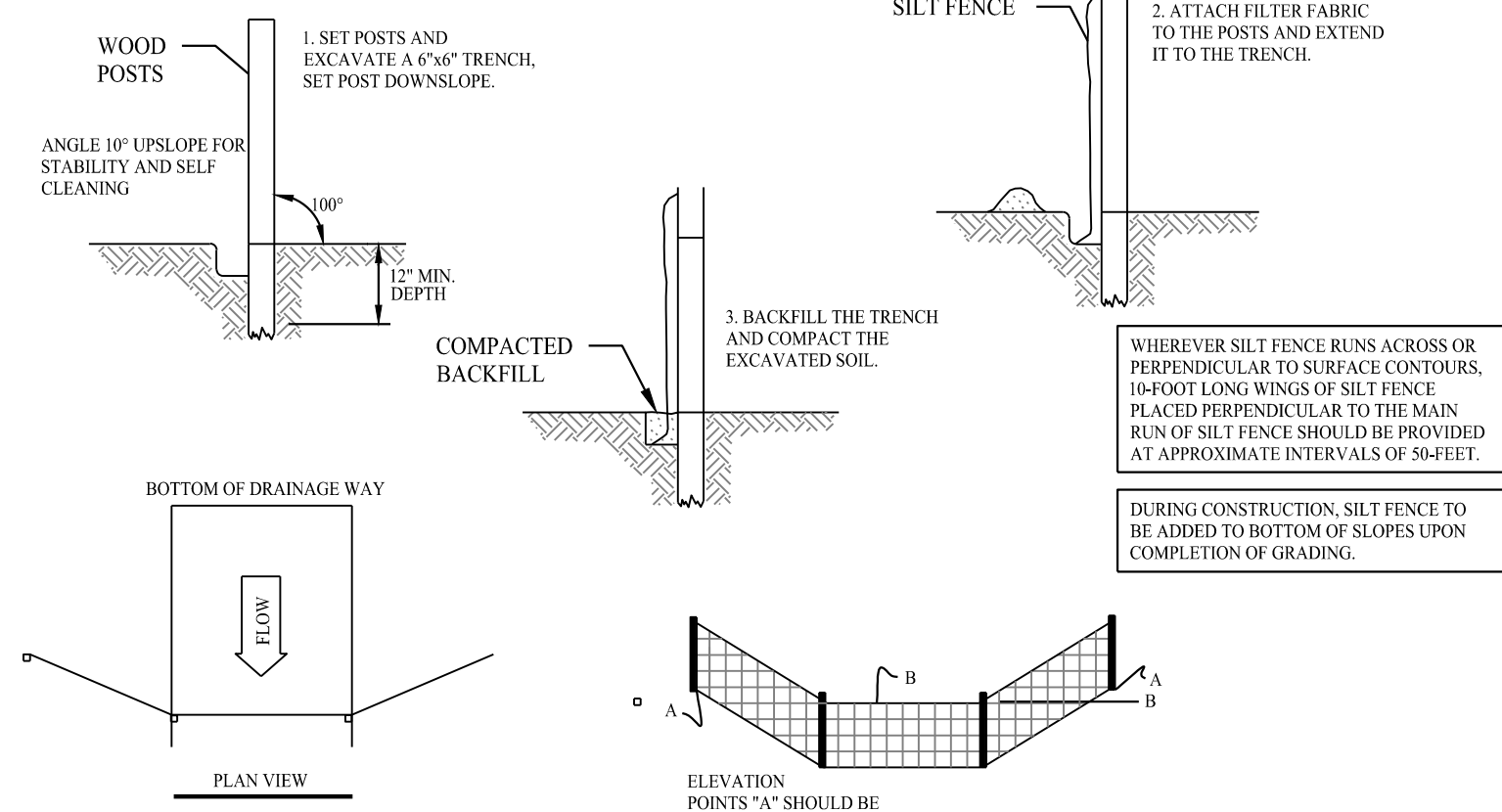
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 Checked By: LAM
 Approved By: KMS
 Project #: 2008001
 Plan Date: 07/26/21
 Scale: AS SHOWN



Project:
EXCAVATION/FILLING PERMIT APPLICATION
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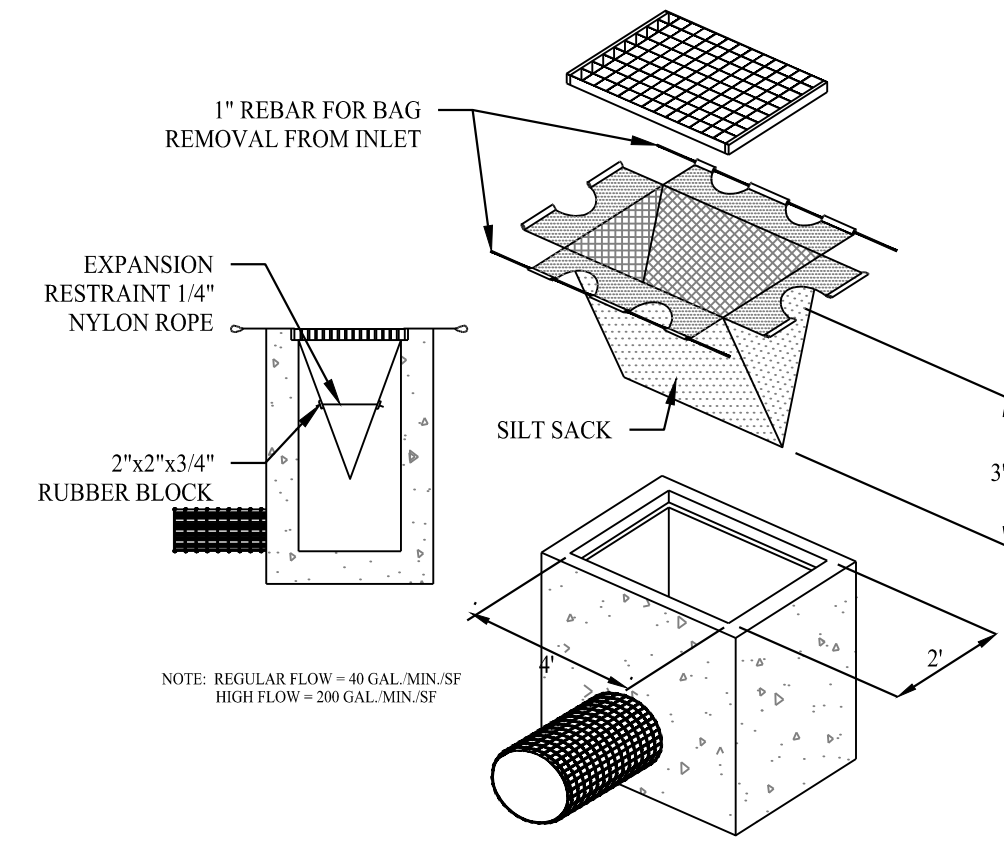
Sheet Title: **SITE CROSS SECTIONS**
 Sheet #: **2.83**

Sep 15, 2021 - 3:31pm chris
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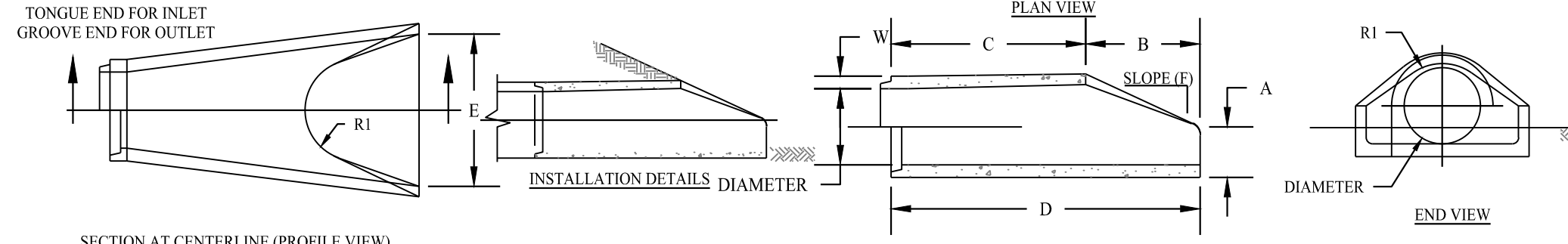
SILT FENCE PROTECTION DETAIL

SCALE: NTS



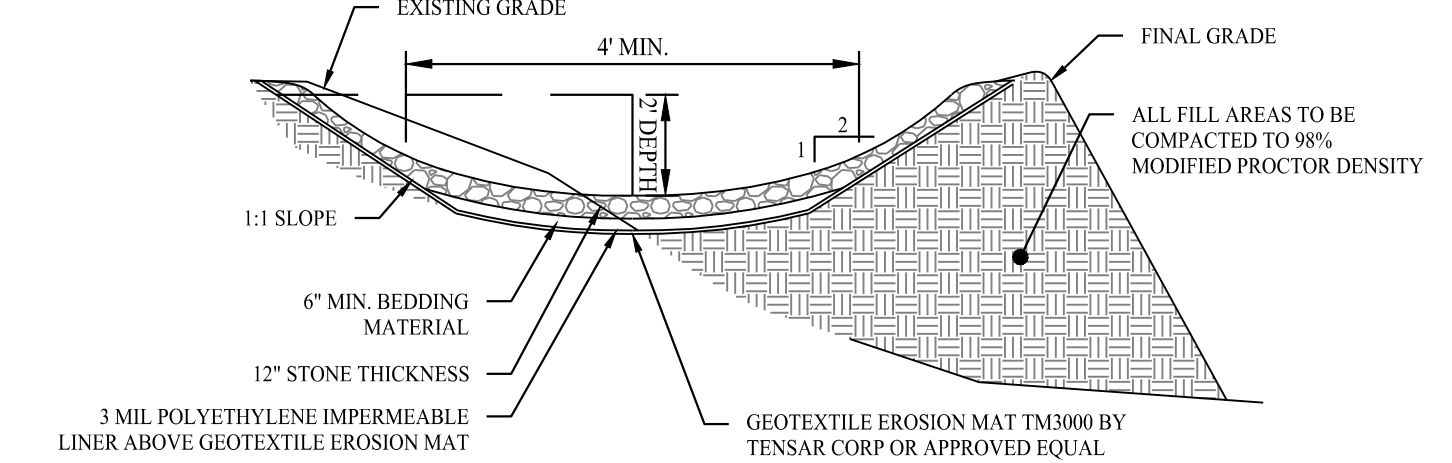
SILT SACK DETAIL

SCALE: NTS



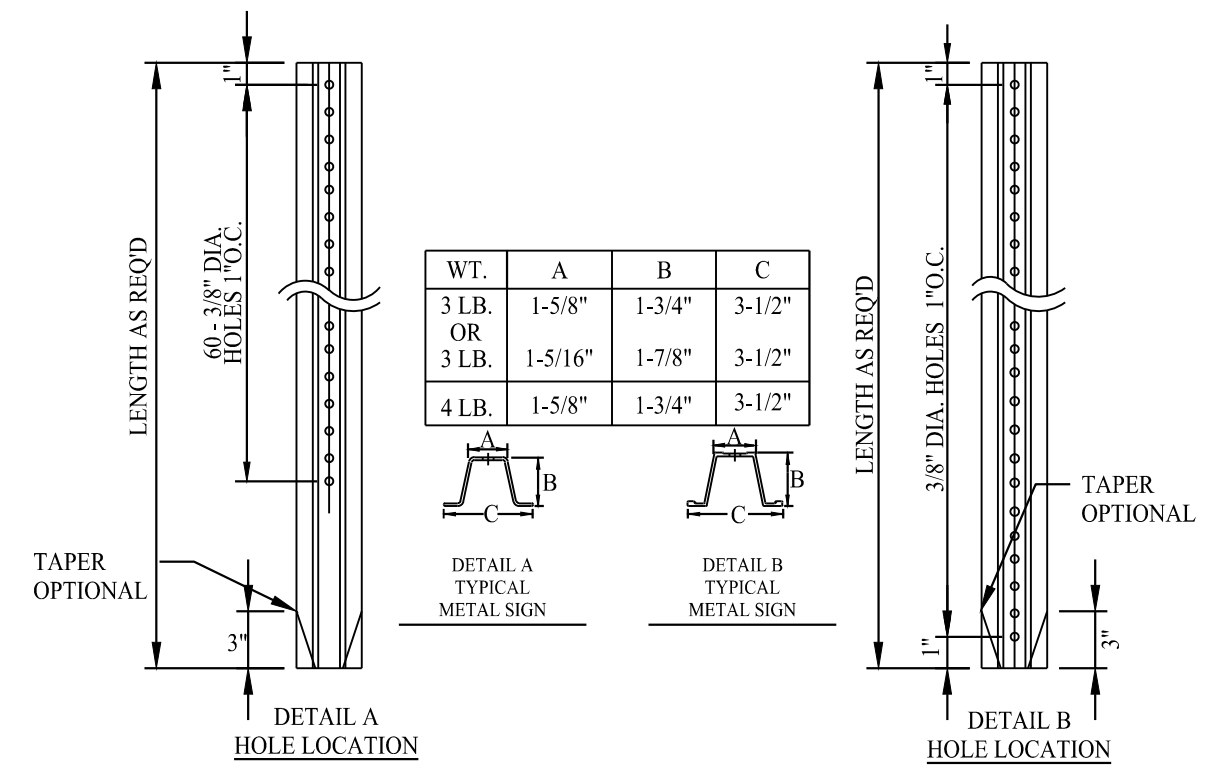
FLARED END SECTION DETAILS
(WITH PRECAST STD. BASE AND CUSTOMER SPECIFIED OPENINGS)
FLAT TOP ECCENTRIC (CONCENTRIC ALSO AVAILABLE)

SCALE: NTS



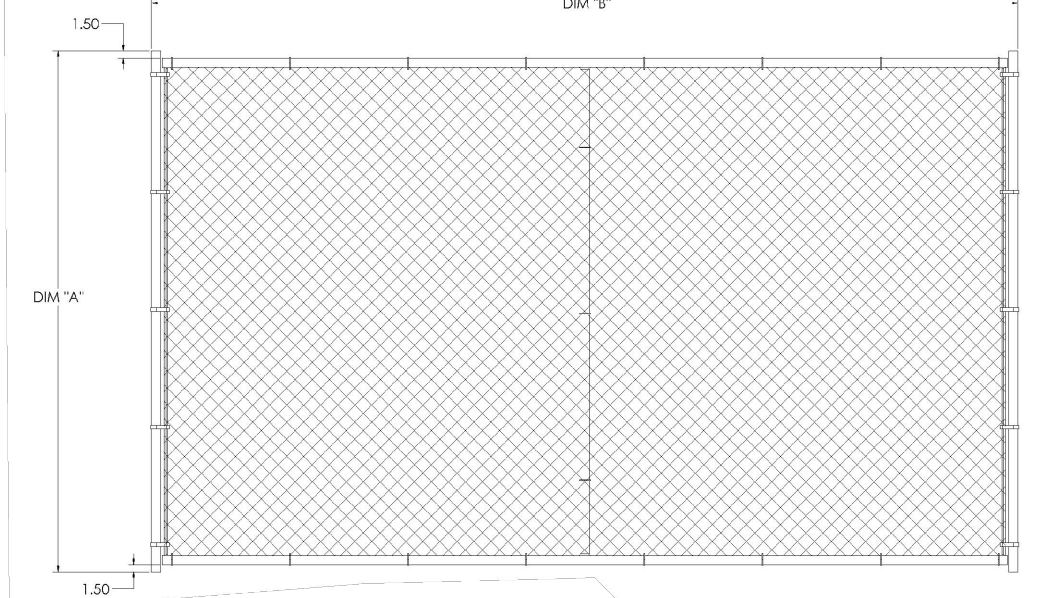
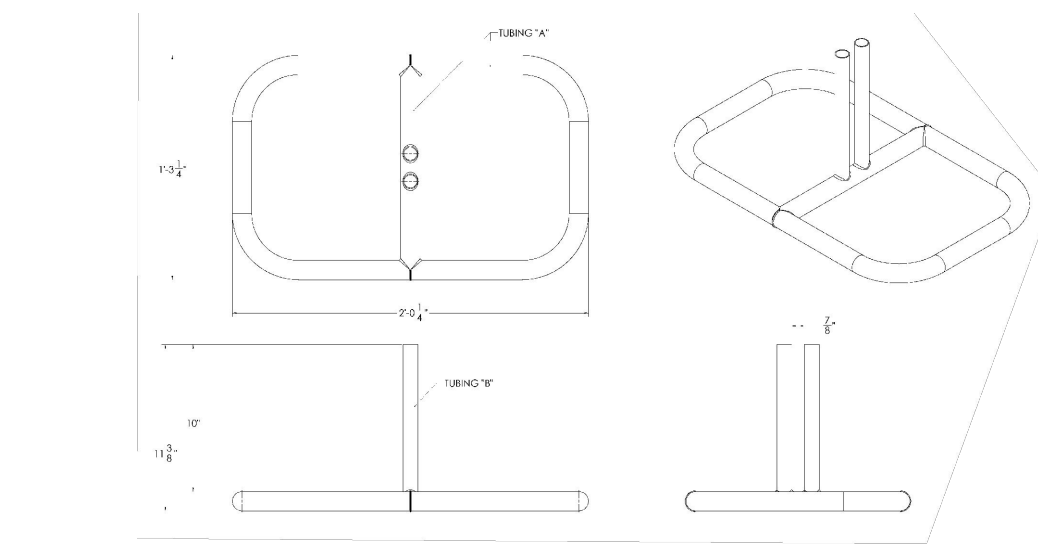
STONE LINED DIVERSION CHANNEL WITHIN FILL SECTION DETAIL

SCALE: NTS



TYPICAL METAL SIGN POSTS

SCALE: NTS

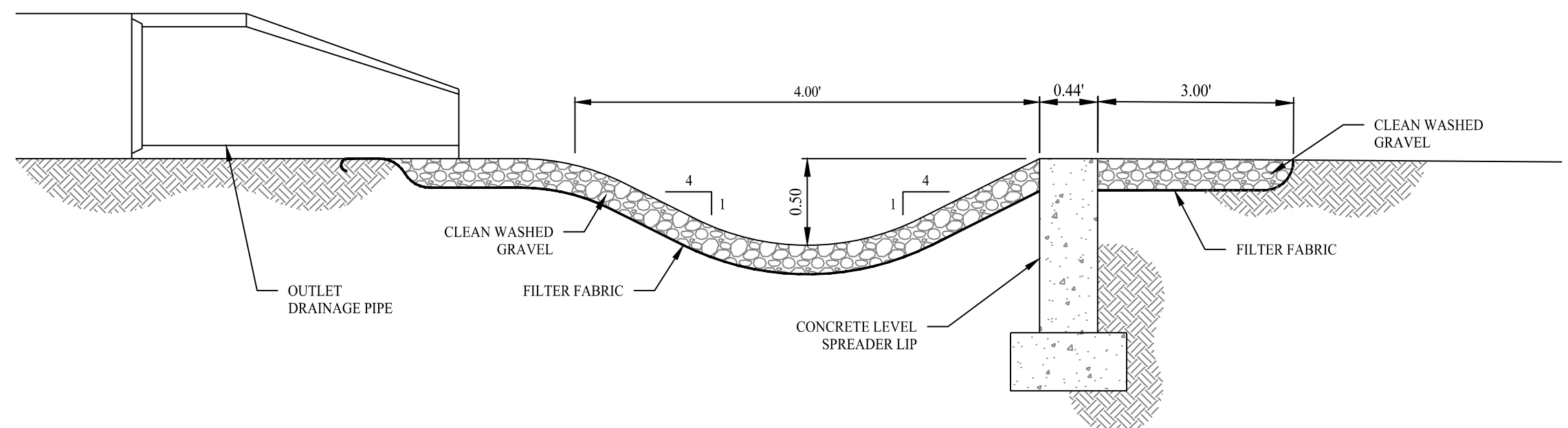


TEMPORARY MULCH BERM

SCALE: NTS

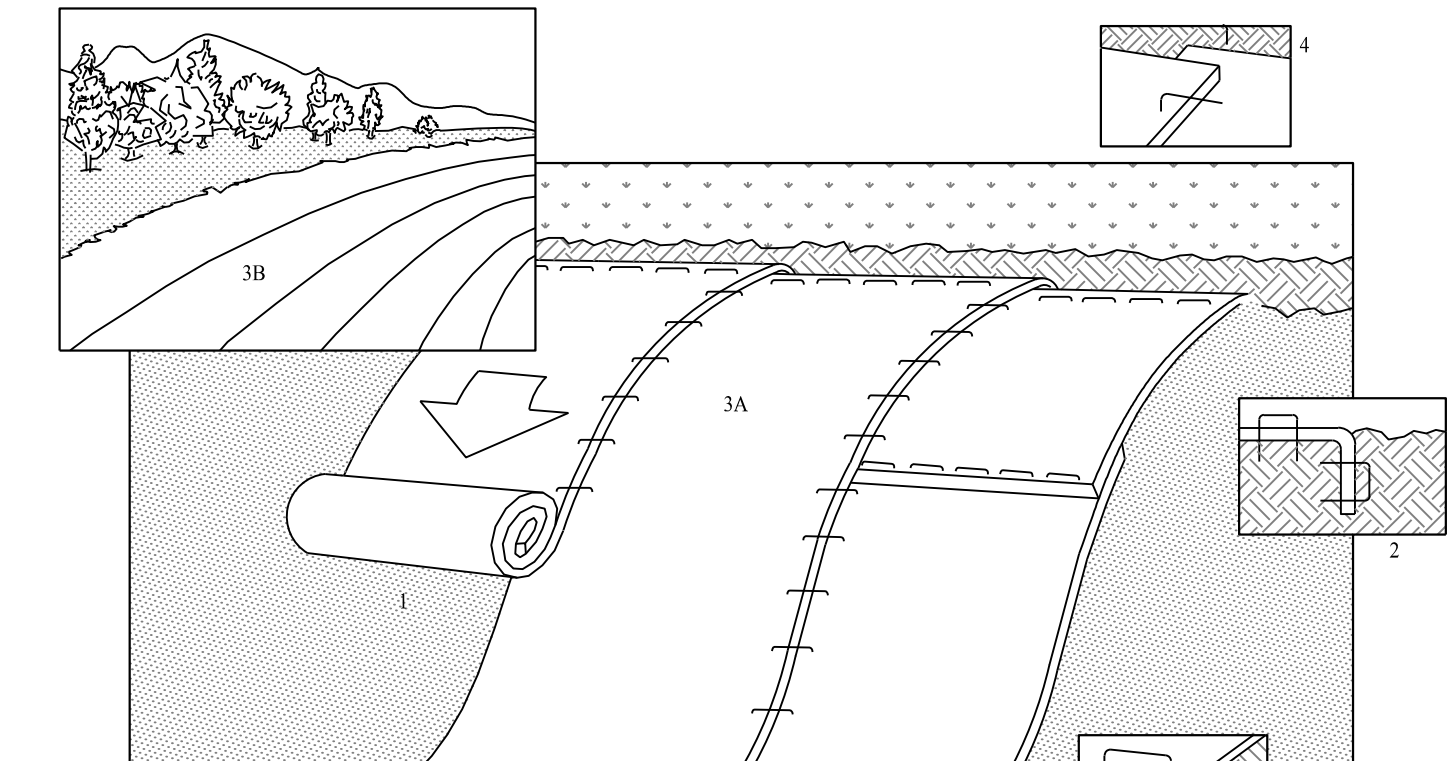
TEMPORARY CONSTRUCTION SAFETY FENCE

SCALE: NTS



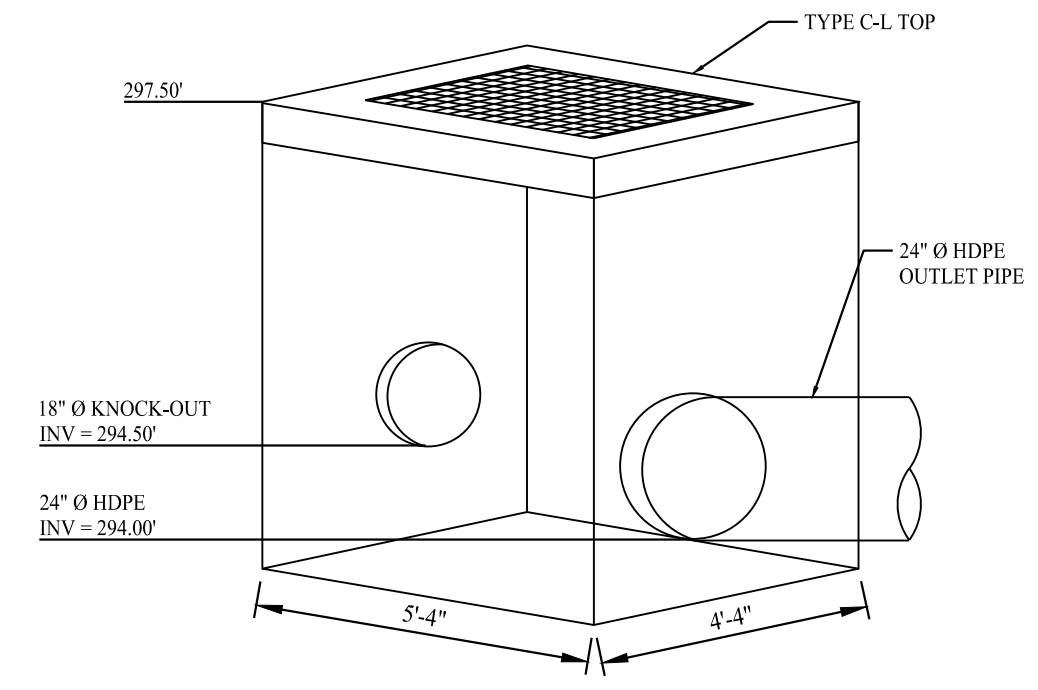
LEVEL SPREADER DETAIL

SCALE: NTS



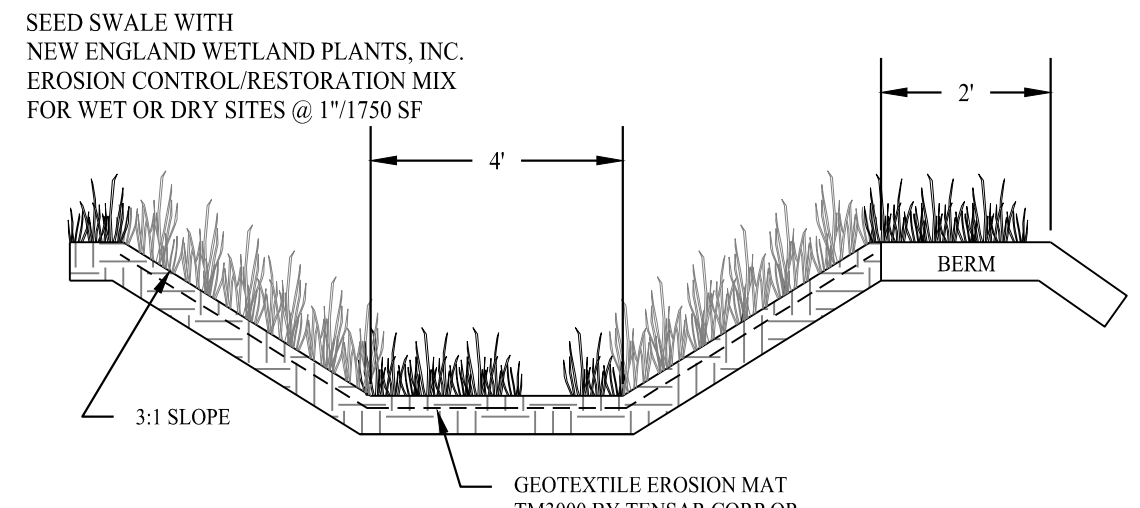
SLOPE STABILIZATION DETAIL

SCALE: NTS



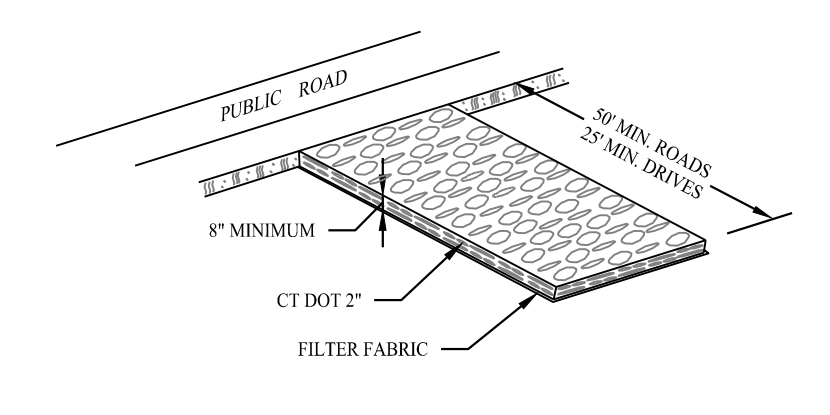
OUTLET CONTROL STRUCTURE (OCS-1)

SCALE: NTS



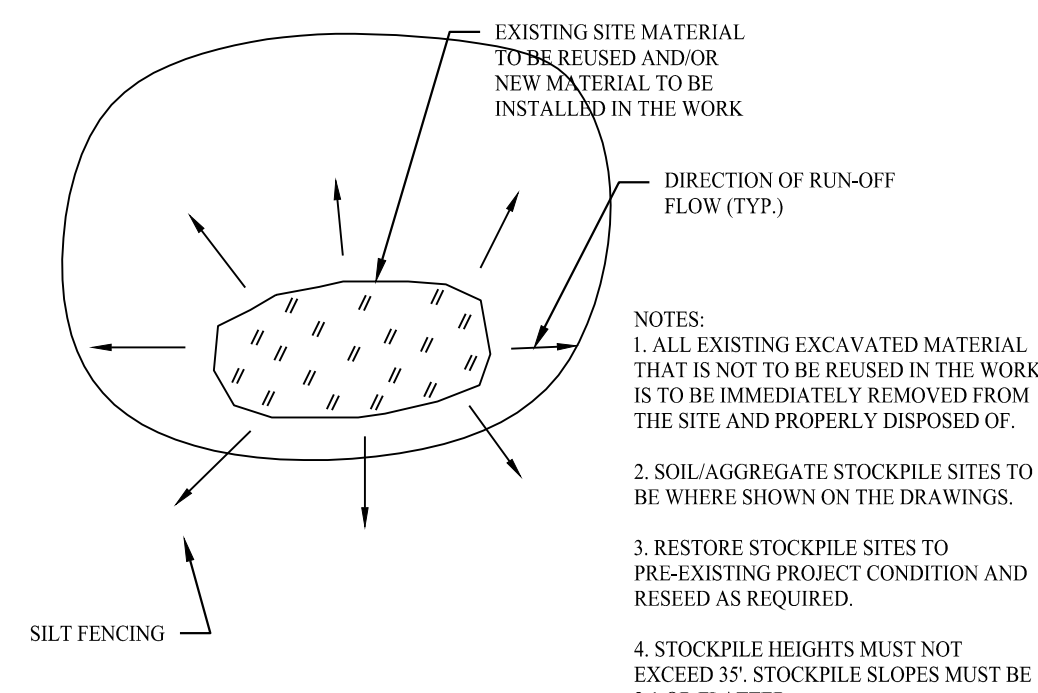
GRASS DIVERSION SWALE

SCALE: NTS



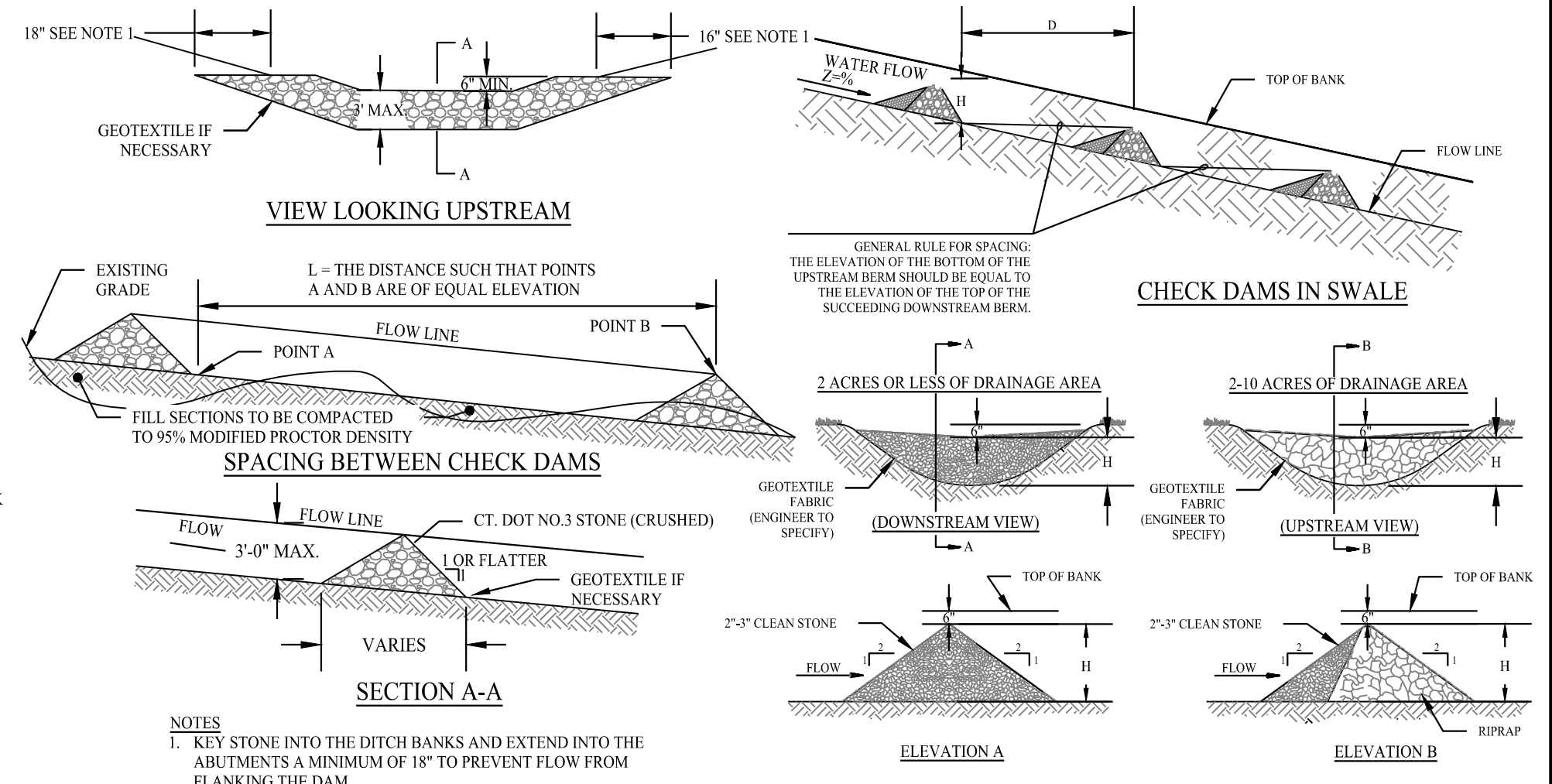
CONSTRUCTION ENTRANCE

SCALE: NTS



STOCKPILE AREA DETAIL

SCALE: NTS



STONE CHECK DAM DETAIL

SCALE: NTS

Sep 15, 2021 - 1:58pm
 X:\SE_Files\Project Data\2021\2008001 - 10 & 36 Main Street - Monroe, CT\Cadd Data\Excavation and Fill Permits\2008001-3.01.dwg
 mmonaco

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Drawn By: CJP
 Checked By: LAM
 Approved By: KMS
 Project #: 2008001
 Plan Date: 07/26/21
 Scale: NTS

Project:
 Kevin Solli, P.E.
 CT 25759

EXCAVATION/FILLING PERMIT APPLICATION
 10 & 36 MAIN STREET
 MONROE, CONNECTICUT

Sheet Title: **DETAIL SHEET**
 Sheet #: **3.01**