



December 9, 2020

Planning & Zoning Commission
Monroe Town Hall
7 Fan Hill Road
Monroe, Connecticut 06468

**RE: Application for Permit Approval Amendment Modification
SEP-2016-12 (File #1582A)
164 Enterprise Drive, Monroe, CT
Project Number: 1604501**

Dear Commission Members:

On behalf of the applicant, please find enclosed a Permit Approval Amendment Modification application for the previously approved SEP-2016-12 (File #1582A) for the proposed commercial development located at 164 Enterprise Drive, Monroe, Connecticut. Modifications to the previously approved site improvements include modifying the building footprint to accommodate a loading area in the rear of the building. Also included are changes in the paved area at the rear to allow circulation for maneuvering trucks.

As part of this application we have included a memorandum that details the specific changes to each plan with proposed modifications to the previously approved design. We have also included a plan set incorporating the proposed modifications and, when approved, will supersede the previously approved plans.

Respectfully,
Solli Engineering, LLC

Mary Blackburn, P.L.A.
Landscape Architect

Enclosures:

- (11) Memorandum
- (11) Modified Plan Set (Sheets 2.12, 2.22, 2.32, 2.52, 2.61 & 2.71)
- (11) Application

CC: Bruce Moore
Kevin Solli
Will Agresta
Scott Schatzlein

X:\SE Files\Project Data\2016\1604501 - 154 Enterprise Dr - Monroe\Office Data\Markups\Working Submission 2020-12-07\P&Z\2020-12-07 - P&Z PAAM Cover Letter.docx

**501 Main Street, Suite 2A
Monroe, CT 06468
Office: (203) 880-5455**

www.SolliEngineering.com

**351 Newbury Street, Suite 303
Boston, MA 02115
Office: (617) 203-3160**

ARCHITECTURAL REVIEW BOARD APPLICATION



TOWN OF MONROE
PLANNING & ZONING DEPARTMENT
7 Fan Hill Road, Monroe, CT 06468
Tel. (203) 452-2812

FOR OFFICE USE:

ARB File # _____

Project Name: _____

PZC Project #: _____ PZC File #: _____

Street Address: _____

Assessor Map: _____ and Lot: _____ Zoning District: _____ Lot Acreage: _____

REQUIRED APPLICATION SUBMISSION MATERIALS

- **Formal Application Submission** – Provide **two (2) paper application sets** (*plans folded and materials collated into individual sets*) and **one (1) pdf CD** including the following materials: (a) signed application form; (b) supporting application narrative; and (c) Submission Materials Required as listed below.
- **Sealed and Certified Plans** – All Surveys, Site Plans and Architectural Plans shall be current and include an original seal and live signature certification of the professional preparer.
- **Submission Materials Required**
 - Site Plans and Details – Layout, Grading and Landscape Plans and Details (24" x 36" Sheets)**
Site Plans shall indicate the existing and proposed treatment and detail of all site and building improvements; landscaping specifying location, number and type of vegetation; ingress and egress of vehicular and pedestrian traffic; parking and sidewalks; and the like.
 - Architectural Plans – Floor Plans and Exterior Elevations of ALL sides (24" x 36" Sheets)**
Floor Plans shall indicate entrances and exits with relation to exterior components, and interior use and layout, as well as interior connections between floors. Elevations shall clearly show and indicate proposed building materials and finishes; dimensions sufficient to establish overall building height and width and other pertinent dimensions to clearly describe design intent. Where an addition to an existing building or structure is proposed, the existing building or structure shall be shown grayed-out to contrast existing from proposed.
 - Signage and Lighting Plans and Details (24" x 36" Sheets)**
Design and details of signs and light fixtures, including catalog cuts, materials, colors and photometric plan.
 - Materials/Finishes**
Indicate materials and finishes on Elevations and Details. Provide samples of materials and finishes.
 - Relation to Adjacent Area**
Provide photographs of the project site and surrounding area.
 - Other Information**
Provide additional information as necessary to clearly describe the proposed project or as required by the ARB.

CONTACT INFORMATION

1. **Applicant's name:** _____
Address: _____
Phn/Cell: _____ Email: _____
Property interest: Owner Contract Vendee Tenant Other _____

2. **Owner's Name:** _____
Address: _____
Phn/Cell: _____ Email: _____

3. **Primary Contact Name:** _____
Business Address: _____
Phn/Cell: _____ Email: _____

The applicant's Primary Project Contact will be sent all correspondence (primarily via email) during the course of the project review and is responsible for distributing to the other applicant representatives.

4. Application Professionals	<i>Name</i>	<i>Phone/Cell</i>	<i>Email</i>
Attorney:	_____	_____	_____
Surveyor:	_____	_____	_____
Engineer:	_____	_____	_____
Landscape Architect:	_____	_____	_____
Architect:	_____	_____	_____
Other:	_____	_____	_____

DESCRIPTION OF PROPOSED PROJECT

New Building/Structure on Undeveloped Lot Addition to Existing Building/Structure on Developed Lot

Existing Footprint: _____ sf New Footprint: _____ sf Total Footprint: _____ sf

Existing GFA: _____ sf New GFA: _____ sf Total GFA: _____ sf

Existing Height / Stories: _____ ft _____ stories

Proposed Height / Stories: _____ ft _____ stories

Other Proposed Site Improvements:

ARB MISSION

The mission of the **Architectural Review Board (ARB)** is to assist applicants interested in constructing new buildings and structures, or altering and expanding existing buildings and structures, in the Town of Monroe ensure such proposals compliment the historical and residential nature of the Town and help preserve the quality of the Town's built and natural environments for generations to come.

ARB SERVES AN ADVISORY ROLE TO PLANNING AND ZONING COMMISSION

The ARB serves as an advisory Board to the Monroe Planning and Zoning Commission. The Planning and Zoning Commission is the approval entity of all projects before ARB.

ELEMENTS CONSIDERED BY ARB

The ARB evaluation will consider the following:

- **Landscape and Environment** – To ensure compatibility and complimentary changes to Monroe landscapes and environmental conditions; and to prevent the unnecessary destruction or blighting of the natural landscape or of the existing developed environment.
- **Design of Buildings and Structures** – To ensure Site Plans, architectural design and construction materials and finishes are of such nature and character they will compliment, be compatible and protect and preserve the integrity of existing patterns, styles, and vernacular image and character of the project site and surrounding area; while protecting property values of the Town.
- **Relationship of Buildings and Structure(s) to Open Space** – To ensure the treatment of disturbed areas in relation to open areas relates to existing topography and natural environmental conditions and patterns, as well as to existing buildings and structures of the site and surrounding area.
- **Consideration of Adjoining Properties and Uses** – To ensure reasonable provisions have been made for sight and sound buffers, preservation of views, and other design elements which may have impact adjoining properties and land uses.
- **Design of Accessory Elements** – To ensure the function and design of accessory project elements including but not limited to lighting, signage, landscaping are appropriately considered and incorporated, with emphasis on the scale and density of street landscaping elements, delivery route and refuse storage screening, and the like.

ARB MEETING SCHEDULE

- ARB meetings are second and third Tuesday of each month, except August and December, and holidays.
- ARB meetings begin at 7:30 pm and applicants and their professional representatives must attend and present their proposed project plans, and answer questions of the ARB.
- Most applications are evaluated in a single meeting, but additional meetings may be required based on the proposed project, its complexity or scale, and if sufficient information is not provided.

I(we) hereby certify that I(we) make this application as or on behalf of and with the full authority of the owner(s) of the property or premises and am aware of and understand the Zoning, Subdivision and Inland Wetlands Regulations pertinent to the application and affirm that the statements and information provided are accurate and true. Further, all the undersigned hereby authorizes the Town of Monroe and its agents, to access the premises for the purpose of application investigation, site review, inspection of improvements or construction, and enforcement of the Town's Regulations and Ordinances, and the General Statutes of the State of Connecticut, as may be applicable.

All the undersigned warrant the truth of all statements contained herein and in all supporting documents according to the best of their knowledge and belief. Further, all the undersigned understand and agree that the Architecture Review Board (ARB) and/or its Staff/Consultants may request additional information and it is the applicant's/owner's responsibility to provide this information in a timely fashion and to the ARB's satisfaction. If the information provided is incomplete or inaccurate, the ARB may hold additional meetings with the applicant and/or render a negative report and recommendation to the Planning and Zoning Commission.

This agreement shall be binding on all heirs, executors, administrators, successors and assigns of all undersigned.

APPLICANT(S) – (Both Applicant and Owner Notarized Signatures are Required)

BRUCE T. MOORE, SR. 12/3/2020
Applicant Name Printed Authorized Signature Date

Additional Applicant Authorized Signature Date
(Provide additional sheets as needed)

Subscribed and sworn to by means of physical presence on this day of Dec 3rd, 2020, before me:

Jessica C. Braz 1/31/25
Notary Public, Justice of the Peace, Commissioner of the Superior Court

Please note the following: This application must include the owner's signature and notarization or a written, notarized consent to submit this application, signed and dated by the owner.

OWNER(S) – (Both Applicant and Owner Notarized Signatures are Required)

Bu 154-164 Enterprise LLC
Owner Business Name
BRUCE T. MOORE, SR. 12/3/2020
Authorized Member Name Printed Authorized Signature Date

Subscribed and sworn to by means of physical presence on this day of Dec 3, 2020, before me:

Jessica C. Braz 1/31/25
Notary Public, Justice of the Peace, Commissioner of the Superior Court



PERMIT APPROVAL AMENDMENT MODIFICATION

To: Town of Monroe Planning & Zoning

From: Solli Engineering, LLC

Subject: Permit Approval Amendment Modification for
P&Z: SEP-2016-12-A1 (File #1582A)
164 Enterprise Drive

Date: 12/09/20

CC: Rick Schultz / Town Planner
William Agresta, AICP / Planning and Zoning Administrator

PROJECT DESCRIPTION

The project site, with a total area of approximately 3.01 acres, is accessed from Enterprise Drive via an unsignalized driveway. There is also secondary access to the site via an internal connection to the 154 Enterprise Drive property in the rear of the building. The project was previously approved for an industrial building with outdoor storage in 2010 (by others) and with a Permit Amendment Approval Modification prepared by Solli Engineering, LLC in 2017, to develop a 20,400 square-foot industrial building, with associated parking, drainage and utilities. An additional Permit Amendment Approval Modification prepared by Solli Engineering, was approved in 2018 for site modifications to the 154 Enterprise Drive site (Phase I) but did not include any modifications to the 164 Enterprise Drive site (Phase II).

PREVIOUS APPROVAL HISTORY

The previous Permit Approval Amendment Modification as prepared by Solli Engineering, LLC was approved by the Town of Monroe Planning & Zoning, under application number SEP-2016-12, file number 1582A and previously approved by the Town of Monroe Inland Wetlands Commission under application number I-07-06-A1 on August 2, 2017. The subsequent Permit Approval Amendment Modification as prepared by Solli Engineering, was approved by the Town of Monroe Planning & Zoning, under application number SEP-2016-12-A1, file number 1582A on April 5, 2018. SEP 2016-12 was for both 154 and 164 Enterprise Drive, for two flex-use industrial facilities to be constructed in Phases. 164 Enterprise Drive, the subject of this Permit Approval Amendment Modification, was previously approved as “Phase II” and 154 Enterprise Drive, already constructed and not subject to this application, was approved and built as “Phase I”.

PROPOSED PERMIT APPROVAL MODIFICATIONS

This Permit Approval Amendment Modification includes revisions to the size and footprint of the approved building to provide loading docks at the rear of the building, a minor expansion of the asphalt drive into the previously approved gravel area to accommodate truck turning at the rear of the site, and associated revisions to the grading and drainage, landscape and lighting plans to address the proposed site modifications.

Site Layout Plan Phase II Modifications

The Permit Approval Amendment Modification application proposes minor changes to the previously approved site layout plan. Below is a list of modifications to the previously approved plan that are depicted on the submitted Site Layout Plan:

- The plan has been revised to remove the previously approved fueling bay across from the north side of the building.
- The building footprint has been revised to accommodate a loading dock at the rear of the building.
- The gross floor area has increased by 200 square-feet from the previously approved 20,400 square-feet to the proposed 20,600 square-feet.
- The asphalt driveway was expanded into a previously approved gravel area at the rear of the site to accommodate truck maneuvering.
- The site was previously overparked by two (2) spaces for a total of 38 spaces. The proposed layout reduces the total parking to the required 36 spaces. The two spaces that have been eliminated at the northeast corner of the building to accommodate truck turning movements.

Grading and Drainage Plan Phase II Modifications

The Permit Approval Amendment Modification application includes The Grading and Drainage Plan, Sheet 2.22. Below is a list of modifications to the previously approved plan:

- Grading along the southwest corner of the property between the proposed parking lot, Enterprise Drive and the parking out of 154 Enterprise Drive has been modified to meet the as-built survey map's contours.
- Grading at the rear of the building has been adjusted to accommodate the deeper building and maintain a +/- 3% grade away from the building
- The grading contours and spot grades have been added to the truck well.
- Footing drains have been added to the front of the building and around the truck well. These drains are connected to the nearest catch basin. A call out has been added to indicate foundation drain to end prior to 25 feet from septic system.
- Roof leaders have been separated to the northeast and southeast corner of the building and connected to the collection system.
- The storm drainage collection system has been adjusted to accommodate the truck well and routing around the building. A separate drainage memorandum has been submitted along with this application to outline the changes in further details.

Soil Erosion and Sediment Control Plan Phase II Modifications

The Permit Approval Amendment Modification application includes The Soil Erosion and Sediment Control Plan, Sheet 2.32. Below is a list of modifications to the previously approved Plan:

- A stockpile location has been added to the plans
- Inlet protection has been adjusted for the new catch basin locations

Septic and Utility Plan Phase II Modifications

The Permit Approval Amendment Modification application includes The Septic and Utility Plan, Sheet 2.52. Below is a list of modifications to the previously approved Plan:

- The calculations for the septic system have been adjusted for the building footprint increase. No changes were done to the size of the septic system
- Invert into the building was adjusted to maintain a 2.08% minimum slope
- Footing drains have been added to the plans. Septic Notes #22 has been adjusted.

Landscape Plan Phase II Modifications

The Permit Approval Amendment Modification application includes The Landscape Plan, Sheet 2.61. Below is a list of modifications to the previously approved Plan:

- Plants in the landscape island at the north east corner of the building have been shifted to reflect the revised location of the island with the exception of three (3) Spirea shrubs and three (3) Juniper groundcovers that were moved from this island to the front landscape bed.

Lighting Plan Phase II Modifications

The Permit Approval Amendment Modification application includes The Lighting Plan, Sheet 2.71. Below is a list of modifications to the previously approved Plan:

- The four wall mounted lights along the front (west) façade of the building have been changed from a 15' mounting height to a mounting height of 16'-6"
- The three wall mounted fixtures along the side (north) façade of the building have been changed from a 15' mounting height to a mounting height of 15'-6"
- The location and mounting heights of the seven (7) wall mounted fixtures along the back (east) façade of the building have been revised to reflect the changes to the building footprint. All fixtures were previously approved with a 15' mounting height. Four (4) of the fixtures are proposed for a mounting height of 15'-6" and two (2) are proposed for a mounting height of 8'9".



DATE: _____ LOCATION: _____
 TYPE: _____ PROJECT: _____
 CATALOG #: _____

AIRO

AREA/SITE/ROAD LIGHTER

FEATURES

- Compact sleek design with multiple LED configurations and simple installation
- The Airo includes a universal mounting block for easy pole installation or mast arm option for 2-3/8 ft OD roadway brackets
- Capable of replacing up to 400w HID luminaires
- 8, 16 or 24 LED configurations with high performance lenses optimize photometric performance
- Tool-less entry for easy installation and maintenance
- 3G rated for high vibration applications including bridges and overpasses



RELATED PRODUCTS

- ⌘ [RAR1 Ratio](#)
- ⌘ [RAR2 Ratio](#)
- ⌘ [Cimarron LED](#)



CONTROL TECHNOLOGY



SPECIFICATIONS

CONSTRUCTION

- Stylish vertically finned die-cast and extruded aluminum for maximum heat dissipation
- Separate optical and electrical compartment for improved thermal management and optimum component operation
- EPA: 8L – .50ft², 16L – .62ft², 24L – .74ft²
- TGIC thermoset polyester powder paint finish applied at nominal 2.5 mil thickness

OPTICS

- Premium engineered individual acrylic lenses deliver IES Type II, III, IV and V distributions
- Lens distributions are field rotatable (in 90° increments) or exchangeable for job site fine-tuning
- 3000K, 4000K, or 5000K (70 CRI) CCT
- Zero uplight

INSTALLATION

- Tool-less entry to wiring/driver compartment
- Universal mounting block works with #2 drill pattern
- Fixture ships with slotted mounting block to accommodate wide range of drill patterns for easy retrofit opportunities
- Mast arm fitter accessory or option available for 2-3/8" OD brackets

ELECTRICAL

- Configured with 8, 16, or 24 high current and high output LEDs to replace 150, 250 and 400wHID respectively

ELECTRICAL CONTINUED

- Universal 120-277 VAC or 347-480 VAC input voltage, 50/60 Hz
- Ambient operating temperature -40° C to 40° C
- Drivers have greater than 90% power factor and less than 20% THD
- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery
- Field replaceable surge protection device provides 10KA and 10KV protection meeting ANSI/IEEE C62.41.2 Category C High and Surge Location Category C3; Automatically takes fixture off-line for protection when device is consumed

CONTROLS

- Photo control, occupancy sensor and wireless available for complete on/off and dimming control
- 7-pin ANSI C136.41-2013 photocontrol receptacle option available for twist lock photocontrols or wireless control modules (control accessories sold separately)
- 0-10V dimming leads available for use with control devices (provided by others, must specify lead length)
- In addition, AIRO can be specified with SiteSync™ wireless control system for reduction in energy and maintenance cost while optimizing light quality 24/7
- For more information, see ordering information or visit www.hubbellighting.com/sitesync

CERTIFICATIONS

- DesignLights Consortium (DLC) qualified, consult DLC website for more details: <http://www.designlights.org/QPL>
- Listed to UL1598 and CSA C22.2#250.0-24 for wet locations and 40°C ambient temperatures
- 3G rated for ANSI C136.31 high vibration applications
- IP65 optical assembly
- IDA approved

WARRANTY

- 5 Year warranty
- See [HLI Standard Warranty](#) for additional information

KEY DATA	
Lumen Range	5,752-21,331
Wattage Range	56-225
Efficacy Range (LPW)	82-136
Fixture Projected Life (Hours)	L70>125K
Weight lbs. (kg)	15-25 (6.8-10.8)

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ORDERING GUIDE

Example: ASL-A-8L-3K-070-2-U-BL-7PR

 CATALOG #

ORDERING INFORMATION

Series	Mounting	# LEDs	CCT	Drive Current	Distribution	Voltage	Color
ASL ¹ ASL Series	A Arm MAF Mast Arm Fitter	8L 8 High brightness LEDs 16L 16 High brightness LEDs 24L 24 High brightness LEDs	3K 3000K, 70 CRI 4K 4000K, 70 CRI 5K 5000K, 70 CRI	070 700mA ³ 140 1400mA ^{5,8} 210 2100mA	2 IES Type II 3 IES Type III 4 IES Type IV 5 IES Type V	U Universal 120-277V 1 120V 2 208V 3 240V 4 277V 5 480V F 347V	BL Black DB Dark Bronze GR Gray PS Platinum Silver WH White CC Custom Color4

Options	
F	Fusing (voltage specified and determined by voltage field)
7PR²	7-pin ANSI twist-lock photocell receptacle
RPA(x)	Round pole adapter (Replace X with 3, 4, 5 or 6 indicating pole diameter)
SWP⁶	SiteSync pre-commissioned
SWPM⁶	SiteSync wireless pre-commissioned w/ motion detection
SCP_F^{5,7}	Programmable motion sensor with dimming control (line voltage device not for use with 7PR receptacle option and external wireless control devices); A minimum of one SCP-REMOTE accessory remote control required for configuration; Wide lens with motion detection radius
TB	Terminal block

Notes:

- 1 Order poles with #2 drill pattern
- 2 7-pin ANSI C136.41-2013 receptacle for use with standard Twist-Lock® photocontrols, shorting caps and ANSI C136.41 external wireless control devices with and without motion/occupancy override.
- 3 For 24L configurations only
- 4 Contact factory for minimum order quantities
- 5 Not available with 347V or 480V
- 6 Specify group and zone. For more details, see SiteSync product page www.hubbellighting.com/controls/SiteSync
- 7 Specify mounting height; 8 = 8' or less, 9' to 40'
- 8 Only available with 16L and 24L configurations

STOCK ORDERING INFORMATION

Catalog Number	Description	Mtg.	Distribution	Wattage	# Drivers Drive Current	Voltage	CCT	Lumens	LPW	Weight lbs. (kg)
ASL-16L-3	Medium size 16 LED configuration, Dark Bronze	Arm	Type III	115	1@2100mA	120V-277V	4000K	12,674	110	18 (8.16)
ASL-16L-4	Medium size 16 LED configuration, Dark Bronze	Arm	Type IV	115	1@2100mA	120V-277V	4000K	12,974	113	18 (8.16)
ASL-24L-3	Large size 24 LED configuration, Dark Bronze	Arm	Type III	169	1@2100mA	120V-277V	4000K	18,595	110	20 (9.07)
ASL-24L-4	Large size 24 LED configuration, Dark Bronze	Arm	Type IV	169	1@2100mA	120V-277V	4000K	19,036	113	20 (9.07)

CONTROLS

Hubbell Control Solutions — Accessories (Sold Separately)
NX Distributed Intelligence™
 NXOFM-1R1D-UNV On-fixture Module (7-pin), On / Off / Dim, Daylight Sensor with HubbNET Radio and Bluetooth® Radio, 120-480VAC

wiSCAPE® Lighting Control
 WIR-RME-L On-fixture Module (7-pin or 5-pin), On / Off / Dim, Daylight Sensor with wiSCAPE Radio, 110-480VAC

 For additional information related to these accessories please visit www.hubbellcontrolsolutions.com. Options provided for use with integrated sensor, please view specification sheet ordering information table for details.

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CONTROL ACCESSORIES (ORDERED SEPARATELY)

Catalog Number	Description
<input type="checkbox"/> SCP-Remote	Remote Control for SCP/_F option. Order at least one per project to program and control the occupancy sensor
<input type="checkbox"/> SWUSB	SiteSync interface software loaded on USB flash drive for use with owner supplied PC (Windows based only). Includes SiteSync license, software and USB radio bridge node*
<input type="checkbox"/> SWTAB	Windows tablet and SiteSync interface software. Includes tablet with preloaded software, SiteSync license and USB radio bridge node*
<input type="checkbox"/> SWBRG	SiteSync USB radio bridge node only. Order if a replacement is required or if an extra bridge node is requested
<input type="checkbox"/> SW7PR	SiteSync 7 Pin on fixture module On/Off/Dim, Daylight Sensor 120-480VAC*

Notes:

- * When ordering SiteSync at least one of these two interface options must be ordered per project
- + Available as a SiteSync retrofit solution for fixtures with an existing 7pin receptacle

ACCESSORIES (ORDERED SEPARATELY)

Catalog Number	Description
<input type="checkbox"/> ASL-MAF	Mast arm kit with wildlife shield for mounting on 2 3/8" OD arms
<input type="checkbox"/> SETA2-XX ¹	Square pole tenon adapter (4 at 90 degrees) (2 3/8" OD tenon)
<input type="checkbox"/> RETA2-XX ¹	Round pole tenon adapter (4 at 90 degrees) (2 3/8" OD tenon), requires CL1S-RPA4-ACC-XX for each luminaire
<input type="checkbox"/> TETA2-XX ¹	Hexagonal pole tenon adapter (3 at 120 degrees) (2 3/8" OD tenon)
<input type="checkbox"/> ASL-EHS-BL	External house side shield (1 kit contains 6 shields)
<input type="checkbox"/> ASL-ESS-BL	External side shield (1 kit contains 6 shields)
<input type="checkbox"/> ASL-ARMMTG-XX ¹	Arm mounting kit for side of pole attachment
<input type="checkbox"/> SCP-REMOTE	Remote control for SCPW option. Order at least one per project to program and control
<input type="checkbox"/> CL1S-RPA4-ACC-XX ¹	Round Pole Adapter (* denotes pole diameter; 3 = 3 1/4" -3 3/4"; 4* = 3 7/8" - 6")
<input type="checkbox"/> WB-AREA-XX ¹	Wall bracket, Compatible with standard arm mount option
<input type="checkbox"/> PTL-1	Photocontrol - twist-lock cell (120V) - Requires 7PR option
<input type="checkbox"/> PTL-8	Photocontrol - twist-lock cell (120-277V) - Requires 7PR option
<input type="checkbox"/> PSC	Shorting cap - twist-lock - Requires 7PR option
<input type="checkbox"/> ASL8L2LENS	Type II, 2 lenses included
<input type="checkbox"/> ASL8L3LENS	Type III, 2 lenses included
<input type="checkbox"/> ASL8L4LENS	Type IV, 2 lenses included
<input type="checkbox"/> ASL8L5LENS	Type V, 2 lenses included

1 Replace XX with color choice, eg.: DB for Dark Bronze

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AREA/SITE/ROAD LIGHTER

PERFORMANCE DATA

Description	# of LEDs	Drive Current	System Watts	Dist. Type	5K (5000K NOMINAL 70 CRI)					4K (4000K NOMINAL 70 CRI)					3K (3000K NOMINAL 80 CRI)				
					Lumens	LPW ¹	B	U	G	Lumens	LPW ¹	B	U	G	Lumens	LPW ¹	B	U	G
ASL-8	8	2100	59	2	6628	112	1	0	1	6563	111	1	0	1	5906	100	1	0	1
				3	6455	109	1	0	1	6391	108	1	0	1	5752	97	1	0	1
				4	6607	112	1	0	1	6542	111	1	0	1	5888	100	1	0	1
				5	6512	110	3	0	1	6448	109	3	0	1	5803	98	3	0	1
ASL-16	16	1400	56	2	7609	136	2	0	2	7492	134	2	0	2	6830	122	1	0	1
				3	7410	133	2	0	2	7296	131	2	0	2	6652	119	1	0	1
				4	7586	136	1	0	2	7469	134	1	0	2	6809	122	1	0	1
				5	7476	134	3	0	2	7361	132	3	0	1	6711	120	3	0	1
ASL-16	16	2100	115	2	13145	114	2	0	2	13015	113	2	0	2	11713	102	2	0	2
				3	12801	111	2	0	2	12674	110	2	0	2	11406	99	2	0	2
				4	13104	114	2	0	2	12974	113	2	0	2	11676	102	2	0	2
				5	12915	112	4	0	2	12788	111	4	0	2	11509	100	4	0	2
ASL-24	24	1400	114	2	14744	129	3	0	3	14517	127	2	0	2	13336	117	2	0	2
				3	14358	126	3	0	3	14137	124	3	0	3	12987	114	2	0	2
				4	14698	129	2	0	2	14472	127	2	0	2	13295	117	2	0	2
				5	14486	127	4	0	2	14263	125	4	0	2	13103	115	4	0	2
ASL-24	24	2100	169	2	19286	114	3	0	3	19095	113	3	0	3	17186	102	3	0	3
				3	18781	111	3	0	3	18595	110	3	0	3	16736	99	2	0	2
				4	19227	114	3	0	2	19036	113	3	0	2	17133	101	2	0	2
				5	18949	112	4	0	2	18761	111	4	0	2	16885	100	4	0	2
ASL-24	24	700	225	2	21063	94	3	0	3	20880	93	3	0	3	18474	82	3	0	3
				3	21111	94	3	0	3	20927	93	3	0	3	18516	82	3	0	3
				4	21258	94	3	0	2	21073	94	3	0	2	18645	83	3	0	2
				5	21331	95	4	0	2	21145	94	4	0	2	18709	83	4	0	2

¹ *347 and 480 VAC input Lumen values are from photometric test performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown. Actual performance may differ as a result of end-user environment application and inherent performance balances of the electrical components.

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AREA/SITE/ROAD LIGHTER

ELECTRICAL DATA

Catalog number	# of Drivers	Input Voltage	Current (AMPS)	System Power
8	1@(2100mA)	120	59	0.49
		208	59	0.28
		240	59	0.25
		277	59	0.21
16	1@(1400mA)	120	56	0.47
		277	56	0.20
16	1@(2100mA)	120	115	0.96
		208	115	0.55
		240	115	0.48
		277	115	0.42
24	1@(1400mA)	120	114	0.95
		277	114	0.41
24	1@(2100mA)	120	169	1.41
		208	169	0.81
		240	169	0.70
		277	169	0.61
24	1@(700mA)	120	225	1.88
		208	225	1.08
		240	225	0.94
		277	225	0.81

LUMINAIRE AMBIENT TEMPERATURE FACTOR (LATF)

Ambient Temperature		Lumen Multiplier
0° C	32° F	1.06
10° C	50° F	1.03
20° C	68° F	1.01
25° C	77° F	1.00
30° C	86° F	0.99
40° C	104° F	0.97
50° C	122° F	0.94

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

PROJECTED LUMEN MAINTENANCE

Ambient Temperature	OPERATING HOURS					
	0	25,000	50,000	TM-21-11' L96 60,000	100,000	L70 (Hours)
25°C / 77°F	1.00	0.93	0.90	0.86	0.75	>125,000
40°C / 104°F	0.99	0.90	0.86	0.81	0.67	>88,000

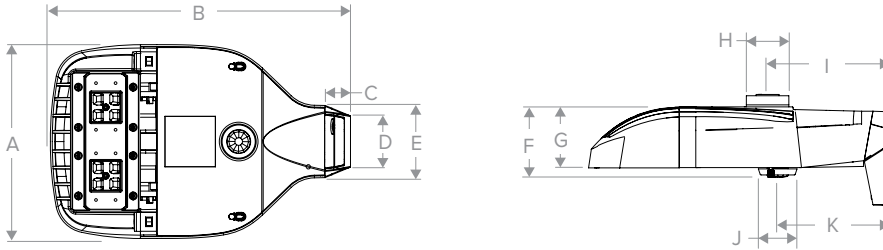
1. Projected per IESNA TM-21-11 (* Cree XP-L, 2100mA, 105°C Ts, 6,000hrs)

AIRO

AREA/SITE/ROAD LIGHTER

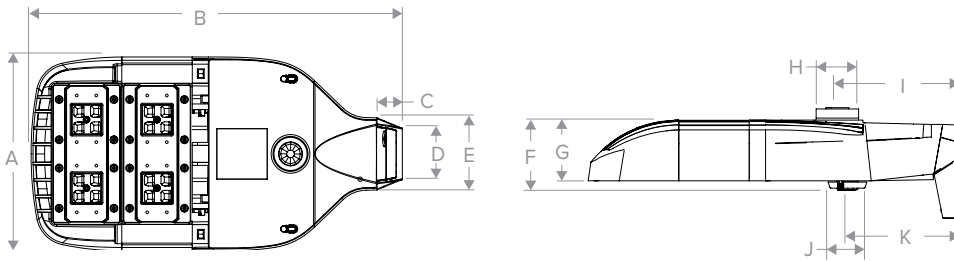
DIMENSIONS

ASL-8L



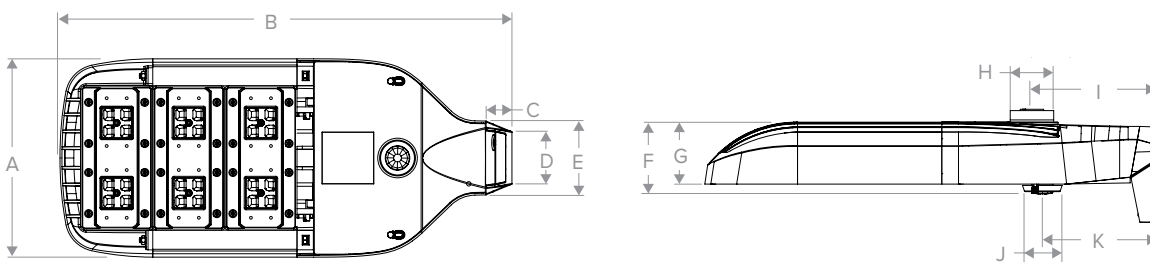
A	B	C	D	E	F	G	H	I	J	K
11.7"	17.25"	1.5"	3.1"	4.3"	5.9"	3.6"	2.5"	7.4"	2.3"	6.7"
297mm	438mm	38mm	78mm	109mm	150mm	91mm	63mm	188mm	58mm	170mm

ASL-16L



A	B	C	D	E	F	G	H	I	J	K
11.7"	22.4"	1.5"	3.1"	4.3"	5.9"	3.6"	2.5"	7.4"	2.3"	6.7"
297mm	569mm	38mm	78mm	109mm	150mm	91mm	63mm	188mm	58mm	170mm

ASL-24L



A	B	C	D	E	F	G	H	I	J	K
11.7"	17.25"	26.6"	3.1"	4.3"	5.9"	3.6"	2.5"	7.4"	2.3"	6.7"
297mm	438mm	675mm	78mm	109mm	150mm	91mm	63mm	188mm	58mm	170mm

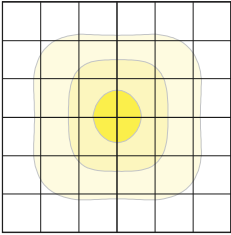
AIRO

AREA/SITE/ROAD LIGHTER

PHOTOMETRY

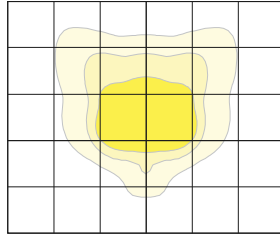
The following diagrams represent the general distribution options offered for this product. For detailed information on specific product configurations, see [website photometric test reports](#).

ASL-24L-5K Type V



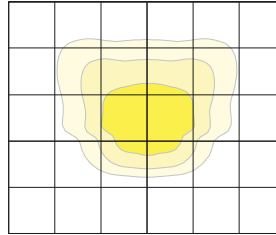
Mounting Height: 25'

ASL-24L-5K Type IV



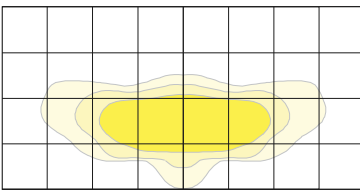
Mounting Height: 25'

ASL-24L-5K Type IV HS



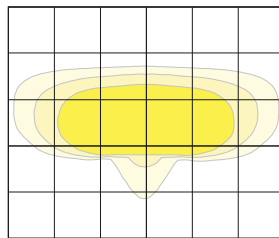
Mounting Height: 25'

ASL-24L-5K Type II



Mounting Height: 25'

ASL-24L-5K Type III



Mounting Height: 25'

ADDITIONAL INFORMATION

SHIPPING INFORMATION

Catalog Number	G.W(kg)/ CTN	Carton Dimensions		
		Length Inch (cm)	Width Inch (cm)	Height Inch (cm)
ASL-8L	15.0 (6.8)	20.75 (52.7)	15.13 (38.4)	6.94 (17.6)
ASL-16L	19.0 (8.6)	25.0 (63.5)	15.13 (38.4)	6.94 (17.6)
ASL-24L	24.0 (10.8)	25.0 (63.5)	15.13 (38.4)	6.94 (17.6)

SITESYNC 7-PIN MODULE



SW7PR

- SiteSync Features in a new form
- Available as an accessory for new construction or retrofit applications (with existing 7-Pin receptacle)
- Available on all products that have a 7-Pin receptacle
- Does not interface with occupancy sensors



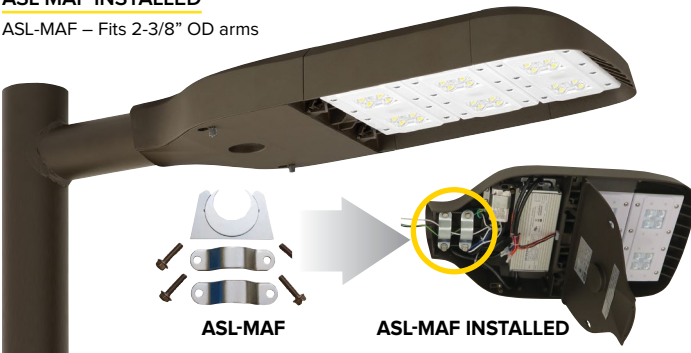
SWP & SWPM - SITESYNC™



SiteSync Lighting Control is available from our most popular brands in a broad range of award-winning product families.

ASL-MAF INSTALLED

ASL-MAF – Fits 2-3/8" OD arms



AIRO

AREA/SITE/ROAD LIGHTER

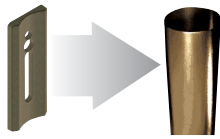
ADDITIONAL INFORMATION (CONT'D)

WALL MOUNT ACCESSORY

WB-AREA-XX wall mount bracket designed for building mount applications



ASL-EHS-BL



ROUND POLE ADAPTER



WB-AREA-XX



ASL8L2LENS



ASL8L3LENS

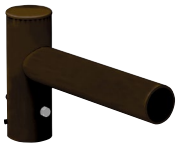


ASL8L4LENS



ASL8L5LENS

PRODUCT	NUMBER OF KITS	NUMBER OF LENSES
ASL8L	1	2
ASL16L	2	4
ASL24L	3	6



SPOKE BRACKET (single arm shown)
Horizontal round arm tenon adapters for use with MAF mounting type or accessory kit. Reference SH Spoke Pole Top Brackets for ordering information.

USE OF TRADEMARKS AND TRADE NAMES

All product and company names, logos and product identifies are trademarks™ or registered trademarks® of Hubbell Lighting, Inc. or their respective owners. Use of them does not necessarily imply any affiliation with or endorsement by such respective owners.



Color: Bronze

Weight: 7.1 lbs

Project:

Type:

Prepared By:

Date:

Driver Info

Type	Constant Current
120V	0.26A
208V	0.16A
240V	0.14A
277V	0.12A
Input Watts	29.1W

LED Info

Watts	26W
Color Temp	4000K (Neutral)
Color Accuracy	71 CRI
L70 Lifespan	100,000
Lumens	3,529
Efficacy	121.3 lm/W

Technical Specifications

Listings

UL Listed:

Suitable for wet locations. Suitable for mounting within 1.2m (4ft) of the ground.

DLC Listed:

This product is listed by Design Lights Consortium (DLC) as an ultra-efficient premium product that qualifies for the highest tier of rebates from DLC Member Utilities. DLC Product Code: P0000175P

Performance

Lifespan:

100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

Construction

IP Rating:

Ingress Protection rating of IP66 for dust and water

Finish:

Formulated for high durability and long-lasting color

Ambient Temperature:

Suitable for use in up to 40°C (104°F)

Cold Weather Starting:

Minimum starting temperature is -40°C (-40°F)

Green Technology:

Mercury and UV free. RoHS-compliant components.

LED Characteristics

Color Consistency:

3-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color

Color Stability:

LED color temperature is warranted to shift no more than 200K in color temperature over a 5-year period

Color Uniformity:

RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

Other

Patents:

The WPLED design is protected by U.S. Pat. D634878, Canada Pat 134878, China Pat. CN301649064S.

Equivalency:

Equivalent to 150W Metal Halide

Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Technical Specifications (continued)

Optical

BUG Rating:

B1 U0 G0

Electrical

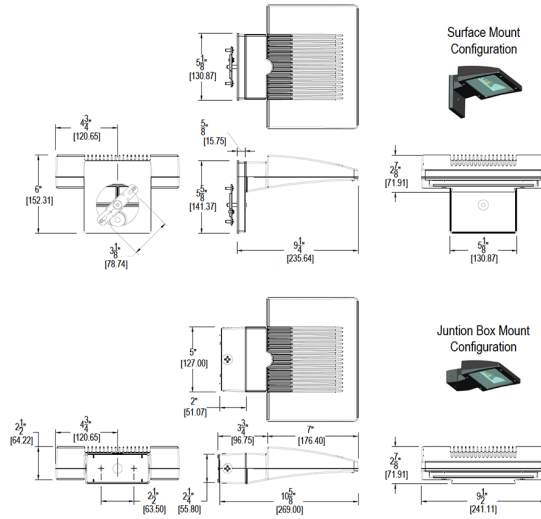
Driver:

Multi-chip 26W high output long life LED Driver
Constant Current, 720mA, Class 2, 6kV Surge
Protection, 100V-277V, 50-60 Hz, 100-240V.4
Amps.

THD:

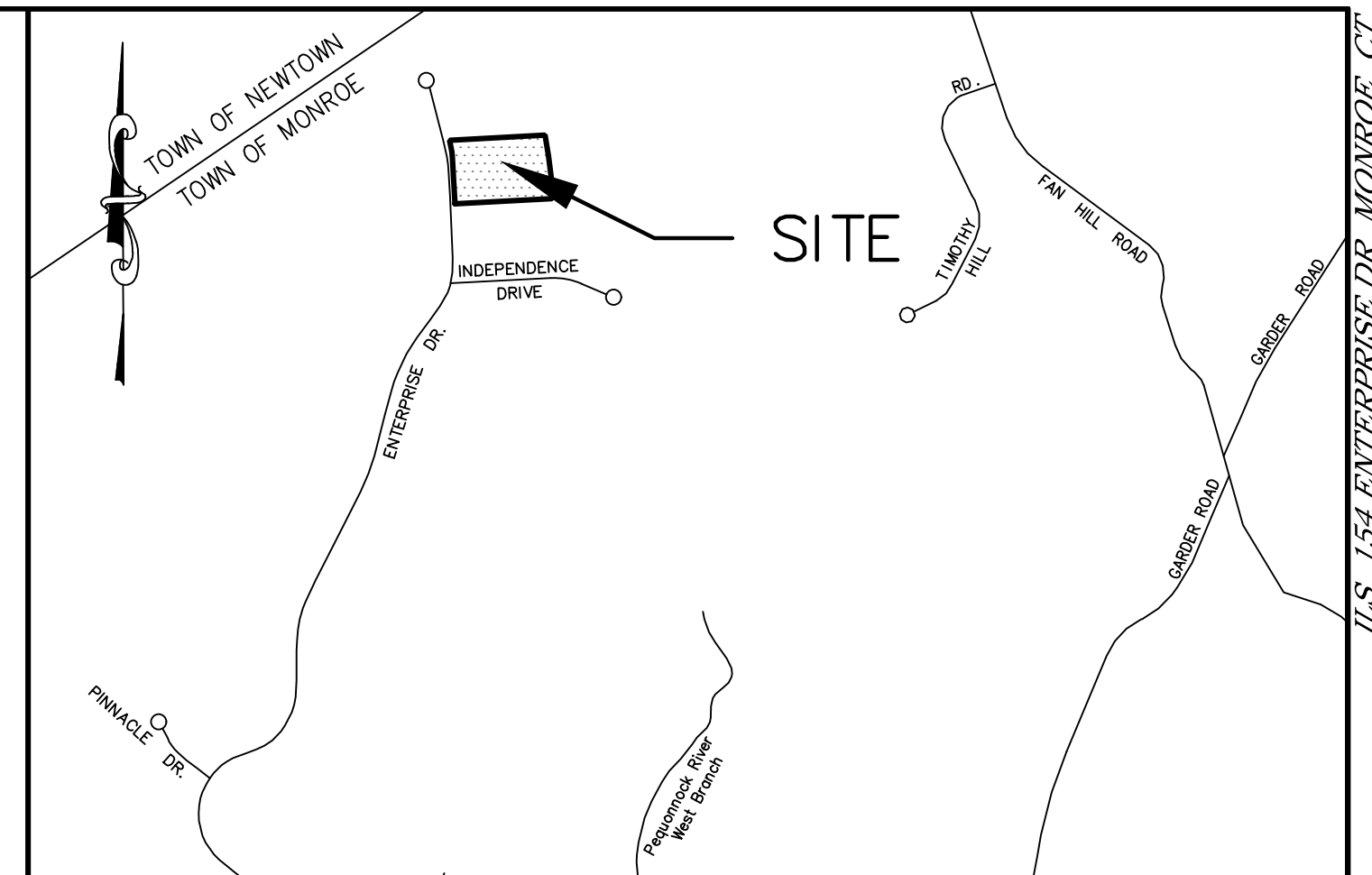
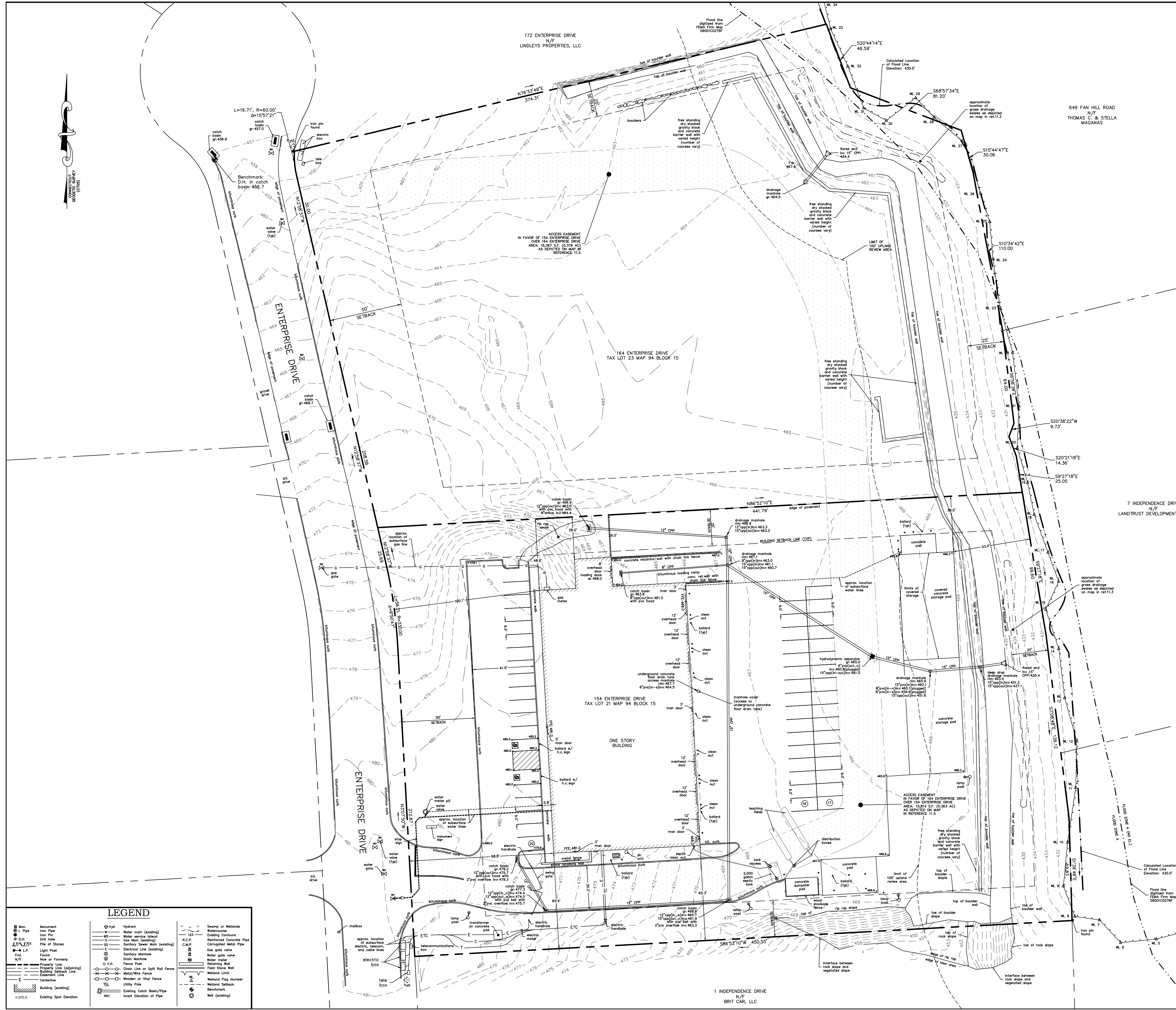
6.94% at 120V, 11.17% at 277V

Dimensions



Features

- Maintains 70% of initial lumens at 100,000-hours
- Weatherproof high temperature silicone gaskets
- Superior heat sinking with die cast aluminum housing and external fins
- 100 up to 277 Volts
- 5-Year, No-Compromise Warranty



LOCATION MAP

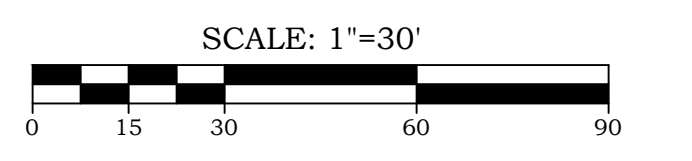
SCALE: 1"=800'

GENERAL SURVEY NOTES

- THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATION OF CONNECTICUT STATE AGENCIES, SECTION 20-300b-1 THROUGH 20-300b-20, AND THE "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC., ON SEPTEMBER 26, 1996.
- THE BOUNDARY DETERMINATION IS BASED UPON THE DEPENDENT RESURVEY METHOD.
- THE SURVEY CONFORMS TO HORIZONTAL CLASS A-2 ACCURACY STANDARDS. VERTICAL DATA CONFORMS TO CLASS T-2 STANDARDS. CONTOURS AND ELEVATIONS REFER TO NGVD 29 DATUM.
- BEARINGS, COORDINATES AND ELEVATIONS ARE DERIVED FROM THE CONNECTICUT GEODETIC SURVEY (CTS) VIA GPS TECHNOLOGY AND CONVENTIONAL SURVEY METHODS.
- THIS IS AN IMPROVEMENT LOCATION SURVEY. THE PURPOSE OF WHICH IS TO SHOW AS-BUILT SITE CONDITIONS.
- PROPERTY IS ALSO KNOWN AS TOWN OF MONROE TAX LOTS 21 ON ASSESSORS MAP 94 BLOCK 15.
- TOTAL AREA = 131,499 SQ.FT. OR 3.019 ACRES
- PROPERTY LIES IN ZONING DISTRICT "1-2".
- A PORTION OF THE PARCEL LIES WITHIN FLOOD ZONE A (DETERMINED FLOOD ELEVATION HAS BEEN APPROXIMATED TO BE 430' RELATIVE TO NGVD 29 DATUM) AS SHOWN ON FEMA FIRM MAP 0901C0276F, EFFECTIVE DATE JUNE 18, 2010.
- THE LOCATION OF UNDERGROUND UTILITIES, OTHER THAN DEPICTED HEREON, IF ANY, IS UNKNOWN.
- MAP REFERENCE:
- PLAN ENTITLED "RESUBDIVISION MAP SECTION 3, PREPARED FOR MONROE LAND HOLDINGS, LLC, ENTERPRISE DRIVE / CAMBRIDGE DRIVE, MONROE, CONNECTICUT", SCALE: 1" = 100', DATED: OCT. 14, 2005, BY SPATH-BORJUND ASSOCIATES, INC. ON FILE IN THE TOWN OF MONROE CLERK'S OFFICE AS MAP 2911A.
- PLAN ENTITLED "MAP OF MUTUAL ACCESS EASEMENTS ON PORTIONS OF LOTS 21 & 23, MAP OF 'MONROE LAND HOLDINGS, LLC', MONROE CT, PREPARED FOR: NAGY BROTHERS CONSTRUCTION COMPANY, INC.", SCALE: 1" = 40', DATED: 15 MARCH, 2010, BY LAND ENGINEERING & SURVEYING, LLC. ON FILE IN THE TOWN OF MONROE CLERK'S OFFICE AS MAP 3050.
- PLAN ENTITLED "SITEWORK AS-BUILT PLAN, PROPERTY LOCATED AT 154 & 164 ENTERPRISE DRIVE, MONROE, CONNECTICUT, PREPARED FOR NAGY BROTHERS CONSTRUCTION COMPANY, INC.", SCALE: 1" = 40', DATED: AUGUST 23, 2010, SHEET 1 OF 1, BY LAND ENGINEERING & SURVEYING, LLC. JOB NO. L05-605.
- PLAN ENTITLED "ZONING LOCATION SURVEY OF 154/164 ENTERPRISE DRIVE, MONROE, CONNECTICUT", SCALE: 1"=40', DATED: 10/18/2016, REVISED THROUGH: 1/31/2017, PREPARED BY ACCURATE LAND SURVEYING, LLC, SEMOUR, CT.
- PLAN ENTITLED "PROPOSED EASEMENT MAP, SHOWING ACCESS EASEMENTS ON PORTIONS OF 154 AND 164 ENTERPRISE DRIVE, MONROE, CONNECTICUT", SCALE: 1"=40', DATED: 6/2/2017, PREPARED BY ACCURATE LAND SURVEYING, LLC, SEMOUR, CT.

ZONING TABLE		
ZONING DISTRICT "1-2"	REQUIRED	PROVIDED
BULK STATISTICS	3.0 ACRES (130,578 S.F.)	3.0 ACRES (131,449 S.F.)
MIN. LOT AREA	3,000 S.F.	3,000 S.F.
MIN. LOT FRONTAGE	100'	295.27'
PUBLIC ROAD- UNDEVELOPED SITE	200'	295.27'
PRIVATE COMMERCIAL STREET	150'x150'	150'x150'
MIN. BUILDING SETBACK (FRONT)	50'	98.8'
PRIVATE COMMERCIAL STREET	50'	98.8'
MIN. BUILDING SETBACK (REAR)	25'	29.0'
MAX. HEIGHT	25'	237.3'
	3 STORIES/40'	1 STORY/40'
BUILDING COVERAGE	25% (32,862 S.F.)	BUILDING: 18,597 S.F. COVERED STORAGE: 2,754 S.F. TOTAL: 21,351 S.F. (16.2%)

No.	Date	REVISION DESCRIPTION



ACCURATE LAND SURVEYING, LLC
 29 NEW HAVEN ROAD, 501 MAIN STREET
 SEMOUR, CT 06483 MONROE, CT 06468
 TEL: 203.891.8145 TEL: 203.890.9455

IMPROVEMENT LOCATION SURVEY

OF
 154 ENTERPRISE DRIVE,
 MONROE, CONNECTICUT

PREPARED FOR
 154 - 164 Enterprise, LLC

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

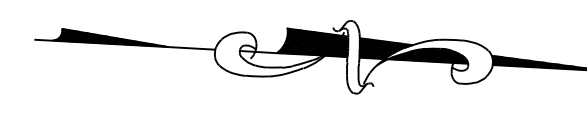
Date 9/13/2018
 Scale 1"=30'
 Job No. 716
 Drawing No. 1 of 1

BRYAN P. NESTERAK, PE, LS 23556

LEGEND

<ul style="list-style-type: none"> Mon. Monument Iron Pipe D.H. Drill Hole Pile of Stones Light Post Found N/T Now or Formerly Property Line Property Line (approx.) Building Setback Line Easement Line Centerline Building (existing) Existing Spot Elevation 	<ul style="list-style-type: none"> Hydr. Hydrant Water main (existing) Water service lateral Gas Main (existing) Sanitary Sewer Main (existing) Electrical Line (existing) Sanitary Manhole Drain Manhole Fence Post Chain Link or Split Rail Fence Mail/Wire Fence Wooden or Vinyl Fence Utility Pole Existing Catch Basin/Pipe Invest Elevation of Pipe 	<ul style="list-style-type: none"> Swamp or Wetlands Watercourse Existing Contours Reinforced Concrete Pipe C.M.P. Corrugated Metal Pipe Gas gate valve Water gate valve Water meter Heating Well Field Stone Wall Wellhead Wellhead Setback Well (existing)
---	--	---

1 INDEPENDENCE DRIVE
 N/F
 BRIT CAR, LLC



LEGEND

	PROPERTY LINE/SUBDIVISION
	RIGHT-OF-WAY LINE
	ADJOINING LOT LINE
	BUILDING SETBACK & LANDSCAPE BUFFER
	LIMIT OF WETLAND
	LIMIT OF UPLAND REVIEW AREA
	CALCULATED FLOOD LINE
	FEMA FLOOD LINE
	ACCESSIBLE AND STANDARD PARKING SPACES
	BUILDING LINE
	HEAVY DUTY BITUMINOUS CONCRETE PAVEMENT
	STANDARD DUTY BITUMINOUS CONCRETE
	GRAVEL PAVEMENT
	CONCRETE PAVEMENT FLUSH CONDITION
	DUMPSTER/TRASH RECEPTACLE
	METAL BEAM GUIDERAIL
	RETAINING WALL
	BITUMINOUS CONCRETE CURB
	FLUSH CONDITION
	SAWCUT PAVEMENT LINE
	LIMIT OF OUTDOOR STORAGE AREA
	PARKING SPACE COUNT
	SIGN PARKING INDICATOR
	DOOR LOCATION

WETLAND AREA TABLE

AREA	LOT (ACRE)
LOT AREA	3.01 ±
WETLANDS ON LOT	0.008 ±
UPLAND REVIEW AREA ON LOT	0.840 ±
WETLANDS TO BE ALTERED	0
UPLAND REVIEW AREA TO BE ALTERED	0.300 ±
TOTAL REGULATED AREA TO BE ALTERED	0.300 ±

SIGN LEGEND

SIZES (IN)	CONN DOT #	SUPPORTS
30"	31-0552	1
12"x18"	31-0629P	1
12"x6"	31-0648	1
12"x6"	31-0648	1

- ### APPROVED VARIANCES
- \$117-1203 DIMENSIONAL REQUIREMENTS - REDUCTION OF MINIMUM STREET YARD FROM 100 TO 50 FEET; (CURRENT I-2 DISTRICT STANDARD)
 - \$117-1203 DIMENSIONAL REQUIREMENTS - REDUCTION OF FRONTING INTERNAL ROAD INDUSTRIAL PARK DEVELOPMENT FROM 75 TO 0 FEET; (CURRENT I-2 DISTRICT STANDARD)
 - \$117-1203 DIMENSIONAL REQUIREMENTS - MINIMUM YARD REDUCTION OF ALL OTHER YARDS FROM 50 FEET TO 25 FEET; (CURRENT I-2 DISTRICT STANDARD)
 - \$117-1202c CONSTRUCTION COMPANY PERMITTED IN A DI-2 (NOW I-2) DISTRICT;
 - \$117-1203g OUTSIDE STORAGE IN EXCESS OF 20% OF THE BUILDING AREA.
 - \$117-1203a LOCATION OF PARKING / INTERNAL DRIVEWAY TO PROPERTY LINE FROM 25 FEET TO 0 FEET.

ZONING COMPLIANCE TABLE FOR 164 ENTERPRISE DRIVE

ZONING REQUIREMENT	ZONING STANDARD	EXISTING CONDITIONS	PROPOSED CONDITIONS	RESULTANT CONDITIONS
MINIMUM LOT AREA	3 AC	3.01± AC	3.01± AC	3.01± AC
MINIMUM LOT FRONTAGE	100 FT	N/A	N/A	N/A
PUBLIC ROAD - UNDEVELOPED SITE	200 FT	N/A	N/A	N/A
INDIVIDUAL LOTS - PUBLIC ROAD	200 FT	265 FT	265 FT	265 FT
INTERNAL ROAD INDUSTRIAL PARK DEVELOPMENT	200 FT	265 FT	265 FT	265 FT
MINIMUM SQUARE	150 FT	>150 FT	>150 FT	>150 FT
MINIMUM FRONT YARD ENTERPRISE DRIVE	50 FT	N/A	99 FT	99 FT
MINIMUM FRONT YARD PRIVATE COMMERCIAL STREET	50 FT	N/A	N/A	N/A
MINIMUM YARD FOR BUILDINGS AT RESIDENTIAL ZONE BOUNDARY	100 FT	N/A	N/A	N/A
DRIVEWAY ACCESS EASEMENT / RIGHT-OF-WAY	25 FT	N/A	N/A	N/A
NORTH SIDE YARD	25 FT	N/A	80.0 FT	80.0 FT
SOUTH SIDE YARD	25 FT	N/A	25.2 FT	25.2 FT
REAR YARD	25 FT	N/A	143.8 FT	143.8 FT
MAXIMUM HEIGHT	30 FEET	N/A	23 STOREYS / 29 FEET	23 STOREYS / 29 FEET
BUILDING COVERAGE	25%	N/A	15.7%	15.7%
PARKING SETBACK/LANDSCAPE BUFFER				
STREET LINE	50 FT	N/A	50 FT	50 FT
PROPERTY LINE	25 FT	N/A	26.4 FT	26.4 FT
RESIDENTIAL DISTRICT	100 FT	N/A	N/A	N/A

164 ENTERPRISE PARKING COMPLIANCE TABLE

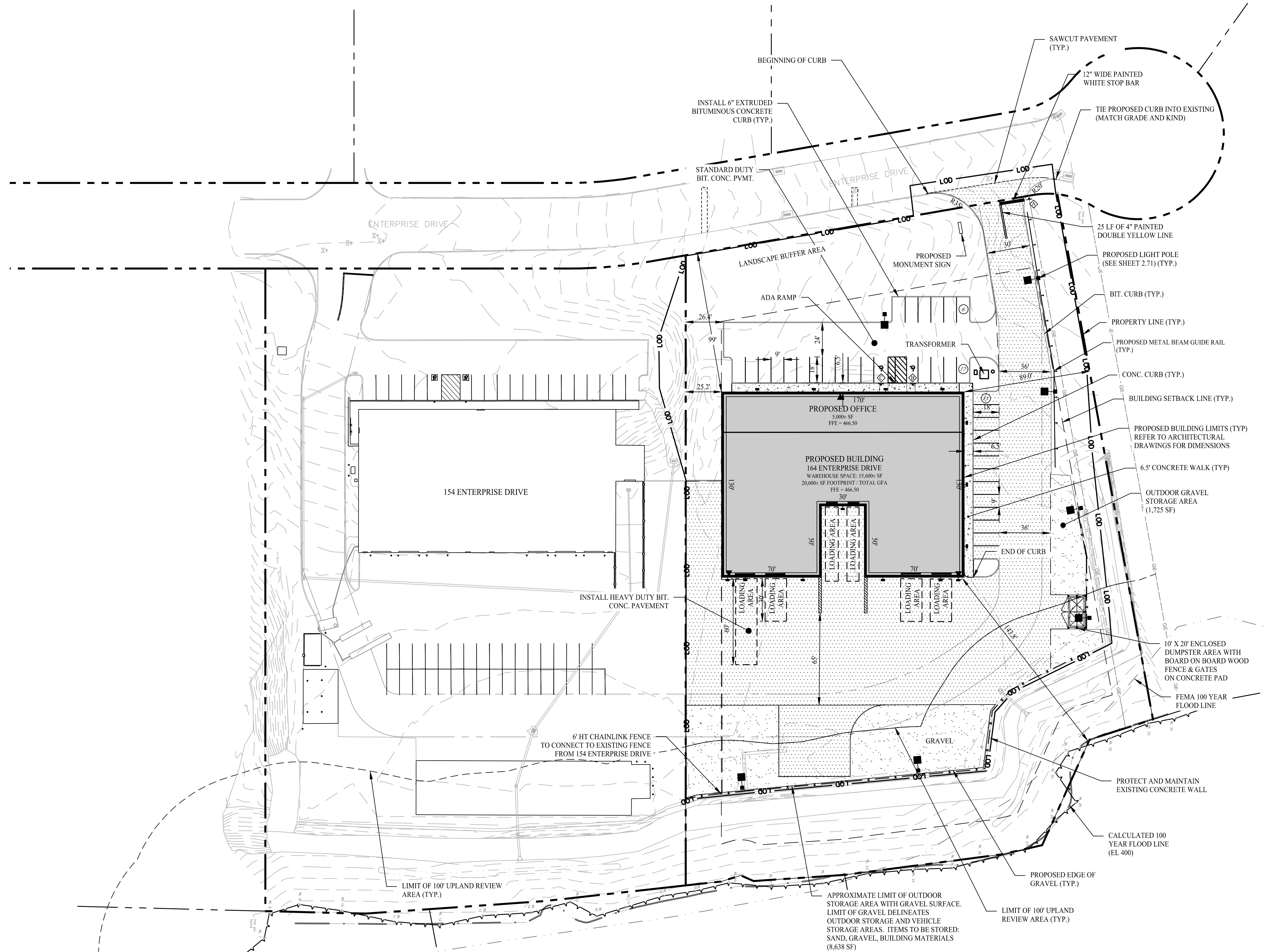
USE	SIZE GFA	ZONING STANDARD	REQUIRED SPACES
OFFICE SPACE	5,000± SF	4 SPACE / 1000 SF	20
WAREHOUSE	15,600± SF	1 SPACE / 1000 SF	16
TOTAL OFF-STREET PARKING REQUIRED			36
PROPOSED STANDARD PARKING SPACES			34
PROPOSED ADA ACCESSIBLE PARKING SPACES			2
TOTAL PROPOSED PARKING SPACES			36

164 ENTERPRISE LOADING COMPLIANCE TABLE

USE	SIZE GFA	ZONING STANDARD	REQUIRED SPACES
NONRESIDENTIAL	20,600± SF	1 SPACE FOR 1,500 TO 20,000 PLUS 1 SPACE FOR EACH ADDITIONAL 20,000 SF	2
TOTAL LOADING SPACES REQUIRED			2
TOTAL PROPOSED			6

164 ENTERPRISE OUTDOOR STORAGE

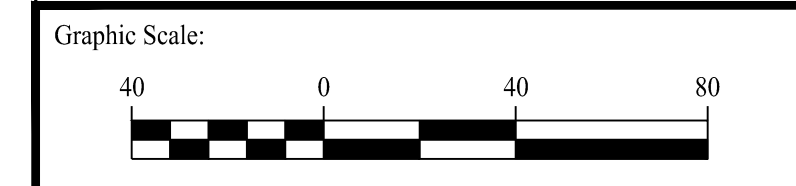
ALLOWED PROVIDED	PERCENTAGE	SIZE	ALLOWABLE STORAGE PERCENTAGE BASED ON APPROVED PLAN BY LAND ENGINEERING ASSOCIATES, INC. DATED MAY 19, 2005
50.8%	10,363 SF		
50.8%	10,363 SF		



- ### SITE PLAN NOTES
- THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY TOWN OF MONROE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
 - THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE CIVIL ENGINEER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS.
 - THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING.
 - SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE CIVIL ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK.
 - ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING AS APPLICABLE UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
 - THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES, TRAFFIC CONTROLLERS AND UNIFORMED TRAFFIC OFFICERS AS REQUIRED OR AS ORDERED BY THE ENGINEER OR AS REQUIRED BY THE LOCAL GOVERNING AUTHORITIES OR AS REQUIRED BY PERMIT STIPULATIONS.
 - REFER TO DETAIL SHEETS FOR PAVEMENT, CURBING, AND SIDEWALK INFORMATION.
 - TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO THE STATE DOT STANDARD DETAIL SHEETS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB WITH THE EDGE OF THE SIGN 2' OFF THE FACE OF THE CURB, AND WITH 7' VERTICAL CLEARANCE UNLESS OTHERWISE DETAILED OR NOTED.
 - THE CONTRACTOR SHALL ABIDE BY ALL OSHA FEDERAL STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.
 - THE CONTRACTOR SHALL SUBMIT A SHOP DRAWING OF THE PAVEMENT MARKING MIXTURE PRIOR TO STRIPING.
 - PAVEMENT MARKING KEY:
4" SYDL 4" SOLID YELLOW DOUBLE LINE
4" SYL 4" SOLID YELLOW LINE
4" SWL 4" SOLID WHITE LINE
12" SWSB 12" SOLID WHITE STOP BAR
4" BWL 4" BROKEN WHITE LINE 10' STRIPE 30SPACE
 - PARKING SPACES SHALL BE STRIPED WITH 4" SWL, HATCHED AREA SHALL BE STRIPED WITH 4" SWL AT A 45° ANGLE, 2' ON CENTER. HATCHING SYMBOLS, AND STRIPING FOR HANDICAPPED SPACES SHALL BE PAINTED BLUE. OTHER MARKINGS SHALL BE PAINTED WHITE OR AS NOTED.
 - THE CONTRACTOR SHALL RESTORE ANY DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS OR SIGNAGE DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE CIVIL ENGINEER.
 - THE ARCHITECT AND ENGINEER ARE NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
 - ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, CIVIL ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION.
 - INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY PROVIDER AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES PRIOR TO DEMOLITION OR CONSTRUCTION. THE CONTRACTOR SHALL CONTACT CALL BEFORE YOU DIG 72 HOURS BEFORE COMMENCEMENT OF WORK AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
 - PAVEMENT MARKINGS SHALL BE HOT APPLIED TYPE IN ACCORDANCE WITH CONNECTICUT DOT SPECIFICATIONS, UNLESS WHERE EPOXY RESIN PAVEMENT MARKINGS ARE INDICATED.
 - THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION.
 - NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
 - A PORTION OF THE PROJECT PARCEL IS LOCATED WITHIN A FEMA DESIGNATED FLOOD HAZARD AREA. SEE SURVEY DRAWING FOR DESIGNATION.
 - WETLANDS WERE DELINEATED AND FLAGGED BY ENVIRONMENTAL PLANNING SERVICE ON APRIL 23, 2015.
 - 12" SWSB (STOP BAR) AND 4" SYDL AND SWL PAVEMENT MARKINGS LOCATED IN DRIVEWAYS AND IN STATE HIGHWAY SHALL BE EPOXY RESIN TYPE ACCORDING TO CONDOT SPECIFICATIONS.
 - EXISTING CONDITIONS INFORMATION TAKEN FROM A PLAN ENTITLED "IMPROVEMENT LOCATION SURVEY OF 154-164 ENTERPRISE DRIVE, MONROE, CONNECTICUT," DATED 09/13/18, SCALE: 1" = 30', BY ACCURATE LAND SURVEYING, LLC.

THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND SHALL NOT BE USED FOR CONSTRUCTION

Rev. #:	Date	Description
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SOLLI ENGINEERING

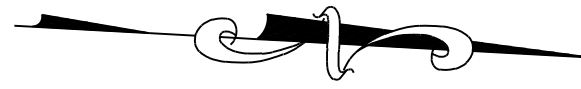
501 Main Street, Monroe, CT 06468 T: (203) 880-5455 F: (203) 880-9695
 351 Newbury Street, Boston, MA 02115 T: (617) 203-3160 F: (203) 880-9695

Drawn By:	CP
Checked By:	MSL
Approved By:	KMS
Project #:	1604503
Plan Date:	12/13/16
Scale:	1" = 40'
Project:	Kevin Solli, P.E. CT 25759

PROPOSED PHASE 2 DEVELOPMENT

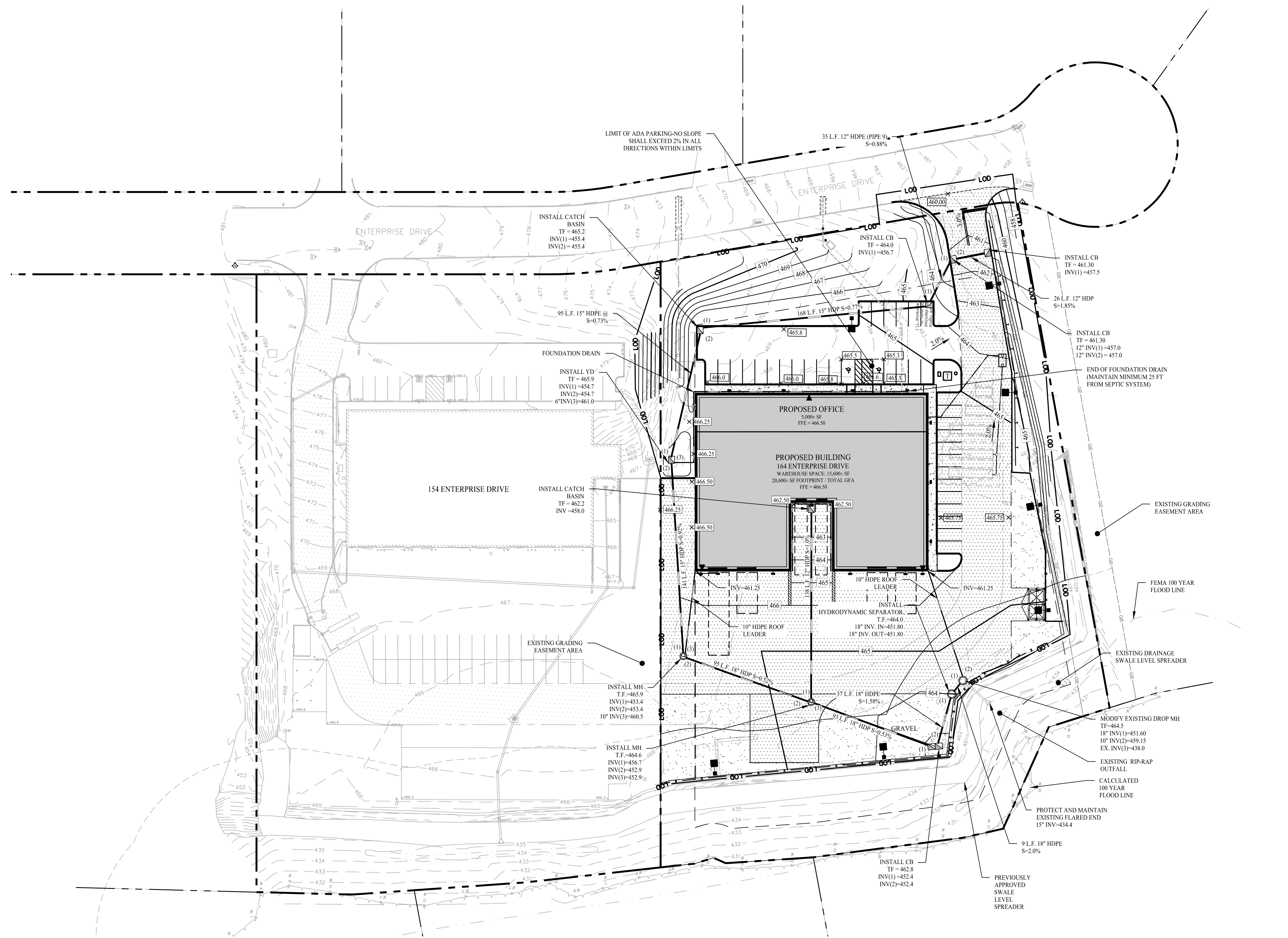
164 ENTERPRISE DRIVE
MONROE, CONNECTICUT

Sheet Title:	SITE LAYOUT PLAN PHASE 2	Sheet #:	2.12
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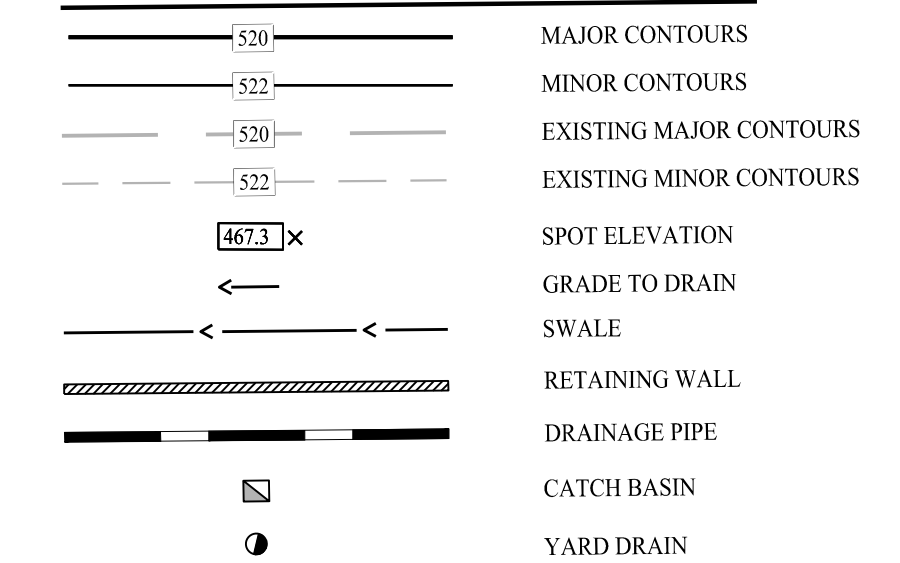


GRADING AND DRAINAGE NOTES

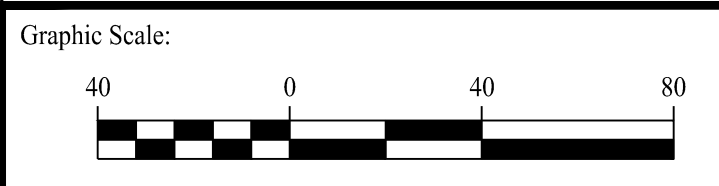
- THIS DRAWING IS INTENDED TO DESCRIBE GRADING AND DRAINAGE ONLY. REFER TO SITE PLAN FOR GENERAL INFORMATION, AND DETAIL SHEETS FOR DETAILS.
- THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO EROSION CONTROL PLAN FOR LIMIT OF DISTURBANCE AND EROSION CONTROL NOTES.
- TOPSOIL SHALL BE STRIPPED AND STOCKPILED ON SITE FOR USE IN FINAL LANDSCAPING.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PERMITS REQUIRED BY GOVERNMENT AND LOCAL AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY CONSTRUCTION PERMITS FROM THE TOWN OF MONROE REQUIRED TO PERFORM ALL WORK, INCLUDING FOR STREET CUTS AND CONNECTIONS TO EXISTING UTILITIES. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
- THE CONTRACTOR SHALL COMPACT FILL IN 12" MAXIMUM LIFTS UNDER ALL PARKING, BUILDING, AND DRIVE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
- UNDERDRAINS SHALL BE ADDED, IF DETERMINED NECESSARY IN THE FIELD BY THE OWNER/GEOTECHNICAL ENGINEER. AFTER SUBGRADE IS ROUGH GRADED.
- ALL DISTURBANCE INCURRED TO TOWN OR STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER, TO THE SATISFACTION OF THE TOWN OF MONROE AUTHORITY.
- IF IMPACTED OR CONTAMINATED SOIL IS ENCOUNTERED BY THE CONTRACTOR, THE CONTRACTOR SHALL SUSPEND EXCAVATION WORK OF IMPACTED SOIL AND NOTIFY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT PRIOR TO PROCEEDING WITH FURTHER WORK IN THE IMPACTED SOIL LOCATION UNTIL FURTHER INSTRUCTED BY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT.
- IF GROUNDWATER IS ENCOUNTERED DURING THE INSTALLATION OF THE UNDERGROUND DETENTION SYSTEM THEN THE BASIN SHALL BE LINED WITH AN IMPERVIOUS MEMBRANE PREVENT GROUNDWATER FROM ENTERING THE SYSTEM.
- ALL PROPOSED CATCH BASINS SHALL BE PRECAST CONCRETE WITH TWO SUMPS. THE OUTLET OF EACH CATCH BASIN SHALL BE RETROFIT WITH A VENTED CATCH BASIN HOOD.
- ALL PIPE LENGTHS ARE HORIZONTAL DISTANCES AND ARE APPROXIMATE.
- GRADING CONTRACTOR SHALL RESTORE TO GRADE AND COMPACT ALL AREAS DISTURBED BY BUILDING CONSTRUCTION PRIOR TO BASE AND PAVING OPERATIONS COMMENCING.
- ALL EXISTING UTILITY FRAMES AND GRATES SHALL BE ADJUSTED TO PROPOSED GRADE.
- INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY PROVIDER AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" 72 HOURS BEFORE COMMENCEMENT OF WORK AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.



GRADING & DRAINAGE LEGEND



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SOLLI ENGINEERING
 501 Main Street, Monroe, CT 06468 T: (203) 880-5455 F: (203) 880-9695
 331 Newbury Street, Boston, MA 02115 T: (617) 203-3160 F: (203) 880-9695

Drawn By:	SFS
Checked By:	CJB
Approved By:	KMS
Project #:	1604503
Plan Date:	12/13/16
Scale:	1" = 40'

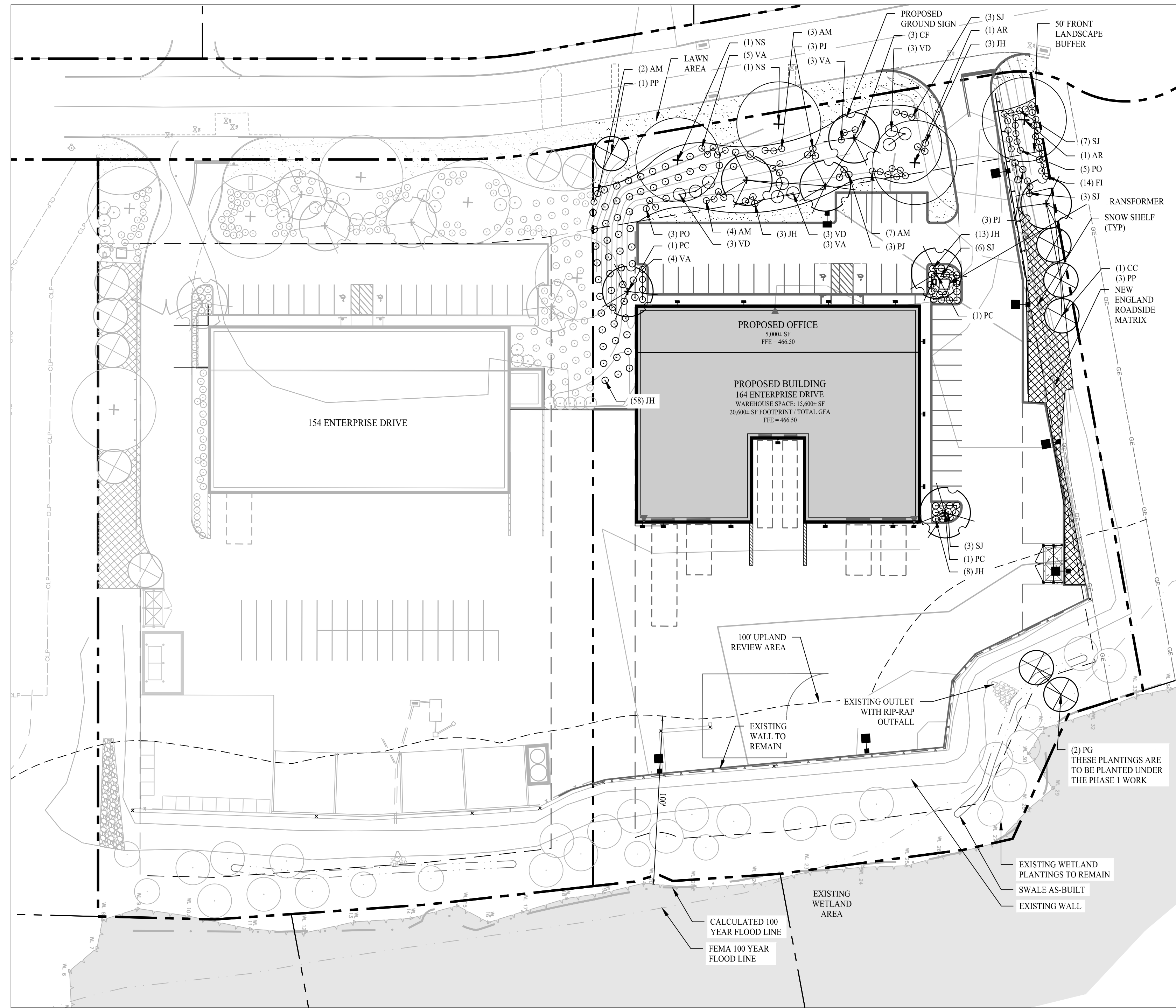
Kevin Solli, P.E.
CT 25759

PROPOSED PHASE 2 DEVELOPMENT

164 ENTERPRISE DRIVE
MONROE, CONNECTICUT

Sheet Title:	Sheet #:
GRADING AND DRAINAGE PLAN PHASE 2	2.22

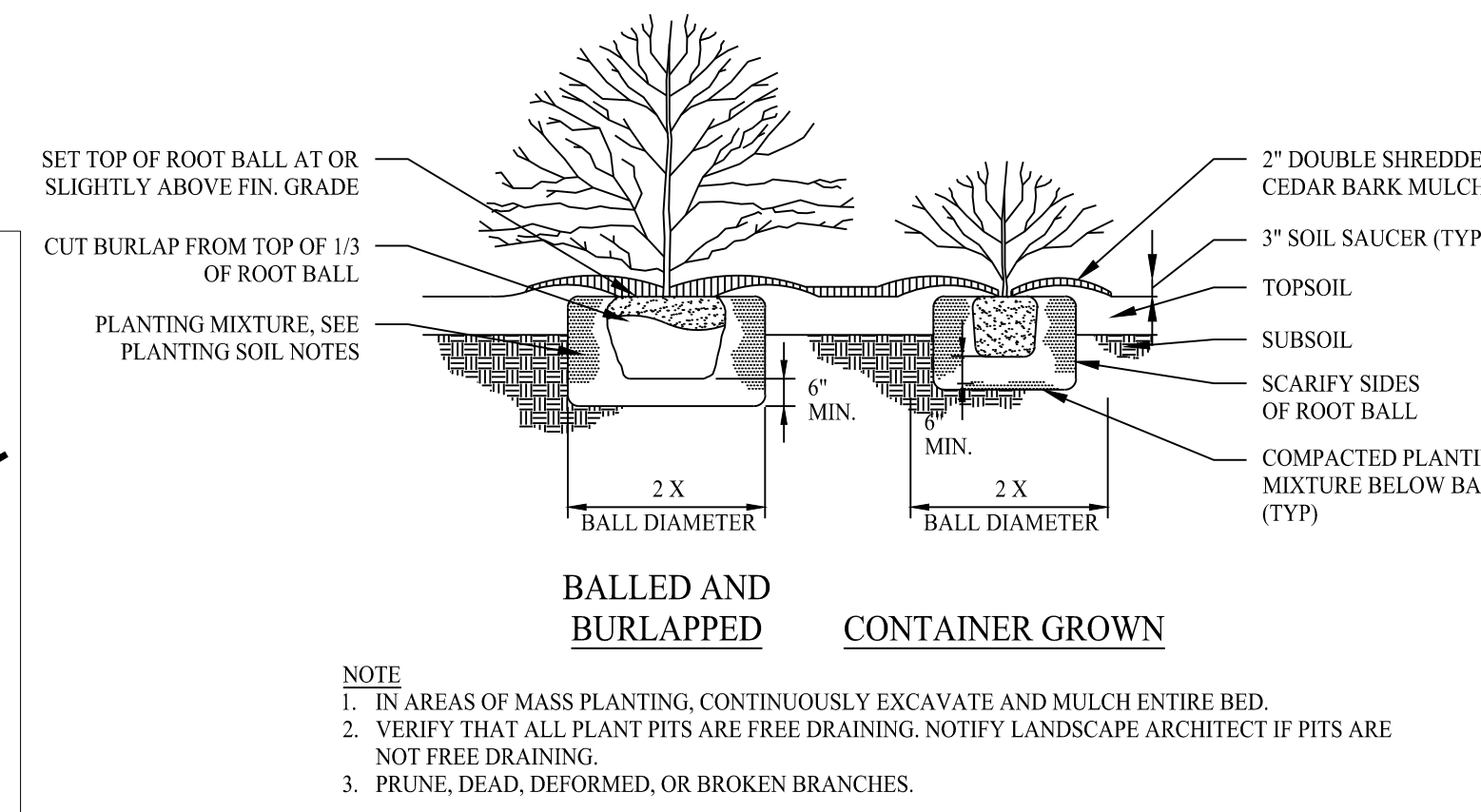
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PROPOSED PLANT SCHEDULE - PHASE 2

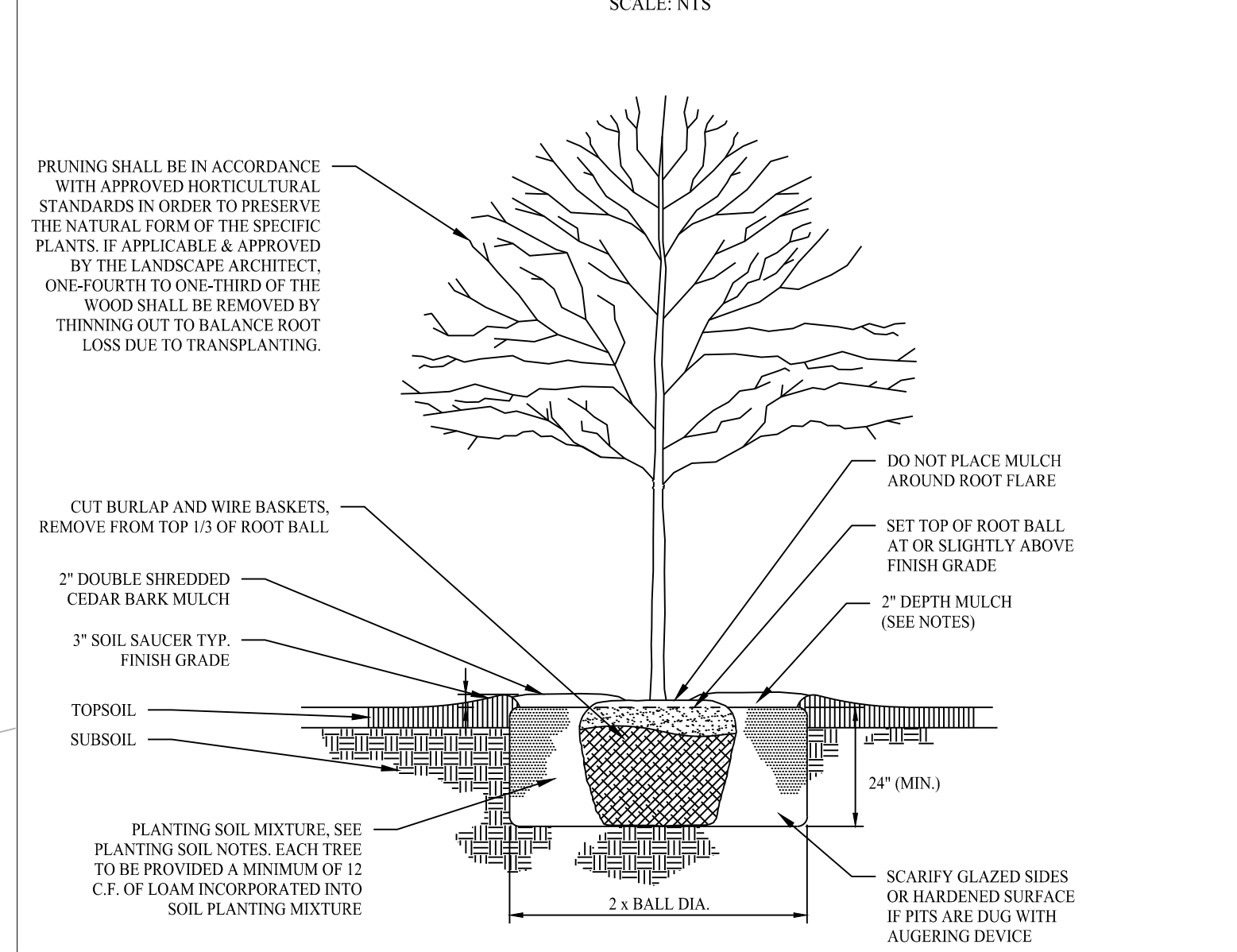
KEY	QTY	BOTANICAL NAME	COMMON NAME	ROOT SIZE	COMMENTS
TREES					
AR	2	ACER RUBRUM	RED MAPLE	3'-3 1/2" DBH	FULL, EXTRA HEAVY, SINGLE STRAIGHT LEADER
NS	2	NYSSA SYLVATICA	BLACK TUPELO	3'-3 1/2" DBH	FULL, EXTRA HEAVY, SINGLE STRAIGHT LEADER
PP	4	PICEA PUNGENS	COLORADO BLUE SPRUCE	10'-12" HT	FULL, EXTRA HEAVY
UNDERSTORY TREES					
CC	1	CERCIS CANADENSIS	EASTERN REDBUD	B&B 2 1/2"-3" DBH	FULL, EXTRA HEAVY, SINGLE STRAIGHT LEADER
CF	3	CORNUS FLORIDA	FLOWERING DOGWOOD	2 1/2"-3" DBH	FULL, EXTRA HEAVY, SINGLE STRAIGHT LEADER
PC	3	PYRUS CALLERYANA 'ARISTOCRAT'	ARISTOCRAT PEAR	2 1/2"-3" DBH	FULL, EXTRA HEAVY, SINGLE STRAIGHT LEADER
UPLAND SHRUBS					
AM	16	ARONIA MELANOCARPA	BLACK CHOKEBERRY	2'-3" HT	FULL, EXTRA HEAVY
FI	14	FORSYTHIA INTERMEDIA	BORDER FORSYTHIA	2'-3" HT	FULL, EXTRA HEAVY
PO	8	PHYSCARPUS OPULEFOLIUS	COMMON NINEBARK	2'-3" HT	FULL, EXTRA HEAVY
PJ	9	PIERIS JAPONICA	JAPANESE ANDROMEDA	2'-3" HT	FULL, EXTRA HEAVY
SI	22	SPIREA JAPONICA	SPIREA	2'-3" HT	FULL, EXTRA HEAVY
VA	15	VACCINIUM ANGUSTIFOLIUM	LOW-BUSH BLUEBERRY	2'-3" HT	FULL, EXTRA HEAVY
VD	9	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	2'-3" HT	FULL, EXTRA HEAVY
GROUND COVER					
JH	85	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR CREEPING JUNIPER	#2 CONT	

SEED MIXES
NEW ENGLAND ROADSIDE MATRIX UPLAND MIX
 APPLICATION RATE: 1 LB/2,500 S.F. NEW ENGLAND WETLANDS PLANTS, INC. (413) 548-8000

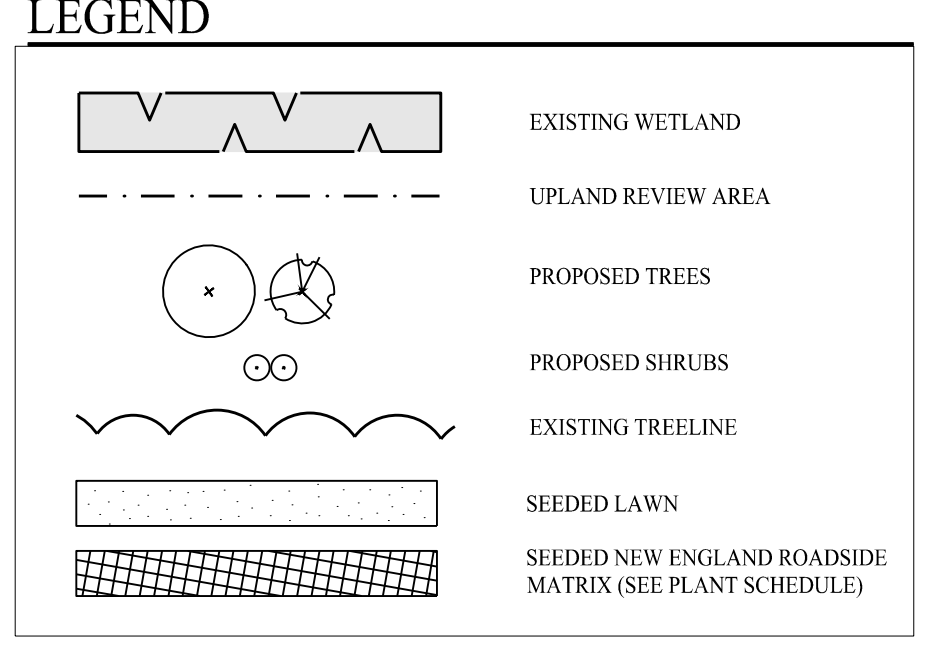
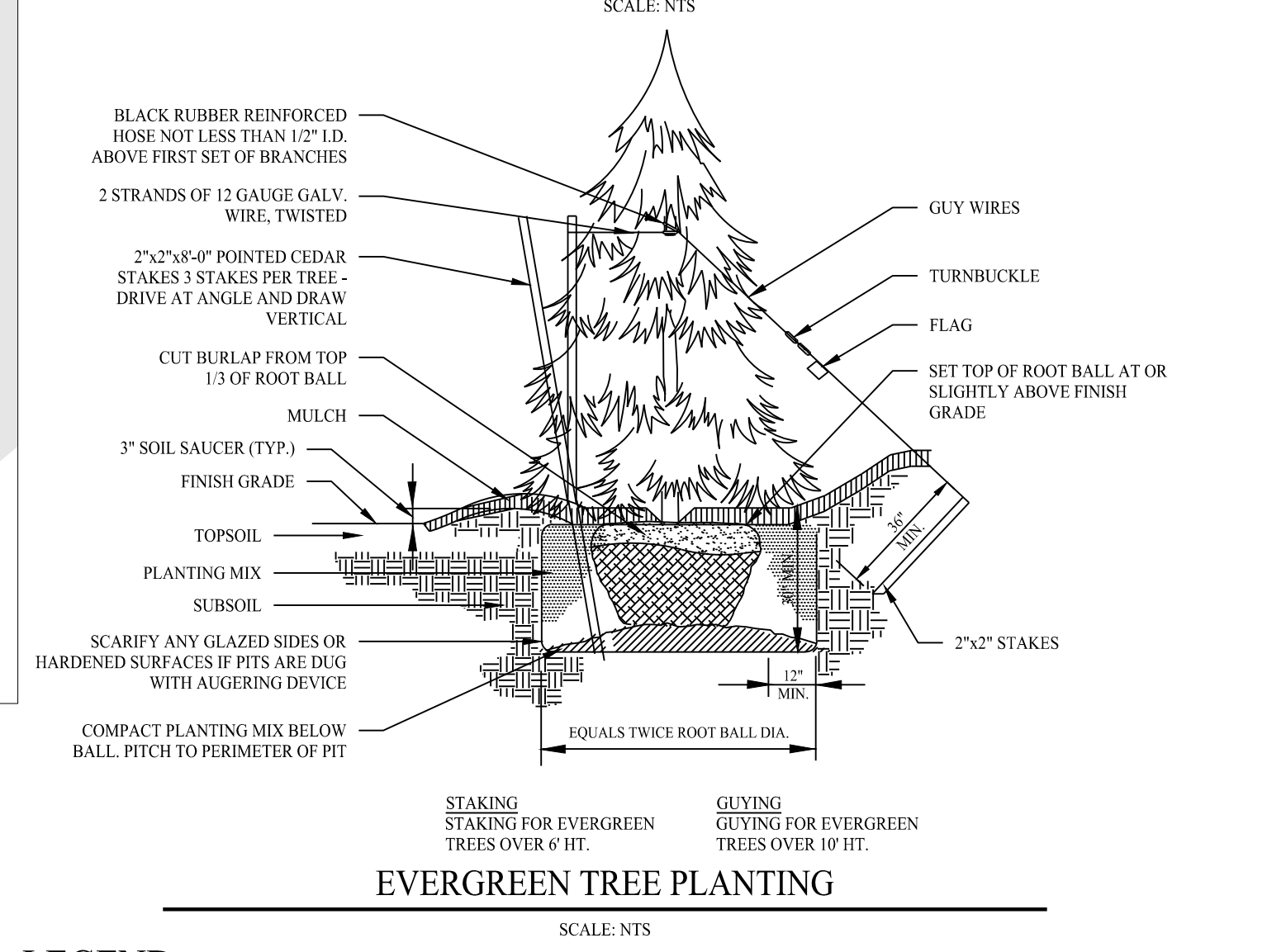


NOTE
 1. IN AREAS OF MASS PLANTING, CONTINUOUSLY EXCAVATE AND MULCH ENTIRE BED.
 2. VERIFY THAT ALL PLANT PITS ARE FREE DRAINING. NOTIFY LANDSCAPE ARCHITECT IF PITS ARE NOT FREE DRAINING.
 3. PRUNE, DEAD, DEFORMED, OR BROKEN BRANCHES.

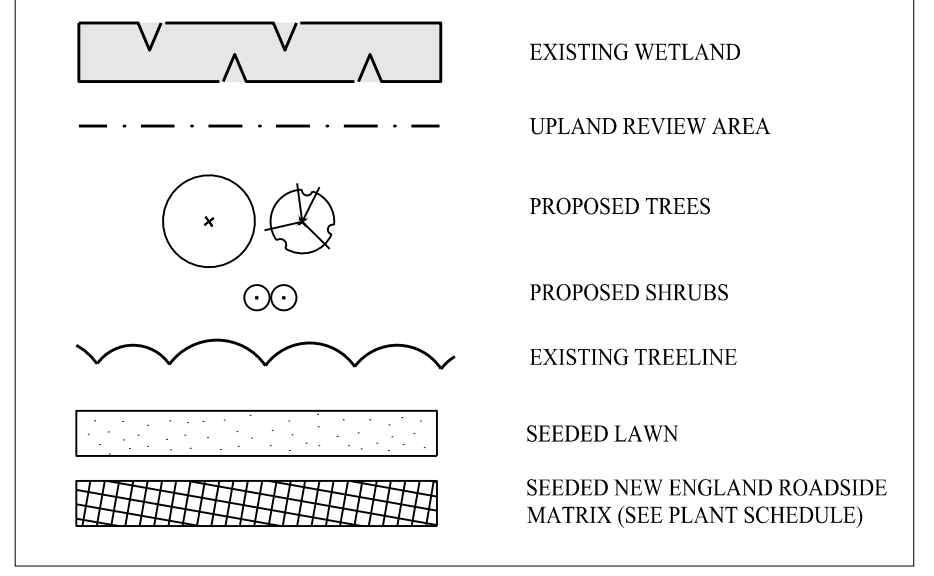
SHRUB PLANTING



TREE PLANTING



LEGEND



PLANTING NOTES

- THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION.
- EXISTING CONDITIONS INFORMATION TAKEN FROM A PLAN ENTITLED 'ZONING LOCATION SURVEY OF 154 164 ENTERPRISE DRIVE, MONROE, CONNECTICUT,' DATED 10/18/16, SCALE: 1" = 40', BY ACCURATE LAND SURVEYING, LLC.
- WETLANDS FLAGGED BY ERIC DAVIDSON, ENVIRONMENTAL PLANNING SERVICES, 116 SMITH ROAD, EAST HADDAM, CT, DATE: 10/19/16.
- THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY INLAND WETLAND AND ZONING PERMITS REQUIRED BY TOWN OF MONROE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
- THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE CIVIL ENGINEER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS.
- SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE CIVIL ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK.
- THE CONTRACTOR SHALL RESTORE ANY DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS OR SIGNAGE DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE CIVIL ENGINEER.
- THE ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK. JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
- INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAVE BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY PROVIDER AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT 'CALL BEFORE YOU DIG' 72 HOURS BEFORE COMMENCEMENT OF WORK AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
- NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS ARE GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
- ALL PLANTINGS ARE TO BE INSTALLED BY A QUALIFIED LANDSCAPE CONTRACTOR.

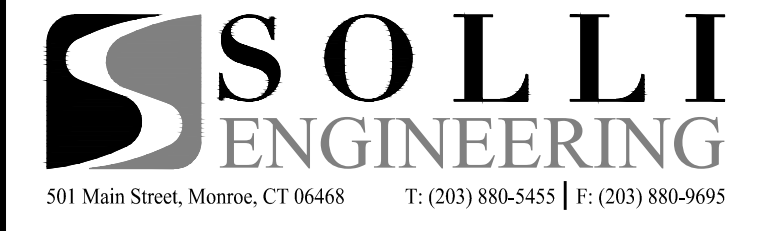
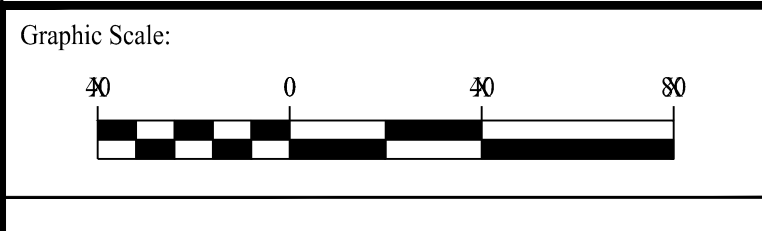
PLANTING SOIL NOTES

- ALL PLANTING MIXES SHALL BE PREPARED PRIOR TO DELIVERY TO SITE
- PLANTING MIX FOR TREES AND SHRUBS SHALL BE AS FOLLOWS
 3 PARTS SCREENED TOPSOIL
 1 PART CLEAN WASHED COARSE SAND
 1 PART PEAT HUMUS
 5 LBS. SUPER PHOSPHATE PER CUBIC YARD OF MIX
 MYCORRHIZAL INOCULANT TO BE MYCOR TREE SAVER TRANSPLANT BY PLANT HEALTH CARE, INC. (1-800-421-9051) OR APPROVED EQUAL.
- TERRASORB AVAILABLE FROM PLANT HEALTH CARE, INC. OR APPROVED EQUAL
- SUBMIT CERTIFICATION OF PLANTING MIX FOR TREES AND SHRUBS FROM SOIL DISTRIBUTOR.
- TOPSOIL MIX SHALL INCLUDE:
 3 PARTS SCREENED TOPSOIL
 1 PART SAND
 1 PART HUMUS
 5 LBS. SUPER PHOSPHATE PER CU. YD. OF MIX
- TOPSOIL:
 A. PROVIDE A NATURAL, FERTILE, FRIABLE, NATURAL LOAM SURFACE SOIL CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH, OF UNIFORM COMPOSITION THROUGHOUT AND WITHOUT ADMIXTURES OF SUBSOIL, AND FREE OF STONES, LUMPS, PLANTS, ROOTS, STICKS OR OTHER EXTRANEIOUS MATTER.
 B. TOPSOIL SHALL CONTAIN NOT LESS THAN 4% NOR MORE THAN 20% ORGANIC MATTER AS DETERMINED BY THE WET COMBUSTION METHOD.
 C. MECHANICAL ANALYSIS

SCREEN SIZE	% BY WEIGHT PASSING
1"	100
3/4"	97 - 100
NO. 200	20 - 65

 D. CONTRACTORS SHALL BE RESPONSIBLE FOR ALL TESTING AND ANALYSIS OF EXISTING AND IMPORTED SOILS. FURNISH A SOIL ANALYSIS MADE BY A QUALIFIED INDEPENDENT SOIL - TESTING AGENCY STATING PERCENTAGES OF ORGANIC MATTER, INORGANIC MATTER (SILT, CLAY, AND SAND), DELETERIOUS MATERIAL, PH, AND MINERAL AND PLANT - NUTRIENT CONTENT OF TOPSOIL.
 E. REPORT SUITABILITY OF TOPSOIL FOR LAWN AND SHRUB PLANTING GROWTH. RECOMMEND QUANTITIES OF NITROGEN, PHOSPHORUS, AND POTASH NUTRIENT AND ANY LIMESTONE, ALUMINUM SULFATE, OR OTHER SOIL AMENDMENTS TO BE ADDED TO PRODUCE A SATISFACTORY TOPSOIL.

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1	02/01/17	Staff Comments



Drawn By:	FLO
Checked By:	MFB
Approved By:	KMS
Project #:	1604501
Plan Date:	12/13/16
Scale:	1" = 40'

PROPOSED DEVELOPMENT
 154-164 ENTERPRISE DRIVE
 MONROE, CONNECTICUT

Sheet Title:	Sheet #:
LANDSCAPE PLAN	2.61

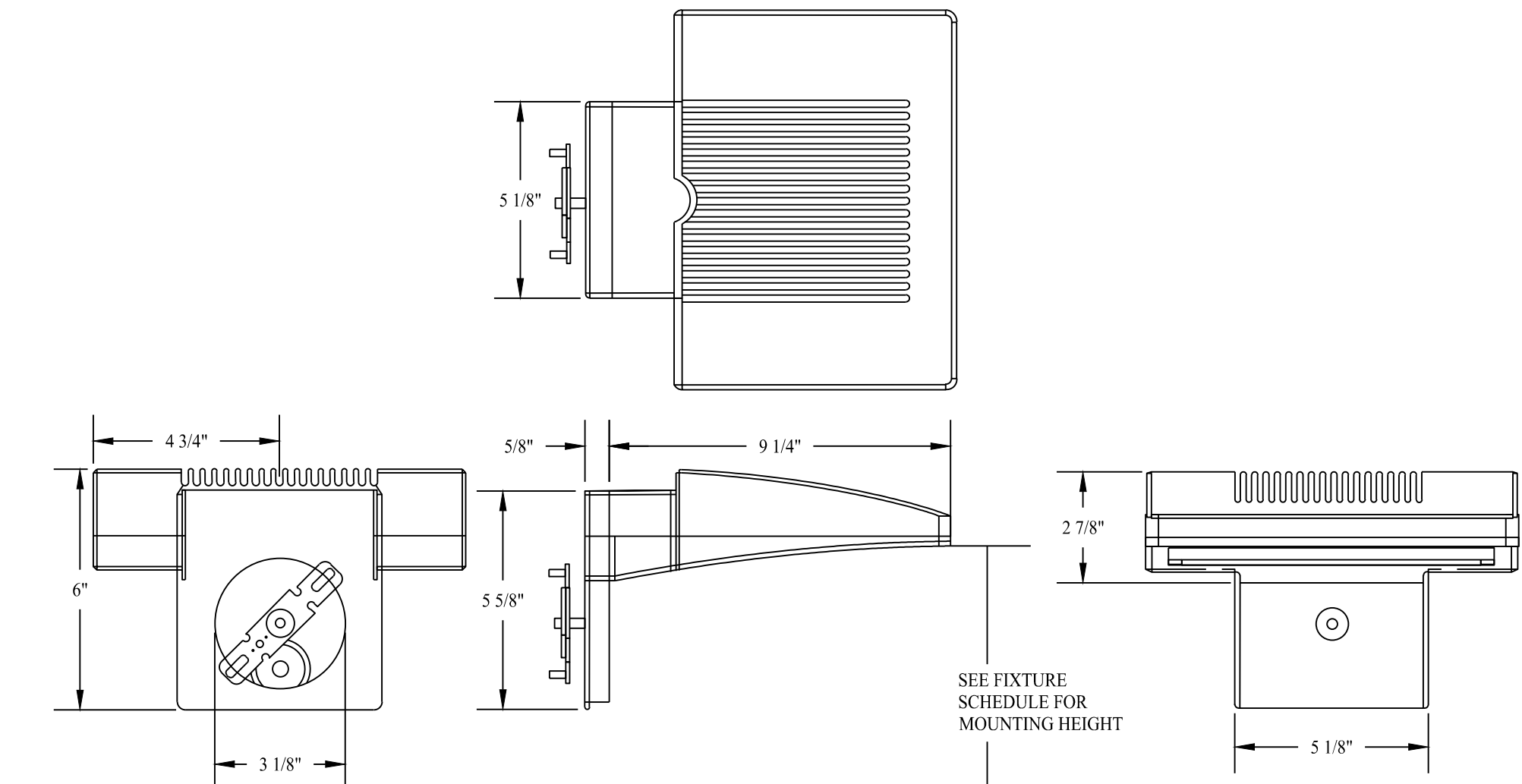
LIGHTING NOTES

- EXISTING SITE CONDITIONS TAKEN FROM A SURVEY PLAN ENTITLED "ZONING LOCATION SURVEY OF 154/164 ENTERPRISE DRIVE, MONROE, CONNECTICUT" DATED AUGUST 24, 2016, SCALE: 1"=40', BY ACCURATE LAND SURVEYING, LLC.
- THE SUBJECT PARCEL CONSISTS OF A TOTAL AREA OF APPROXIMATELY 6.0 ACRES, LOCATED IN THE I-2 DISTRICT OF MONROE, CONNECTICUT.
- ALL LIGHT FIXTURES TO BE MOUNTED AND INSTALLED PER MANUFACTURER SPECIFICATIONS.
- ALL WORK AND RELATED MATERIALS SHALL COMPLY WITH CITY, COUNTY, AND OTHER APPLICABLE GOVERNING AUTHORITY REQUIREMENTS.



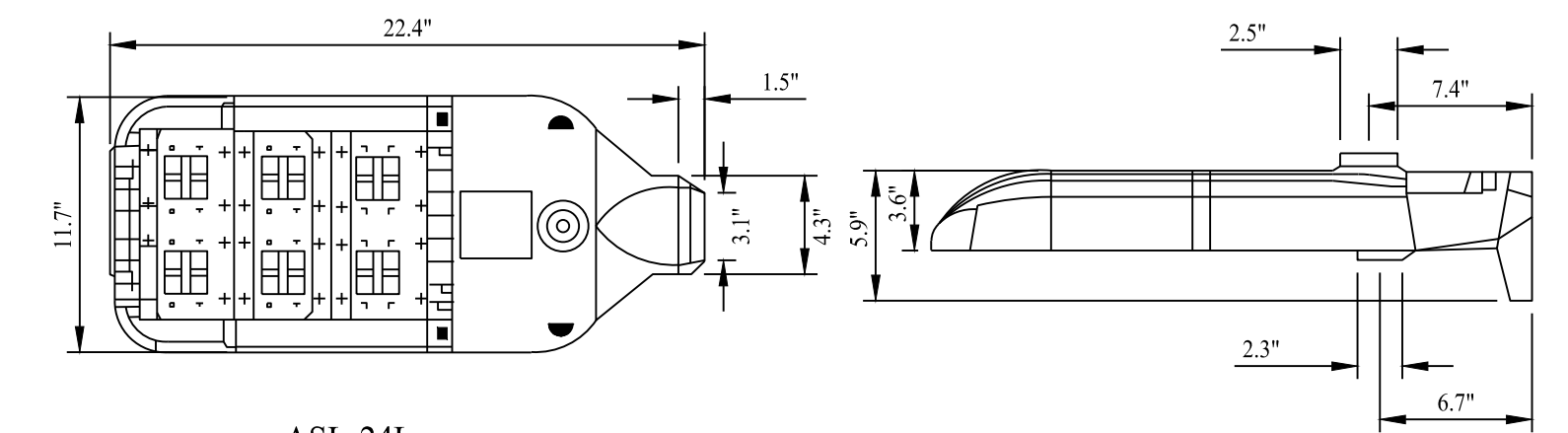
LIGHTING SCHEDULE: PHASE 2

QTY	CALLOUT	SYMBOL	FIXTURE DESCRIPTION	MODEL	BULB TYPE	LUMENS
4	W1	▼	WALL MOUNTED FIXTURE	RAB WPLED26N, POWDER COATED ALUMINUM, BRONZE	26W 4K LED, 16-45" MOUNTING HEIGHT	2,415
8	W2	▼	WALL MOUNTED FIXTURE	RAB WPLED26N, POWDER COATED ALUMINUM, BRONZE	26W 4K LED, 15-45" MOUNTING HEIGHT	2,415
2	W3	▼	WALL MOUNTED FIXTURE	RAB WPLED26N, POWDER COATED ALUMINUM, BRONZE	26W 4K LED, 8-9" MOUNTING HEIGHT	2,415
7	P1	■	POLE MOUNTED FIXTURE	HUBBELL LIGHTING ASL LED SERIES, MODEL ASL-24L-4K-210-4-EHS, POWDER COATED ALUMINUM, DARK BRONZE	181W 4K LED, TYPE 4 DISTRIBUTION 20' MOUNTING HEIGHT - HOUSE SHIELD	11,899



PROPOSED WALL MOUNTED LIGHT FIXTURE - W1, W2 & W3

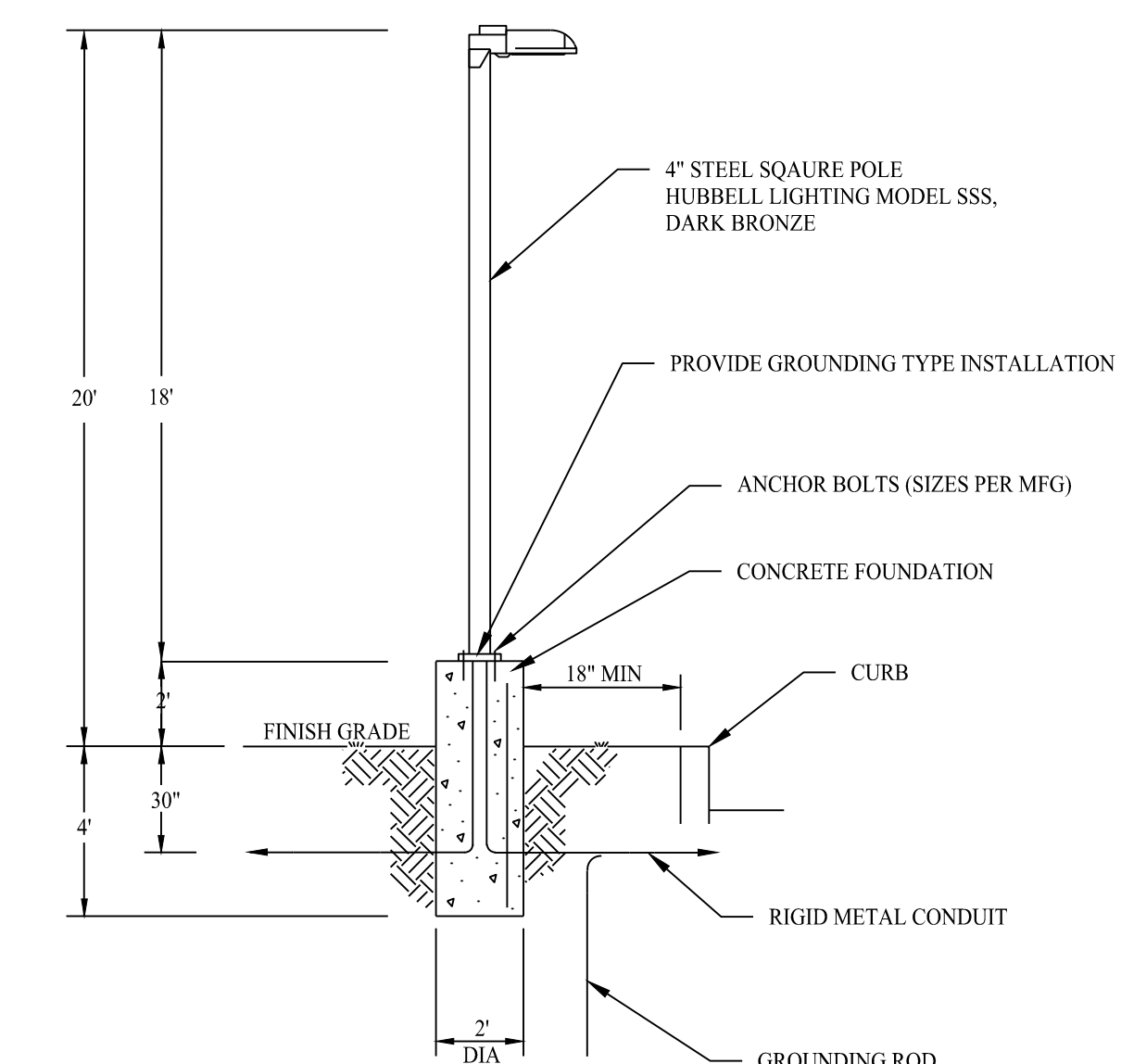
RAB LIGHTING LED WALL PACK, MODEL WPLED26N, POWDER COATED ALUMINUM, BRONZE
SCALE: NTS



ASL-24L

PROPOSED POLE MOUNTED LIGHT FIXTURE - P1

HUBBELL ASL LED SERIES, POWDER COATED ALUMINUM, DARK BRONZE
SCALE: NTS

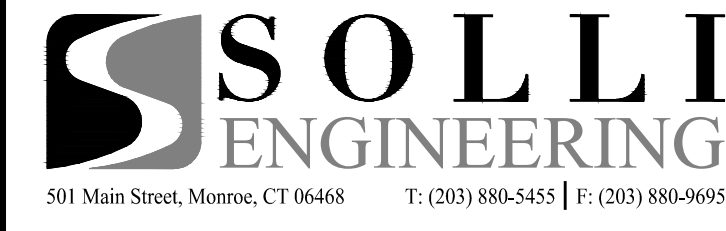
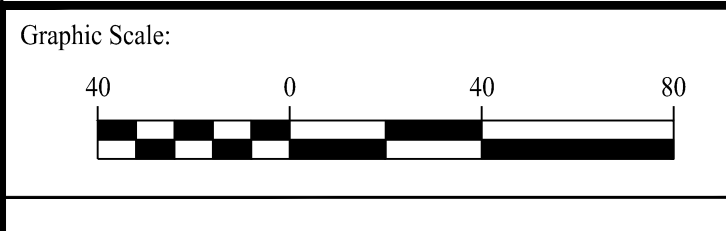


PROPOSED LIGHT POLE - P1, P2

SCALE: NTS
LEGEND

- 0.1 0.1 0.1 PROPOSED FOOTCANDLES
- 0.1 0.1 0.0 PROPOSED WALL MOUNTED FIXTURE
- 0.1 0.0 0.0 PROPOSED POLE MOUNTED FIXTURE
- FOOTCANDLE - 0.25

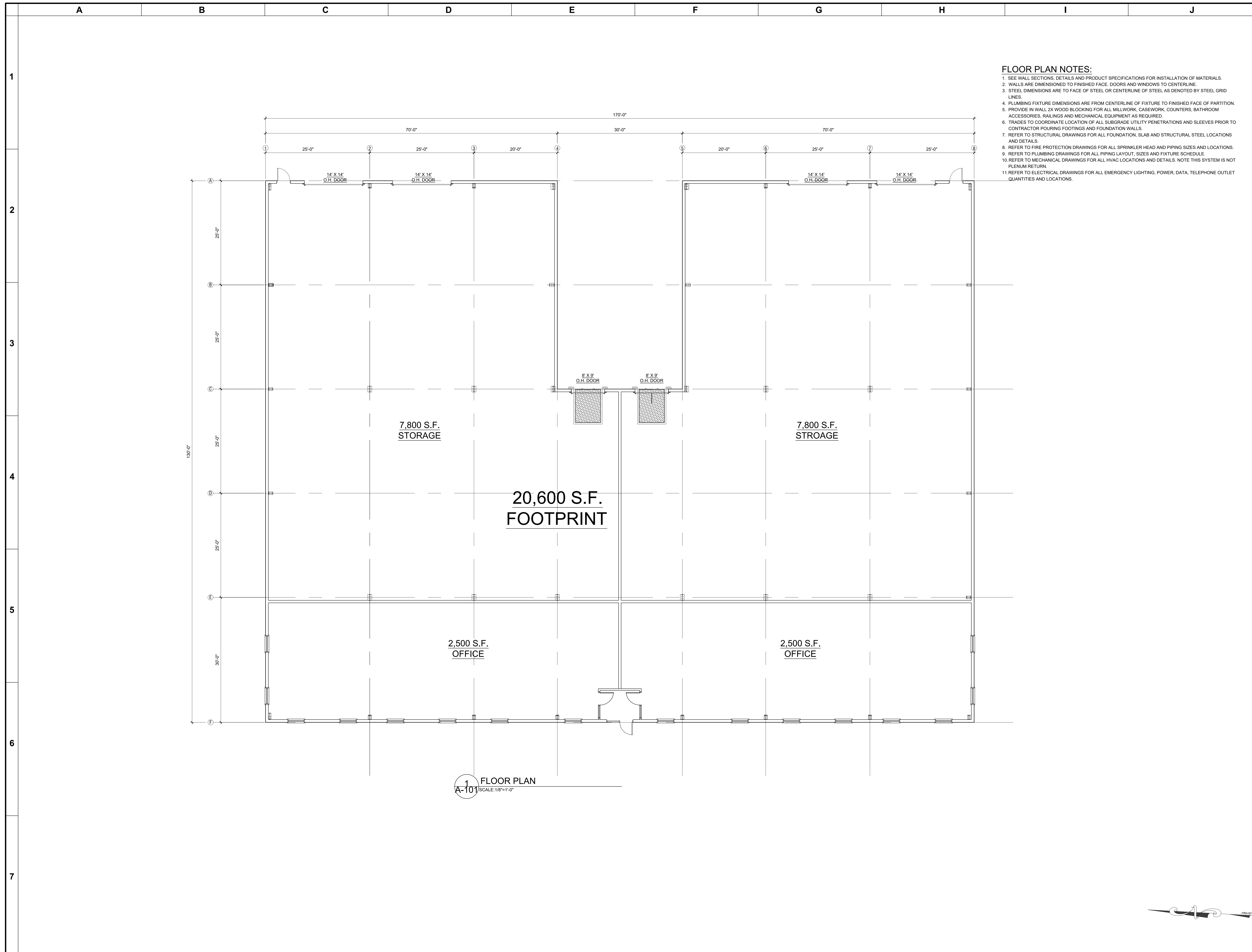
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Drawn By:	FLO
Checked By:	MFB
Approved By:	KMS
Project #:	1604501
Plan Date:	12/13/16
Scale:	1" = 40'
Project:	Kevin Solli, P.E. CT 25759

PROPOSED DEVELOPMENT
154-164 ENTERPRISE DRIVE
MONROE, CONNECTICUT

Sheet Title:	Sheet #:
LIGHTING PLAN	2.71



- FLOOR PLAN NOTES:**
1. SEE WALL SECTIONS, DETAILS AND PRODUCT SPECIFICATIONS FOR INSTALLATION OF MATERIALS.
 2. WALLS ARE DIMENSIONED TO FINISHED FACE. DOORS AND WINDOWS TO CENTERLINE.
 3. STEEL DIMENSIONS ARE TO FACE OF STEEL OR CENTERLINE OF STEEL AS DENOTED BY STEEL GRID LINES.
 4. PLUMBING FIXTURE DIMENSIONS ARE FROM CENTERLINE OF FIXTURE TO FINISHED FACE OF PARTITION.
 5. PROVIDE IN WALL 2X WOOD BLOCKING FOR ALL MILLWORK, CASEWORK, COUNTERS, BATHROOM ACCESSORIES, RAILINGS AND MECHANICAL EQUIPMENT AS REQUIRED.
 6. TRADES TO COORDINATE LOCATION OF ALL SUBGRADE UTILITY PENETRATIONS AND SLEEVES PRIOR TO CONTRACTOR POURING FOOTINGS AND FOUNDATION WALLS.
 7. REFER TO STRUCTURAL DRAWINGS FOR ALL FOUNDATION, SLAB AND STRUCTURAL STEEL LOCATIONS AND DETAILS.
 8. REFER TO FIRE PROTECTION DRAWINGS FOR ALL SPRINKLER HEAD AND PIPING SIZES AND LOCATIONS.
 9. REFER TO PLUMBING DRAWINGS FOR ALL PIPING LAYOUT, SIZES AND FIXTURE SCHEDULE.
 10. REFER TO MECHANICAL DRAWINGS FOR ALL HVAC LOCATIONS AND DETAILS. NOTE THIS SYSTEM IS NOT PLENUM RETURN.
 11. REFER TO ELECTRICAL DRAWINGS FOR ALL EMERGENCY LIGHTING, POWER, DATA, TELEPHONE OUTLET QUANTITIES AND LOCATIONS.



THIS DRAWING IS THE PROPERTY OF CLARIS CONSTRUCTION IT HAS BEEN PREPARED SPECIFICALLY FOR THE OWNER FOR THIS PROJECT AT THIS SITE, AND IS NOT TO BE USED FOR ANY OTHER PURPOSE, LOCATION, OR OWNER WITHOUT WRITTEN CONSENT OF CLARIS

NEW STRUCTURE:
EASTERN LAND MANAGEMENT

164 ENTERPRISE DRIVE
MONROE, CONNECTICUT 06468

No.	Description	Date

FLOOR PLAN	
EASTERN LAND MANAGEMENT	
Project Number	16-20
Date	07/30/20
Drawn By	JWK
Checked By	
Scale	As Noted

A-101

1 FLOOR PLAN
A-101 SCALE: 1/8"=1'-0"

