



April 5, 2023

Hand Delivery

Planning and Zoning Commission  
Town of Monroe  
7 Fan Hill Road  
Monroe, CT 06468

**RE: Regulation Amendment Application  
Monroe, Connecticut  
Regulation Amendment Petition Application  
Project Number: 2008001**

Dear Commission Members:

On behalf of 10 & 36 Main Street, LLC please find enclosed a Regulation Amendment Petition Application to establish a Special Development District (SDD) within the Main Street Design District Overlay (MDD) for the property located at 10 & 36 Main Street in Monroe, Connecticut.

Also enclosed are the eleven (11) copies and a check in the amount of \$735.00 representing the requisite filing fee. We look forward to working with you in the processing of this application.

Respectfully,

**Solli Engineering, LLC**

A handwritten signature in black ink, appearing to read 'Mary Blackburn', is written over the printed name.

Mary Blackburn, P.L.A.  
Sr. Landscape Architect

Enclosures:

Regulation Amendment Petition Application  
Narrative of Proposed Regulation Amendment  
Conformity with the 2021 POCD  
Parking Rate Sheets ITE & ULI  
Draft Zoning Regulations Text Amendments  
Schematic Plans  
Architectural Plans

CC:

Kevin Solli, PE

501 Main Street, Suite 2A  
Monroe, CT 06468  
Office: (203) 880-5455

11 Vanderbilt Avenue, Suite 240  
Norwood, MA 02062  
Office: (781) 352-8491

[www.SolliEngineering.com](http://www.SolliEngineering.com)

# REGULATION AMENDMENT PETITION APPLICATION



TOWN OF MONROE  
PLANNING & ZONING DEPARTMENT  
7 Fan Hill Road, Monroe, CT 06468  
Tel. (203) 452-2812

FOR OFFICE USE:

RAA – \_\_\_\_\_

File Number – \_\_\_\_\_

Project Name: Special Development District 2 (SDD2)

Amend Subdivision Regulations §: \_\_\_\_\_

Amend Zoning Regulations §: Article 8, §8.2.3

## REQUIRED FORMAT OF PROPOSED TEXT AMENDMENT

Proposed new text:	<b><u>Bold Double Underlined Text</u></b>
Existing text to be deleted:	<del>Strikeout Text</del>
Existing text to remain	Regular Text

**Attach Project Narratives as required by the Zoning Regulations.**

- ❖ **TAKE NOTE:** *It is the applicant's responsibility to provide all the information the Commission will need in order to process the application and make a fair determination of the issues. If an applicant fails to supply timely or sufficient information, it may result in delay, denial of the application, or both. Applicants are highly recommended to be represented by qualified representatives and to consult the Town of Monroe Plan of Conservation and Development, as well as the detailed application requirements and standards set forth in the Town of Monroe Subdivision, Zoning and Inland Wetlands Regulations.*
- **Pre-Submission Conference** – Contact the Planning and Zoning Administrator (203-452-2812) to schedule one or more preliminary pre-submission conferences with staff (*this is highly recommended*).
- **Formal Application Submission** – Provide **eleven (11) paper application sets** (*plans folded and materials collated into individual sets*) and **one (1) pdf CD** including the following materials: (a) signed application form; (b) supporting application narrative; (c) supporting investigative and impact analyses reports; and (d) complete set of Site Plans. The application submission will be reviewed by the **Commission** and the Town's **Application Review Team (ART)** consisting of Department Staff from Planning and Zoning, Engineering, Wetlands, Fire Marshal, Police (traffic authority), Health and Building.
- **Project Timeline** – Following official receipt of an application, a **Project Timeline** listing milestone dates and actions to be followed during the review will be emailed to the applicant's Primary Project Contact.

Application No. \_\_\_\_\_ File No. \_\_\_\_\_

## APPLICATION FEE

Regulation Amendment Petition Base Fee:..... \$ 675.00  
 Connecticut State Surcharge..... \$ 60.00  
*Payable to the Town of Monroe*      **TOTAL APPLICATION FEE: \$ 735.00\***

*\*Include driver's license number and telephone number on fees paid with a personal check.*

**APPLICATION INFORMATION**

**1. Zoning districts affected (check all that apply):**

Residential:       RF-1    RF-2    RF-3    ARR    MFR    RR-2    HOD

Non-Residential:  B-1    B-2    LOR    I-1    I-2    I-3

**2. Brief description and purpose of proposed text amendment:**

The applicant is seeking to create a new Special Development District (SDD2) for 10 & 36 Main Street.  
 Attached are schematic plans, narratives and draft regulations in accordance with §5.5.4 "Approval of Concept"

**3. Supporting Analysis and Project Narrative:**

**Refer to Zoning Regulations §9.2**

- **Attach Project Narrative as required by the Zoning Regulations.**
- **Attach supporting analysis, figures or other diagrams supporting proposed zoning text amendment.**

**PRIMARY PROJECT CONTACT**

**4. Primary Contact Name: Mary Blackburn, P.L.A.**

Business Address: 501 Main Street, Suite 2A, Monroe, CT 06468

Phn/Cell: (203) 880-5455      Email: Mary@SolliLLC.com

**The Primary Project Contact will be sent all correspondence (primarily via email) during the course of the project review and is responsible for distributing to the other project representatives.**

**PROJECT TEAM INFORMATION**

**5. Owner's Name: 10 & 36 Main Street, LLC**

Address: 16 Cross Street, New Canaan, CT, 06840

Phone: (203) 972-3366      Email: akarp@karpassociatesinc.com

**6. Applicant's name: 10 & 36 Main Street, LLC**

Address: 16 Cross Street, New Canaan, CT, 06840

Phone: (203) 972-3366      Email: akarp@karpassociatesinc.com

**Interest in property:**  Owner    Contract Vendee    Tenant    Other

**7. Application Professionals      *Name*      *Phone/Cell*      *Email***

Surveyor: Bryan Nesteriak, P.E., LS / Accurate Land Surveying, LLC, (203) 881-8145      bn@bbengrs.com

Engineer: Kevin Solli, P.E. / Solli Engineering, LLC, (203) 880-5455,      Kevin@SolliLLC.com

Landscape Architect: Mary Blackburn, P.L.A. / Solli Engineering LLC, (203) 880-5455      Mary@SolliLLC.com

Architect: Danika R.S. Dallam, AIA (717) 843-3200      ddallam@SAAarchitects.com

Other: \_\_\_\_\_

**Application No.** \_\_\_\_\_ **File No.** \_\_\_\_\_

**8. Does the proposed text amendment affect any lands located within 500 feet of a town boundary?**

No  Yes **Abutting town(s):** Trumbull \_\_\_\_\_

**9. Does the proposed text amendment affect any lands located within a public water supply watershed?**

No  
 Yes Name of watershed: \_\_\_\_\_

**NOTE:** Within seven (7) days of application submission, the applicant is required to also send a copy of the application to the Aquarion Water Company of Connecticut, 714 Black Rock Road, Easton, CT 06612, and to the Connecticut Commissioner of Public Health, 410 Capitol Avenue, Hartford, CT 06106; and provide evidence documenting same to the Planning and Zoning Department.

**10. Is the proposed text amendment related to a subsequent site specific project or location?**

No  Yes What / Where: Special Exception Application for 10 & 36 Main Street as described and depicted in schematic plans and supporting material included in this application.

**Attach a separate narrative detailing response.**

**11. Will the proposed text amendment create any non-conforming conditions within existing properties?**

No Indicate how that was determined: No. The proposed SDD would only apply to the subject property and the regulations have been drafted specifically for the proposed development.

Yes How: \_\_\_\_\_

**Attach a separate narrative detailing response.**

**12. Does the proposed text amendment impact or relate to existing or new Town infrastructure facilities?**

No  Yes If yes, what or how The text amendment and subsequent SEP application would relate to Town infrastructure, see attached narrative.

**Attach separate narrative detailing response.**

**13. How is the proposed text amendment consistent with the Plan of Conservation and Development (POCD)?**

See attached narrative.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Attach a separate narrative detailing response.**

Application No. \_\_\_\_\_ File No. \_\_\_\_\_

I(we) hereby certify that I(we) make this application as or on behalf of and with the full authority of the owner(s) of the property or premises and am aware of and understand the Zoning, Subdivision and Inland Wetlands

Regulations pertinent to the application and affirm that the statements and information provided are accurate and true. Further, all the undersigned hereby authorizes the Town of Monroe and its agents, to access the premises for the purpose of application investigation, site review, inspection of improvements or construction, and enforcement of the Town's Regulations and Ordinances, and the General Statutes of the State of Connecticut, as may be applicable.

All the undersigned warrant the truth of all statements contained herein and in all supporting documents according to the best of their knowledge and belief. Further, all the undersigned understand and agree that the Planning and Zoning Commission and/or its Staff/Consultants may request additional information and it is the applicant's/owner's responsibility to provide this information in a timely fashion and to the Commission's satisfaction. If the information provided is incomplete or inaccurate, the Commission may deny the application or request an extension to be granted by the applicant/owner in order to act within applicable legal time limits.

This agreement shall be binding on all heirs, executors, administrators, successors and assigns of all undersigned.

**APPLICANT(S) – (Both Applicant and Owner Notarized Signatures are required)**

ARNOLD M. KARP *Arnold M. Karp* 4-4-23  
Applicant Name Printed Authorized Signature Date

\_\_\_\_\_  
Additional Applicant Authorized Signature Date  
(Provide additional sheets as needed)

Subscribed and sworn to by \_\_\_\_\_ on this day of April 4<sup>th</sup>, 2023, before me:

**MICHELLE SIROIS**  
**NOTARY PUBLIC**  
MY COMMISSION EXPIRES SEPT. 30, 2023

*Michelle Sirois*  
Notary Public, Justice of the Peace, Commissioner of the Superior Court

Please note the following: This application must include the owner's signature and notarization or a written, notarized consent to submit this application, signed and dated by the owner.

**OWNER(S) – (Both Applicant and Owner Notarized Signatures are required)**

ARNOLD M. KARP 10836 MAIN STREET LLC  
Owner Business Name

\_\_\_\_\_  
Authorized Member Name Printed *Arnold M. Karp* 4-4-23  
Authorized Signature Date

Subscribed and sworn to by \_\_\_\_\_ on this day of April 4<sup>th</sup>, 2023, before me:

**MICHELLE SIROIS**  
**NOTARY PUBLIC**  
MY COMMISSION EXPIRES SEPT. 30, 2023

*Michelle Sirois*  
Notary Public, Justice of the Peace, Commissioner of the Superior Court

# **NARRATIVE OF PROPOSED REGULATION AMENDMENT**

## **PROPERTY DESCRIPTION**

The properties of 10 & 36 Main Street are located south of the intersection of Main Street (CT Route 25) and Victoria Drive in Monroe, Connecticut. 36 Main Street is directly south of Victoria Drive and 10 Main Street directly abuts 36 Main to the South. Both subject properties are in the Main Street Design District (MDD), the underlying zone is Business District 2 (B-2). The 14.14-acre site is undeveloped and is currently being filled in accordance with an approved Excavation & Fill Permit. A site drive exists at the southeast corner of the property and provides access from Main Street. Public water is available in Main Street and testing has been conducted to demonstrate septic suitability.

The parcels directly to the east of the subject property are in the Industrial 3 (I-3) zone and are accessed via Victoria Drive. The parcels to the west, across Route 25 are zoned Business District 1 (B-1) and are also in the Main Street Design District (MDD). The land slopes down to the east, there is an existing wetland system at the low point on the property to the southeast. Area business in the commercial corridor include Shooting Sports Academy, Ole Soccer Training Center and Victorinox. The parcels are located approximately 50 feet from the Town line of Trumbull to the south and function as a gateway to the Town of Monroe.

## **PROPOSED REGULATON AND PURPOSE**

The proposed amendment will create a Special Development District 2 (SDD2) at 10 & 36 Main Street, within the Main Street Design District (MDD) overlay zone. The SDD identifies the district and establishes regulations and guidelines that will serve to encourage the economic development and fiscal health of the community. This SDD will provide a development opportunity for a commercial center at the gateway of Town that is of such exceptional quality and significance that it warrants modification of the standards in these regulations.

The proposed SDD2 will allow for the development of this parcel in a manner consistent with the stated goals of the POCD. All permitted uses in the underlying zones will continue to be permitted. The additional use which would be permitted within the SDD would include self-storage, set back from the road. The intent of this SDD is to permit a mixed-use commercial development with self-storage; to improve fiscal health by increasing and diversifying the tax base; and to facilitate the market demand for commercial development of a vacant property on state road with existing infrastructure at the gateway of Town. Once a SDD2 is established for these parcels a subsequent Special Exception Application would be required per §5.5.5 “Approval of Details Plans” of the Town of Monroe Zoning Regulations.

The proposed amendment will establish a parking requirement for the self-storage use within the SDD2 of 1 space per 4,000 SF. A required parking ratio of 1 space per 4,000 SF has been established based on guidance provided by the Institute of Transportation Engineers (ITE) Parking Generation, 5<sup>th</sup> Edition which utilizes empirical data to establish base parking ratios. The Institute of Transportation Engineers (ITE) Parking Generation manual establishes an 85<sup>th</sup> percentile parking demand rate of 0.25 parking spaces per 1,000 SF and 0.14 parking spaces per 1,000 SF during the weekday and weekend periods respectively for a self-storage use. A recommended base parking ratio for the self-storage use of 1 parking space per 4,000 SF will adequately meet the demand for patrons.

The proposed SDD would not create any greater potential impact on Town infrastructure facilities than that of the current underlying B-2 zone. The uses currently permitted in the B-2 zone would continue to be permitted in the SDD. The only additional use would be self-storage, which typically has a lower demand on infrastructure than that of other commercial and retail uses.

## CONFORMITY WITH PLAN OF CONSERVATION & DEVELOPMENT

This amendment is consistent with the Monroe Plan of Conservation and Development for the following reasons, including:

- In the plan, under chapter 1 entitled “Introduction”, Survey responses stated that *“Participants identified property tax rates as their primary concern regarding the future of Monroe, followed by funding of the school district and lack of commercial growth.”* (p.8) Further on the “Plan Priorities” identified that *“The Town should continue to play an active role in supporting economic development as a means of diversifying its tax base and reducing its reliance on residential property taxes. And “The Town has hundreds of acres of undeveloped or underdeveloped land located in commercial and industrial districts. While there are development constraints related to the lack of infrastructure, specifically water and wastewater disposal infrastructure, the Town should fully support appropriate economic development within those districts. Priority Themes include “Grow Economic Base - Monroe’s economy is changing and the Town should work towards encouraging and supporting a diverse economy that draws upon Monroe’s strengths including access to state highways, available commercial and industrial land, and a strong business environment. (p.16)*
- Input received during focus group meetings identify the following relevant issues in Chapter 1:
  - *“Development is and will be market driven and the Town needs to be open minded regarding different uses along its corridors.*
  - *The Town’s zoning regulations may not be flexible enough to allow development that the market demands.*
  - *The Town needs to adopt the approach of shared parking resources and parking once and walking to multiple destinations.*
  - *The Town has properties on Route 25 that are viable for development.*
  - *The Town needs more flexibility in its zoning to allow for mixed-use development.*
  - *The Town should focus development in areas where infrastructure is existing.*
  - *The zoning along Routes 25 and 111 should allow for development that is responsive to market conditions including mixed-use and residential development.*
  - *The Town’s retail environment is not diverse enough to provide a range of goods and services to residents.”* (p. 11)
- The Economic Development Goal in chapter 2 reads *“Foster a vibrant economy that provides residents and visitors with access to good, services and employment opportunities while diversifying the Town’s property tax base.”* Strategy 4 of this goal lists supporting action 1 as *“The Planning and Zoning Commission should continue to collaborate with the Economic Development*

*Commission to review the Town’s commercial and industrial zone standards and identify zoning amendments that may be needed to adequately support emerging business types and land uses...*” (p. 23) It is also stated in this chapter that *“While Monroe has a range of retailers, the Town’s supply of retailers does not meet demand in most retail sectors. Monroe experiences “leakage” which means that the demand for goods and services from residents exceeds the supply provided by local businesses.”* (p. 18)

- Chapter 7 entitled “Future Land Use” depicts a map of Monroe with future land uses. 10 & 36 Main Street are depicted as industrial with the following description: *“Monroe’s industrial districts are located in proximity of Route 25 along the northern and southern borders of Town. These areas are not fully built out and have potential for growth. Monroe’s zoning of these areas should remain flexible to adequately respond to market conditions affecting potential development of properties within these districts.”* (p.65)
- The Plan’s strategies are identified by their priority theme in chapter 8 entitled “Implementation Summary”. One of the four themes is *“Grow Economic Base Monroe’s economy is changing and the Town should work towards encouraging and supporting a diverse economy that draws upon Monroe’s strengths including access to state highways, available commercial and industrial land, and a strong business environment.”* (p.69)

The regulations of the proposed SDD2 have been crafted to reflect the criteria of the MDD district by promoting compatible economic development and enhancing the visual character of the corridor. The development of these significant gateway parcels with a commercial center would greatly serve the economic needs of Monroe and provide a more balanced mix of uses in Town.

**SPECIAL DEVELOPMENT DISTRICT #2 (SDD#2)**

**STATEMENTS OF USES AND STANDARDS**

**FOR**

**VICTORIA PLACE**

**10 & 36 MAIN STREET  
MONROE, CONNECTICUT**

**ADOPTED:**

**EFFECTIVE DATE:**

**10 & 36 MAIN STREET, LLC  
NEW CANAAN, CONNECTICUT 06840**

**I. GENERAL.**

This Special Development District is established in accordance with the provisions of Article 8 of the Town of Monroe Zoning Regulations.

**II. REGULATIONS.**

Within the Special Development District, no land, buildings, or other structures shall be used, and no buildings or other structures shall be altered, constructed, enlarged, extended, or moved except in conformance with these requirements. They may be amended from time to time with the express approval of the Commission or its duly authorized representative.

**III. REQUIREMENTS.**

Except as specifically modified herein, all the provisions and standards of the Town of Monroe Zoning Regulations applicable to the B-2 zoning district shall apply in this Special Development District.

**IV. PERMITTED USES.**

**Principal Use**

Self-Storage use within a Mixed Use building shall be permitted provided the proposed structure is setback a minimum of 325' from front property line.

**Accessory Uses.**

Accessory uses, buildings, or structures customarily incidental and accessory to mixed-use commercial uses as permitted herein are allowed, including, Outdoor Dining & Patios, Sign Structures, Bike Racks, Sidewalk System, Loading areas, Refuse and Onsite Parking.

**V. PRINCIPAL STRUCTURES LOCATION & BULK STANDARDS.**

<b>Location &amp; Bulk Standards</b>	<b>SDD#2</b>
<b>Minimum District Area Boundary</b>	<b>14.3 Acres</b>
<b>Minimum Lot Area within District Limits</b>	<b>0.75 Acres</b>
<b>Minimum Frontage overall District</b>	<b>850 Feet</b>
<b>Minimum Frontage for lots within District Limits</b>	<b>75 Feet</b>
<b>Maximum Stories</b>	<b>3</b>
<b>Maximum Building Height</b>	<b>45 Feet</b>
<b>Minimum Setbacks at District Limits</b>	
<b>Front Yard</b>	<b>50 Feet</b>
<b>Side Yard</b>	<b>20 Feet</b>
<b>Rear Yard</b>	<b>20 Feet</b>
<b>Minimum Yard at Residential Zone Boundary</b>	<b>30 Feet</b>
<b>Maximum Building Coverage</b>	<b>25%</b>
<b>Maximum Floor Area</b>	<b>1,400 Sq Ft</b>

**Off-Street Parking & Loading**

Self-Storage	1 Parking Space / 4,000 SF
Office	4 Parking Spaces / 1,000 SF GFA
Retail	5 Parking Spaces / 1,000 SF
Grocer	5 Parking Spaces / 1,000 SF
Fast Food	13 Parking Spaces / 1,000 SF
Convenience Store	5 Parking Spaces / 1,000 SF
Gas Station	3 Parking Spaces. Fifty percent (50%) of fuel pump spaces may be counted toward accessory retail use.

**VI. DEVELOPMENT PLANS**

Within this Special Development District, construction shall be in conformance with Conceptual Development Plans entitled “Schematic Overall Site Plan, prepared for 10 & 36 Main Street, LLC, 10 & 36 Main Street, Monroe, Connecticut” dated 04/05/23, by Solli Engineering, LLC, as approved by the Monroe Planning & Zoning Commission and as may be modified from time to time by subsequent Planning and Zoning approvals.

**VII. STORMWATER MANAGEMENT**

All Stormwater management shall employ best management practices as outlined on the plans. The owner shall perform all required maintenance activities to assure the proper functioning of the stormwater management plan. All stormwater management facilities shall be in accordance with MS4.

**VIII. LANDSCAPE MAINTENANCE**

All trees and shrubs and other planted areas shall be maintained in a trimmed, mulched, and healthy condition. All parking areas and storm drainage facilities shall be maintained in good repair and in a clean debris free condition.

**IX. LOT LINE REQUIREMENTS**

Regulations applicable to requirements at lot lines and for required yard areas shall apply to the overall district limits and shall not apply to interior lot lines for parcels located within the limits of the overall district. These regulations include, but are not limited to, §1.9.11.A; §6.2.6.A(1); §6.2.2.F(7) & §6.4.9.

**X. SIGNAGE**

Signage identifying the commercial project and subject to Commission approval. Individual lots within the district shall be allowed one monument sign in addition to an overall Shopping Center sign at the primary entrance.

**XI. MODIFICATION AND AMENDMENT**

This Special Development District, consisting of all the elements set forth above, including all the accompanying plans documents, and exhibits, may be modified upon adoption of subsequent alterations or modifications thereto by vote of the Monroe Planning & Zoning Commission, provided that said modification does not materially alter any basic elements of the Special Development District as approved. Any material alteration or change in the basic elements of the Special Development District shall be made only by the Monroe Planning & Zoning Commission following a duly noticed public hearing on material change.

**XII. LEGAL DESCRIPTION**

**Conceptual Development Plans entitled “Schematic Overall Site Plan, prepared for 10 & 36 Main Street, LLC, 10 & 36 Main Street, Monroe, Connecticut” dated 04/05/23, by Solli Engineering, LLC, as modified by municipal approval.**

**Site contains 14.354 acres or 625,284.4 square feet**

## Land Use: 151 Mini-Warehouse

### Description

A mini-warehouse is a building in which a number of storage units or vaults are rented for the storage of goods. They are typically referred to as “self-storage” facilities. Each unit is physically separated from other units, and access is usually provided through an overhead door or other common access point.

### Time of Day Distribution for Parking Demand

The following table presents a time-of-day distribution of parking demand on a weekday (nine study sites) and a Saturday (one study site) in a general urban/suburban setting.

Hour Beginning	Percent of Peak Parking Demand	
	Weekday	Saturday
12:00–4:00 a.m.	0	–
5:00 a.m.	0	–
6:00 a.m.	0	–
7:00 a.m.	0	–
8:00 a.m.	14	–
9:00 a.m.	71	–
10:00 a.m.	50	–
11:00 a.m.	79	–
12:00 p.m.	57	–
1:00 p.m.	64	91
2:00 p.m.	64	27
3:00 p.m.	79	55
4:00 p.m.	71	100
5:00 p.m.	100	91
6:00 p.m.	14	27
7:00 p.m.	0	0
8:00 p.m.	0	–
9:00 p.m.	0	–
10:00 p.m.	0	–
11:00 p.m.	0	–

### **Additional Data**

The sites were surveyed in the 1980s, the 1990s, the 2000s, and the 2010s in British Columbia (CAN), California, Massachusetts, Minnesota, and Texas.

### **Source Numbers**

37, 314, 415, 556, 562

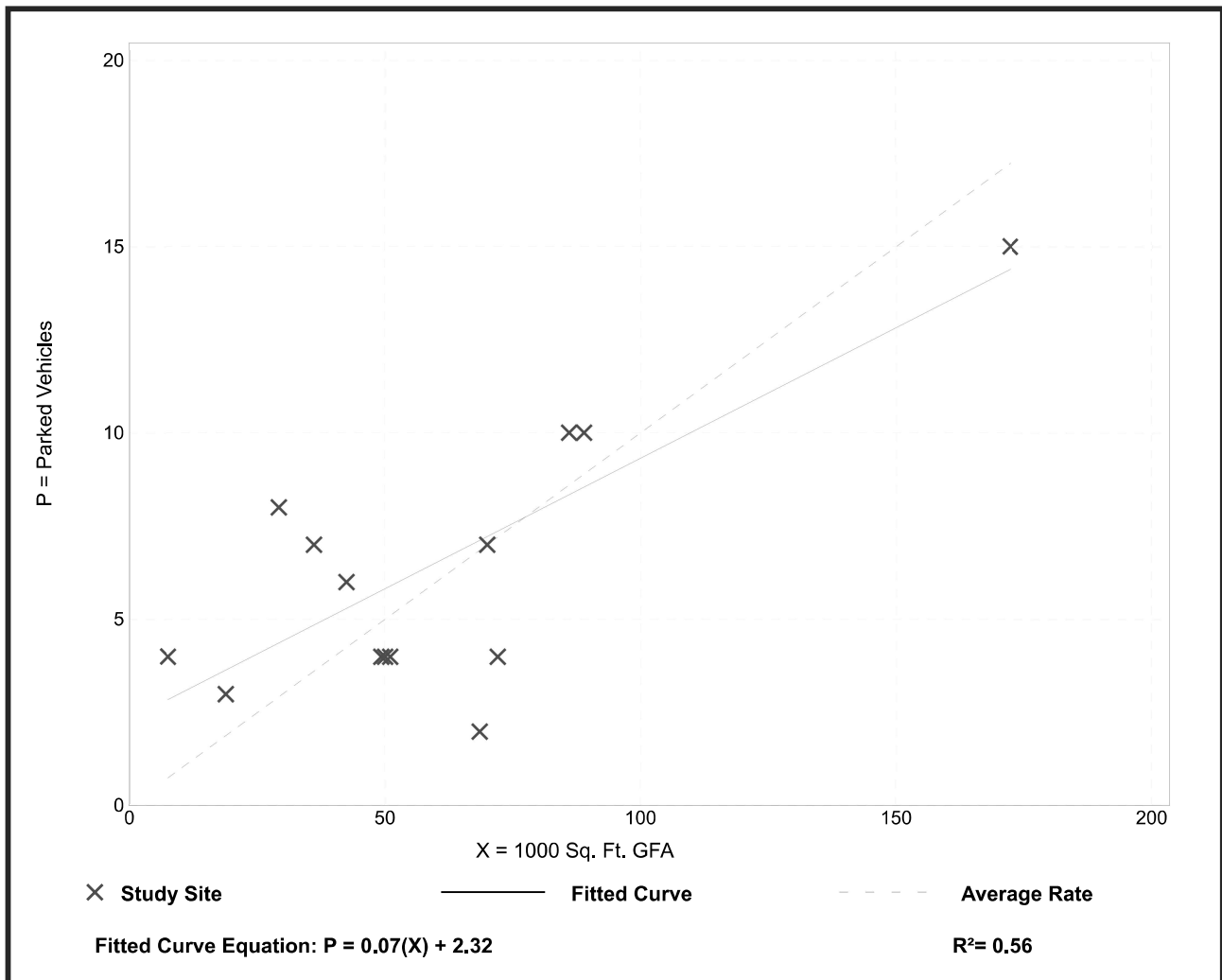
# Mini-Warehouse (151)

**Peak Period Parking Demand vs: 1000 Sq. Ft. GFA**  
**On a: Weekday (Monday - Friday)**  
**Setting/Location: General Urban/Suburban**  
**Peak Period of Parking Demand: 4:00 - 6:00 p.m.**  
 Number of Studies: 14  
 Avg. 1000 Sq. Ft. GFA: 60

## Peak Period Parking Demand per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
0.10	0.03 - 0.53	0.08 / 0.25	***	0.07 (70%)

## Data Plot and Equation



# Mini-Warehouse (151)

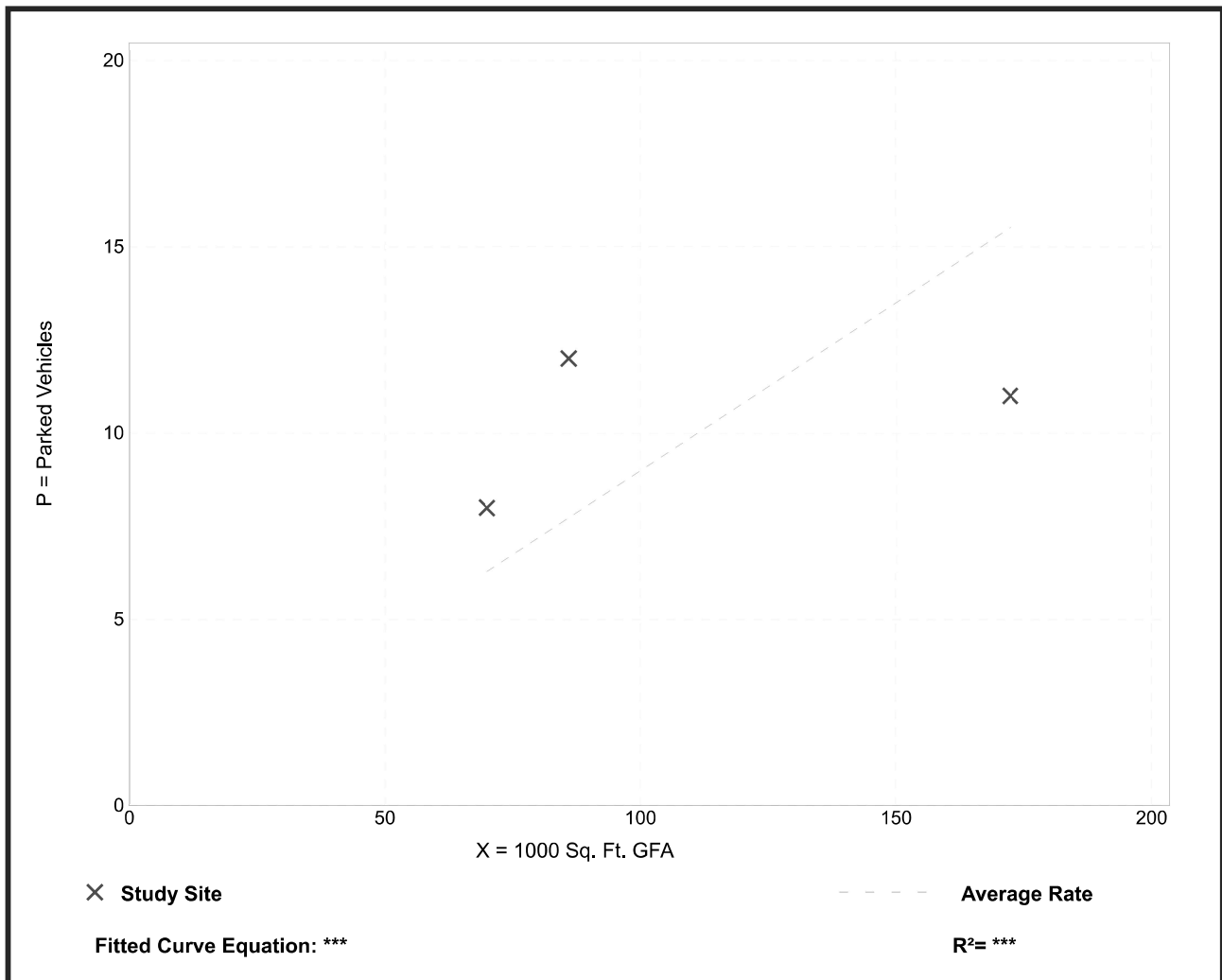
**Peak Period Parking Demand vs: 1000 Sq. Ft. GFA**  
**On a: Saturday**  
**Setting/Location: General Urban/Suburban**  
**Peak Period of Parking Demand: 1:00 - 5:00 p.m.**  
 Number of Studies: 3  
 Avg. 1000 Sq. Ft. GFA: 109

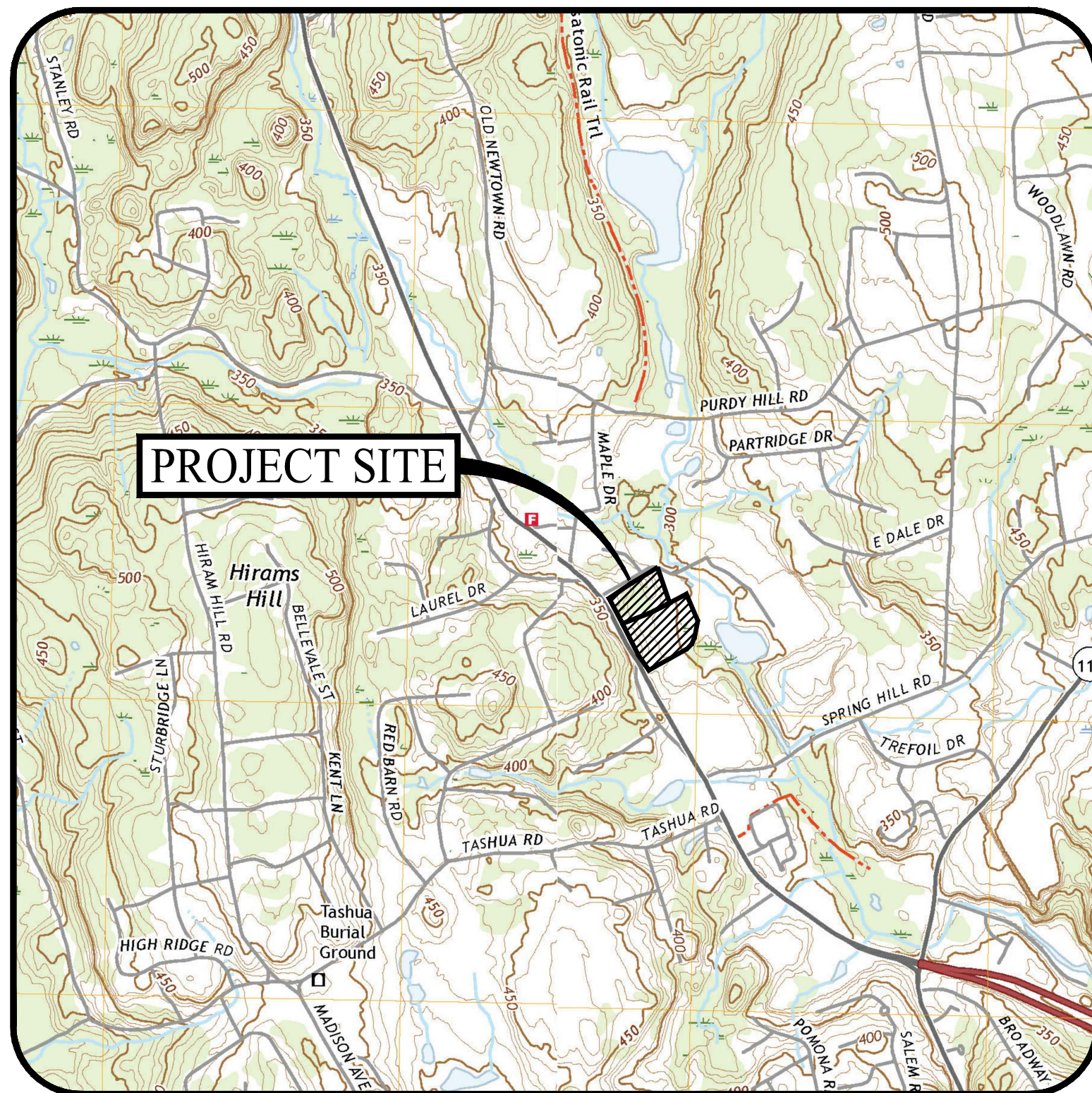
## Peak Period Parking Demand per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
0.09	0.06 - 0.14	0.08 / 0.14	***	0.04 (44%)

## Data Plot and Equation

*Caution – Small Sample Size*





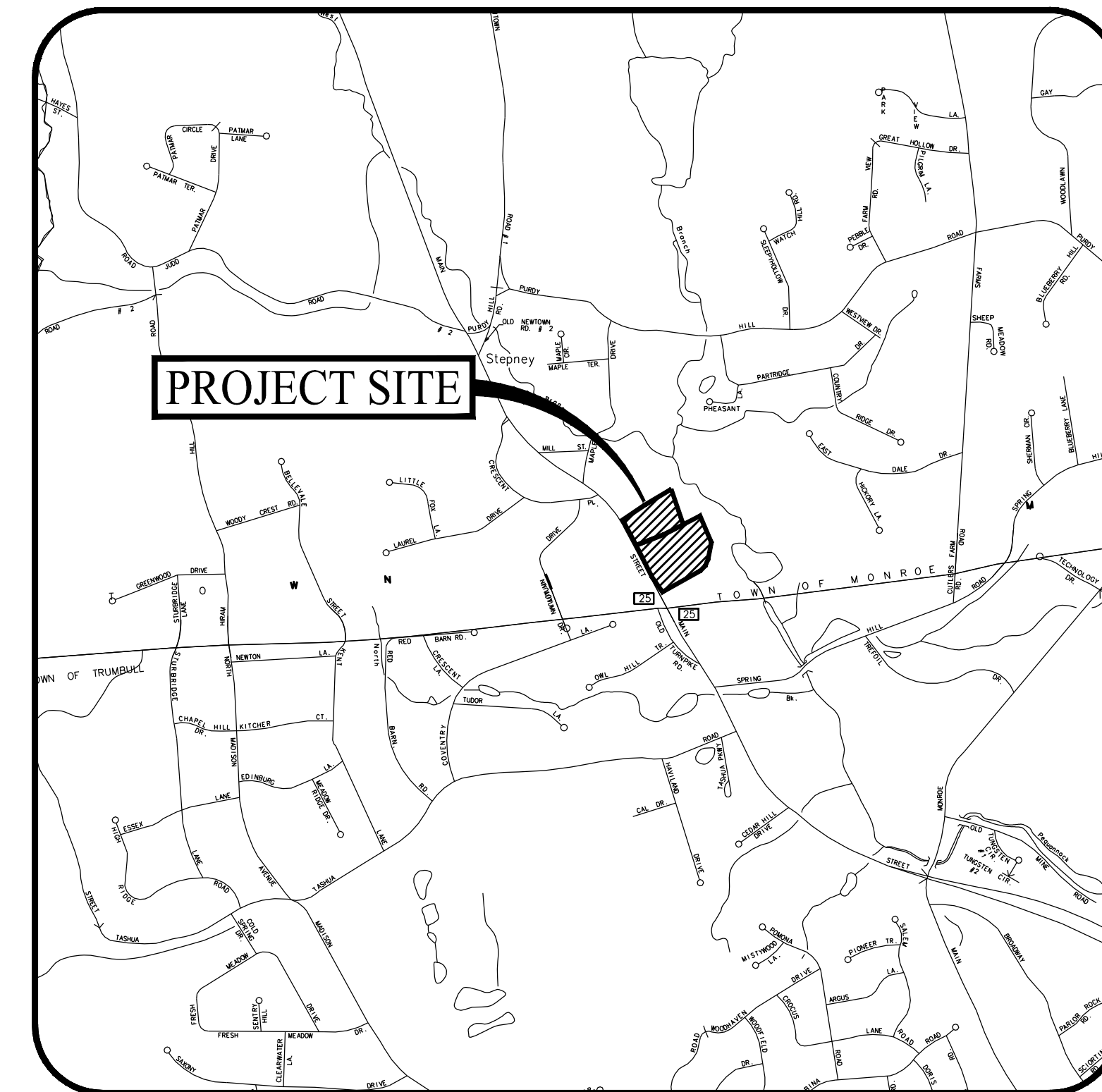
USGS MAP

SCALE: 1" = 1,500'

# PROPOSED DEVELOPMENT

10 & 36 MAIN STREET  
MONROE, CONNECTICUT

## SPECIAL DEVELOPMENT DISTRICT APPLICATION



LOCATION MAP

SCALE: 1" = 1,500'

PREPARED FOR:

### 10 & 36 MAIN STREET LLC

16 CROSS STREET  
NEW CANAAN, CT, 06840

PREPARED BY:



501 MAIN STREET, MONROE, CONNECTICUT 06468

OWNER/APPLICANT

10 & 36 MAIN STREET LLC  
16 CROSS STREET  
NEW CANAAN, CT, 06840

PROPERTY INFORMATION

ADDRESS: 10 MAIN STREET, MONROE, CT, 06468  
MAP-BLOCK-LOT: 004-036-00  
ADDRESS: 36 MAIN STREET, MONROE, CT, 06468  
MAP-BLOCK-LOT: 004-035-00

SITE/LANDSCAPE ARCHITECT

MARY BLACKBURN, P.L.A.,  
LICENSE CT NO. 1499  
SOLLI ENGINEERING, LLC  
501 MAIN STREET  
MONROE, CONNECTICUT 06468  
(203) 880-5455

SITE/CIVIL ENGINEER

KEVIN SOLLI, P.E., CPESC, LEED AP BD+C  
LICENSE NO. 25759  
SOLLI ENGINEERING, LLC  
501 MAIN STREET  
MONROE, CONNECTICUT 06468  
(203) 880-5455

SOIL SCIENTIST

WILLIAM KENNY ASSOCIATES  
ECOLOGICAL SERVICES  
195 TUNXIS HILL CUTOFF SOUTH  
FAIRFIELD, CT 06825  
(203) 366-0588

SURVEYOR OF RECORD

BRYAN NESTERIAK, PE, LS  
LICENSE NO. 23556  
ACCURATE LAND SURVEYING  
15 RESEARCH DR.  
WOODBIDGE, CONNECTICUT 06483  
(203) 881-8145

### DRAWING LIST

CIVIL PLAN SET

SHEET #	SHEET NAME	PLAN DATE	LATEST REVISION
0.00	COVER SHEET	04/05/23	N/A
1 of 1	PROPERTY SURVEY	11/24/21	N/A
2.10	SCHEMATIC OVERALL SITE PLAN	04/05/23	N/A
2.21	SCHEMATIC GRADING & DRAINAGE PLAN	04/05/23	N/A
2.50	SCHEMATIC SEPTIC CAPACITY PLAN	04/05/23	N/A
2.61	SCHEMATIC LANDSCAPE PLAN	04/05/23	N/A

Rev. #: Date Description

Project:

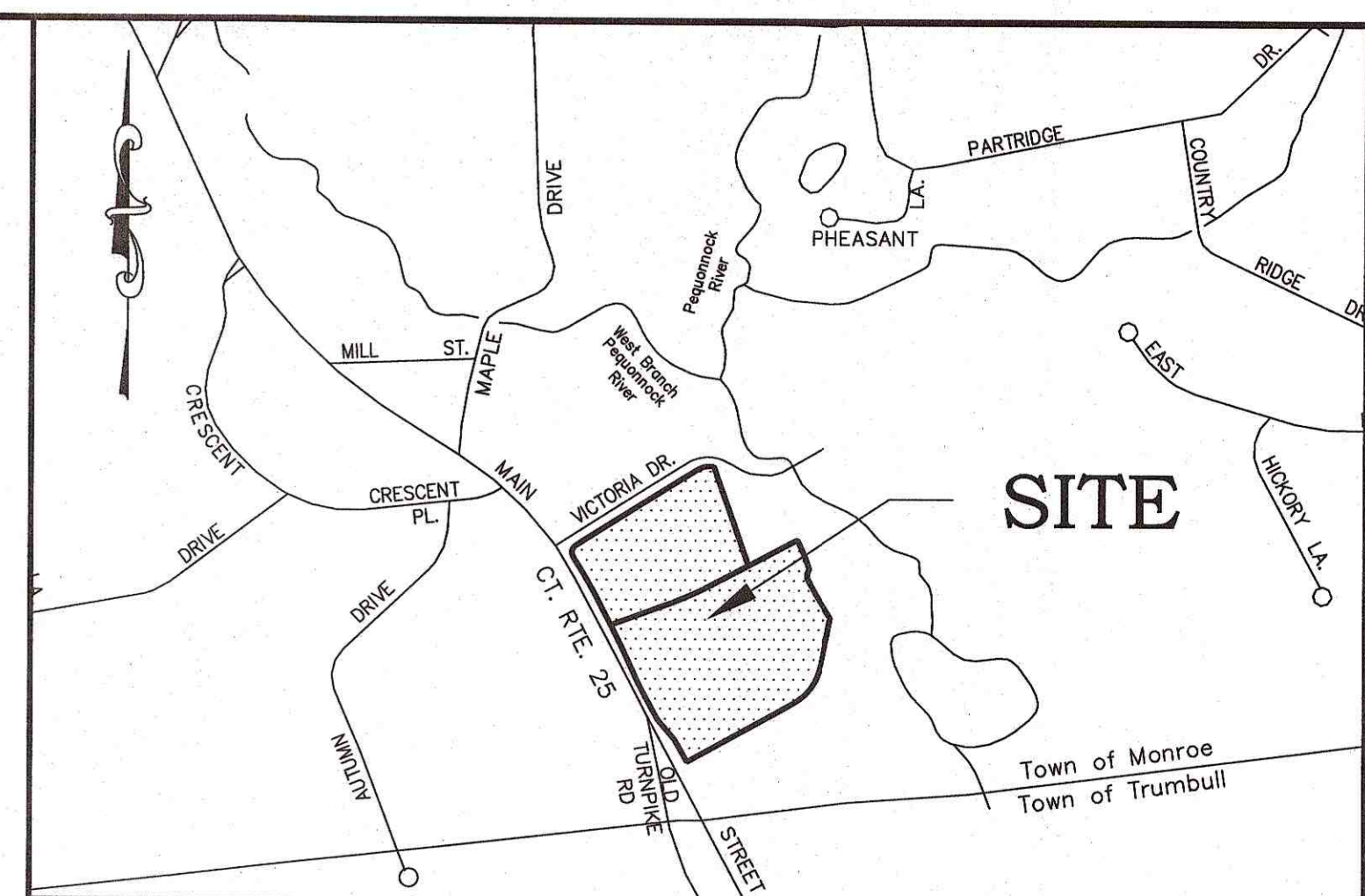
**PROPOSED DEVELOPMENT**  
10 & 36 MAIN STREET  
MONROE, CONNECTICUT

Sheet Title:

COVER SHEET

Sheet #:

0.00



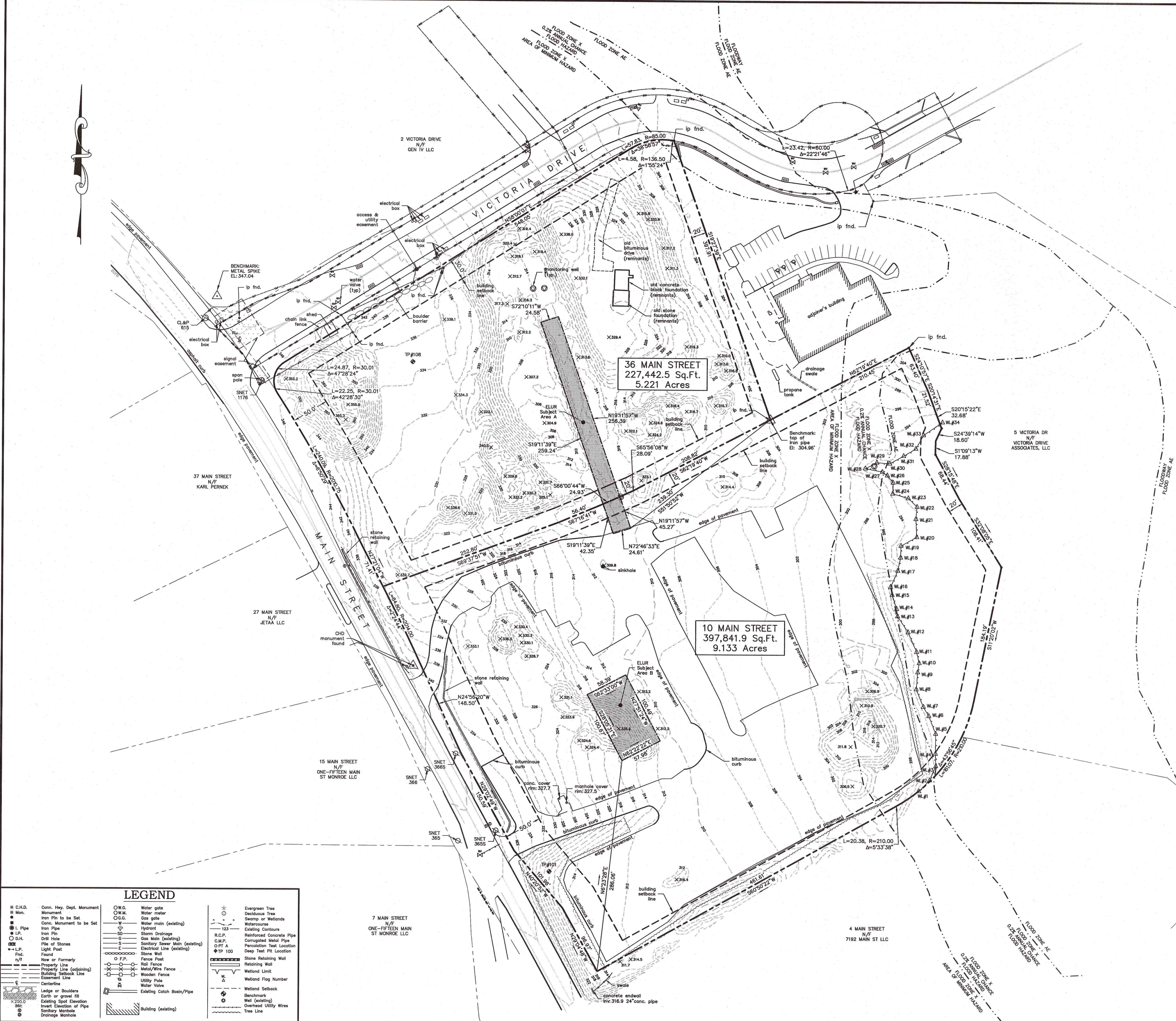
**LOCATION MAP**  
SCALE: 1"=800'

**GENERAL SURVEY NOTES**

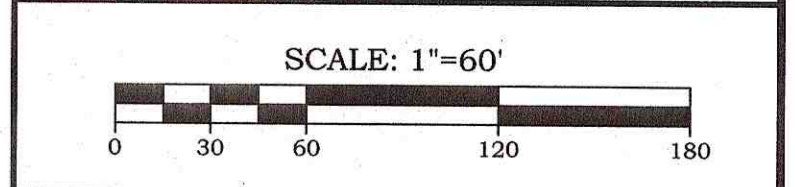
- THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATION OF CONNECTICUT STATE AGENCIES, SECTION 20-306b-1 THROUGH 20-306b-20, EFFECTIVE OCTOBER 26, 2016, AND THE MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC.
- THE BOUNDARY DETERMINATION SHOWN HEREON IS CONSIDERED A RESURVEY.
- THE SURVEY CONFORMS TO HORIZONTAL CLASS A-2 ACCURACY STANDARDS BASED ON NAD83. VERTICAL DATA CONFORMS TO CLASS T-2 STANDARDS. VERTICAL & HORIZONTAL CONTROL OBTAINED FROM CT DOT BENCHMARK REFERENCE 9.4. VERTICAL COMPONENT OF BENCHMARK WAS BASED ON NAVD 1929. VALUE WAS CONVERTED TO NAVD OF 1983 BY USING THE VERTCON APPLICATION PROVIDED BY THE NATIONAL GEODETIC SERVICE.
- THIS IS A PROPERTY, THE PURPOSE OF WHICH IS TO SHOW EXISTING CONDITIONS.
- PROPERTIES ARE ALSO KNOWN AS TOWN OF MONROE TAX LOTS 35 AND 36 ON ASSESSORS MAP 4.
- TOTAL AREA: 10 MAIN STREET = 397,841.9 SQ.FT. OR 9.133 ACRES  
36 MAIN STREET = 227,442.5 SQ.FT. OR 5.221 ACRES
- PROPERTIES LIE IN ZONING DISTRICT B-2.
- A PORTION OF 10 MAIN STREET LIES WITH MULTIPLE FLOOD ZONES, ZONE X (0.2% ANNUAL CHANCE FLOOD HAZARD) AND ZONE AE. A PORTION OF 36 MAIN STREET LIES WITH FLOOD ZONE X (0.2% ANNUAL CHANCE FLOOD HAZARD). ALL ARE SHOWN ON FEMA FIRM MAP #990503289F, EFFECTIVE DATE JUNE 18, 2010.
- THE LOCATION OF UNDERGROUND UTILITIES, OTHER THAN DEPICTED HEREON, IF ANY, IS UNKNOWN.
- WETLANDS DELINEATED BY WILLIAM KENNY ASSOCIATES, LLC. ON APRIL 22, 2021. FLAGS WERE LOCATED VIA CONVENTIONAL SURVEY METHODS.

**MAP REFERENCES**

- PLAN ENTITLED: "BOUNDARY MAP OF PROPERTY OWNED BY THE BRIDGEPORT CHILDREN'S CAMP INC. MONROE/TRUMBULL, CONNECTICUT." SCALE: 1"=100', DATED MARCH 10, 1983. RECEIVED FOR RECORD ON JUNE 4, 1983. PREPARED BY JED KASPER & ASSOCIATES, ENGINEERS, SURVEYORS, PLANNERS. BRIDGEPORT, CONNECTICUT.
- PLAN ENTITLED: "BOUNDARY SURVEY PREPARED FOR AMERICAN TRADING REAL ESTATE PROPERTIES INCORPORATED, MAIN STREET (ROUTE 25) MONROE/TRUMBULL, CT." SCALE: 1"=100', DATED AUGUST 30, 1988. PREPARED BY COOPERBOTH & ASSOCIATES, LANDSCAPE ARCHITECTURE ENGINEERING SURVEYING. 3080 MAIN STREET, SUITE 201 STRATFORD, CT 06497. JOB #2182.
- PLAN ENTITLED: "MAP OF PROPERTY IN MONROE, CONNECTICUT. PREPARED FOR LOUIS M. & JOHN H. SWYDER." SCALE: 1"=40', DATED OCTOBER 9, 1983. RECEIVED FOR RECORD ON OCTOBER 25, 1983. CERTIFIED SUBSTANTIALLY CORRECT BY FRANK G.P. ENGINEER & SURVEYOR, MAP #694.
- MAP ENTITLED: "BOUNDARY MAP #10 MAIN STREET PREPARED FOR ENR/AECOM MONROE, CONN." SCALE: 1"=40', DATED OCTOBER 2, 2008. PREPARED BY AESCHLMAN LAND SURVEYING, PC. 1379 MAIN STREET EAST HARTFORD, CONN. 06108. MAP NO. 208062-1
- PLAN ENTITLED: "RESUBDIVISION PLAN OF 2 VICTORIA DRIVE, MONROE, CONNECTICUT. PREPARED FOR KIMBALL LAND HOLDINGS, LLC & KIMBALL DEVELOPMENT, LLC. 523 PEPPER STREET, MONROE, CT 06468. (SHEET 1 OF 3, 2 OF 3 & 3 OF 3) DATED: 04/04/14. REVISED ON 11/12/15. SCALE: 1"=60'. PREPARED BY ACCURATE LAND SURVEYING, ON FILE IN THE TOWN OF MONROE CLERK'S OFFICE AS MAPS 3144A, 3144B AND 3144C.
- PLAN ENTITLED: "RESUBDIVISION PLAN OF 2 VICTORIA DRIVE, MONROE, CONNECTICUT. PREPARED FOR KIMBALL LAND HOLDINGS, LLC & KIMBALL DEVELOPMENT, LLC. 523 PEPPER STREET, MONROE, CT 06468. (SHEET 1 OF 3, 2 OF 3 & 3 OF 3) DATED: 04/04/14. REVISED THRU 06/23/15. SCALE: 1"=60'. PREPARED BY ACCURATE LAND SURVEYING, ON FILE IN THE TOWN OF MONROE LAND RECORDS AS MAPS 3126A, 3126B AND 3126C.
- PLAN ENTITLED: "ZONE CHANGE MAP OF 2 VICTORIA DRIVE & 10-26 MAIN STREET, MONROE, CONNECTICUT. PREPARED FOR KIMBALL LAND HOLDINGS, LLC & KIMBALL DEVELOPMENT, LLC & 10 MAIN STREET, LLC. 1428 MONROE TURNPIKE, MONROE, CT 06468. DATED: 10/14/14. REVISED THRU 01/08/18. SCALE: 1"=100'. PREPARED BY ACCURATE LAND SURVEYING, ON FILE IN THE TOWN OF MONROE LAND RECORDS AS MAP 3127.
- PLAN ENTITLED: "LOT LINE REVISION PLAN OF 2 VICTORIA DRIVE & 10&36 MAIN STREET, MONROE, CONNECTICUT. PREPARED FOR 10 MAIN STREET, LLC, KIMBALL DEVELOPMENT, LLC & KIMBALL LAND HOLDINGS, LLC. DATED: 5/5/2015, ON FILE IN THE TOWN OF MONROE LAND RECORDS AS MAP 3120.
- PLAN ENTITLED: "LOT LINE REVISION PLAN OF 2 VICTORIA DRIVE & 10&36 MAIN STREET, MONROE, CONNECTICUT. PREPARED FOR 10 MAIN STREET, LLC, KIMBALL DEVELOPMENT, LLC & KIMBALL LAND HOLDINGS, LLC. DATED: 5/14/2015, ON FILE IN THE TOWN OF MONROE LAND RECORDS AS MAP 3121.



No.	Date	REVISION DESCRIPTION



**ACCURATE LAND SURVEYING, LLC**  
15 RESEARCH DRIVE 501 MAIN STREET  
WOODBRIDGE, CT 06468  
TEL: 203.881.8145 TEL: 203.880.5455

**PROPERTY SURVEY**  
OF  
**10 & 36 MAIN STREET**  
MONROE, CONNECTICUT

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Date 5/21/2021  
Scale 1"=60'  
Job No. 397  
Drawing No. 1 of 1

BRYAN P. NESTERAK, PE, LS 23556

**LEGEND**

<ul style="list-style-type: none"> <li>CH.D. Monument</li> <li>Mon. Monument</li> <li>Iron Pin to be Set</li> <li>Conc. Monument to be Set</li> <li>Iron Pipe</li> <li>Iron Pin</li> <li>Drill Hole</li> <li>Pile of Stones</li> <li>Light Post</li> <li>Found</li> <li>n/f</li> <li>Now or Formerly</li> <li>Property Line</li> <li>Property Line (adjoining)</li> <li>Building Setback Line</li> <li>Centerline</li> <li>Ledge or Boulders</li> <li>Earth or gravel fill</li> <li>Existing Spot Elevation</li> <li>Invert Elevation of Pipe</li> <li>Sanitary Manhole</li> <li>Drainage Manhole</li> </ul>	<ul style="list-style-type: none"> <li>W.G. Water gate</li> <li>W.M. Water meter</li> <li>G.G. Gas gate</li> <li>W.M. Water main (existing)</li> <li>H. Hydrant</li> <li>S.D. Storm Drainage</li> <li>G.M. Gas Main (existing)</li> <li>S.S.M. Sanitary Sewer Main (existing)</li> <li>E.L. Electrical Line (existing)</li> <li>Stone Wall</li> <li>F.P. Fence Post</li> <li>R.F. Rail Fence</li> <li>M.W.F. Metal/Wire Fence</li> <li>W.F. Wooden Fence</li> <li>U.P. Utility Pole</li> <li>W.V. Water Valve</li> <li>E.C.B./P. Existing Catch Basin/Pipe</li> </ul>	<ul style="list-style-type: none"> <li>E.T. Evergreen Tree</li> <li>D.T. Deciduous Tree</li> <li>W. Swamp or Wetlands</li> <li>W. Watercourse</li> <li>C. Contour</li> <li>R.C.P. Reinforced Concrete Pipe</li> <li>C.M.P. Corrugated Metal Pipe</li> <li>O.P.T.A. Percussion Test Location</li> <li>D.T.P. Deep Test Pit Location</li> <li>S.R.W. Stone Retaining Wall</li> <li>R.W. Retaining Wall</li> <li>M.F. Wetland Unit</li> <li>W.F.N. Wetland Flag Number</li> <li>W.S. Wetland Setback</li> <li>W.E. Well (existing)</li> <li>O.U.W. Overhead Utility Wires</li> <li>T.L. Tree Line</li> </ul>
--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

THIS DOCUMENT, THE IDEAS, AND DESIGN INCORPORATED HEREON IS AN INSTRUMENT OF PROFESSIONAL SERVICE AND IS THE PROPERTY OF ACCURATE LAND SURVEYING, LLC AND IS NOT TO BE REPRODUCED OR USED IN WHOLE OR IN PART FOR AN EXTENSION OF THIS PROJECT OR FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF ACCURATE LAND SURVEYING, LLC.

10 & 36 MAIN STREET PARKING SUMMARY

PROPOSED DEVELOPMENT	BLDG. AREA	TOWN REQ.	REQUIRED	PROVIDED
PROPOSED RETAIL	18,086 SF	5 SPACES / 1,000 SF	91	-
PROPOSED GROCER	58,000 SF	4 SPACES / 1,000 SF	232	-
PROPOSED SELF STORAGE	97,739 SF	1 SPACE / 4,000 SF	25	-
PROPOSED OFFICE	875 SF	4 SPACE / 1,000 SF	4	-
PROPOSED CONVENIENCE STORE	4,850 SF	5 SPACES / 1,000 SF	25	-
*PROPOSED GAS STATION	-	3 SPACES	3	-
PROPOSED FAST FOOD	2,265 SF	13 SPACES / 1,000 SF	30	-
TOTAL			410	417

\*HALF OF FUELING STATIONS TO COUNT TOWARDS REQUIRED PARKING AS PERMITTED PER TOWN OF MONROE PLANNING & ZONING REGULATIONS.

ZONING COMPLIANCE TABLE

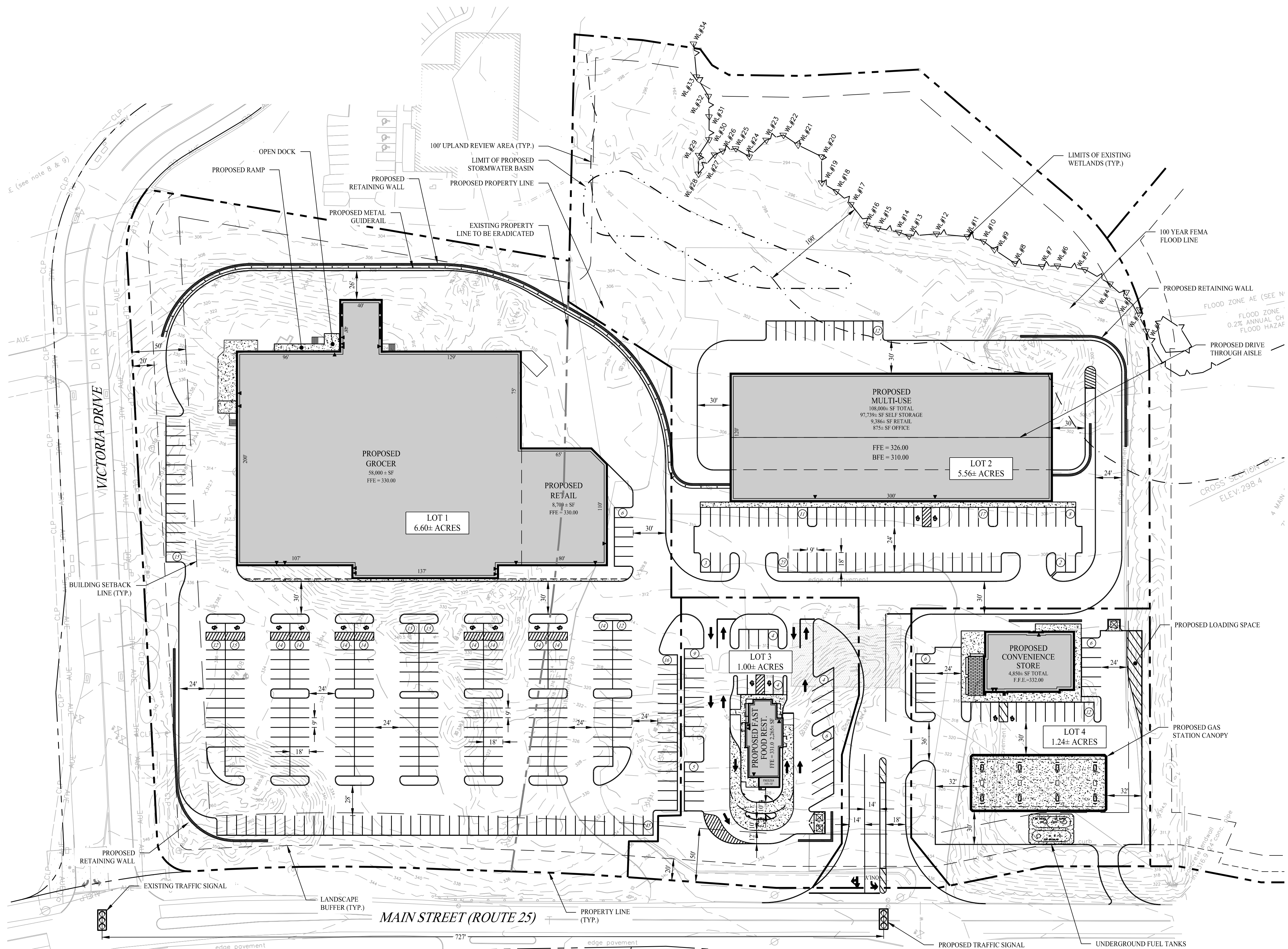
ZONING REQUIREMENT	EXISTING ZONING STANDARD	EXISTING CONDITIONS	PROPOSED ZONING STANDARD	LOT 1	LOT 2	LOT 3	LOT 4
MINIMUM LOT AREA	1 AC	14.35 AC	0.75 AC	6.60 AC	5.56 AC	1.00 AC	1.24 AC
MINIMUM LOT FRONTAGE	125 FT	298 FT	75 FT	407 FT	128 FT	173 FT	188 FT
MINIMUM SQUARE	125 x 125 FT	-	125 x 125 FT	450 x 450 FT	360 x 360 FT	145 x 145 FT	210 x 210 FT
MINIMUM FRONT YARD	50 FT	-	50 FT	267 FT	359 FT	93 FT	164 FT
MINIMUM REAR YARD	20 FT	-	20 FT	65 FT	135 FT	95 FT	21 FT
MINIMUM SIDE YARD	20 FT	-	20 FT	60 FT	55 FT	58 FT	68 FT
MAXIMUM HEIGHT	2.5 STORIES / 35 FT	-	3 STORIES / 45 FT	<3 STORIES	3 STORIES / 45 FT	<3 STORIES	<3 STORIES
MAXIMUM BUILDING COVERAGE	25%	-	25%	23%	15%	6%	10%
MINIMUM FLOOR AREA	1,400 SF	-	1,400 SF	66,700 SF	36,000 SF	2,450 SF	4,850 SF

GENERAL NOTES

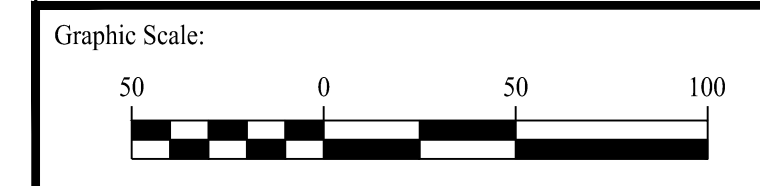
- EXISTING SITE CONDITIONS TAKEN FROM A PLAN ENTITLED "IMPROVEMENT LOCATION SURVEY PREPARED FOR VISHAY SPRAGUE, INC. 10 & 36 MAIN STREET, MONROE, CONNECTICUT", DATED NOVEMBER 24, 2021, SCALE: 1" = 60'. PREPARED BY ACCURATE LAND SURVEYING, LLC.
- THE SUBJECT PARCELS CONSIST OF A TOTAL AREA OF APPROXIMATELY 14.35 ACRES, LOCATED IN THE B-2 ZONING DISTRICT OF MONROE, CONNECTICUT. IN THE THE B-2 DISTRICT OF MONROE, RETAIL, RESTAURANTS, GAS STATIONS, CONVENIENCE STORES & FAST-FOOD ARE PERMITTED.
- A PORTION OF THE SITE LIES WITHIN THE 100-YEAR FLOOD PLAIN. FLOOD INFORMATION TAKEN FROM FEMA FLOOD INSURANCE RATE MAP, MAP NUMBER 9001C0286F, EFFECTIVE ON 06/18/2010.
- THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL FINAL APPROVALS OF THIS PLAN.

LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- ADJOINING LOT LINE
- BUILDING SETBACK
- LANDSCAPE BUFFER
- PROPOSED BUILDING LIMITS
- PROPOSED BUILDING HATCH
- BUILDING OVERHANG LINE / CANOPY
- BITUMINOUS CONCRETE CURB
- CONCRETE SIDEWALK / PAVEMENT
- RETAINING WALL
- METAL BEAM GUIDE RAIL
- SIDEWALK LIMITS
- PAVEMENT STRIPING - YELLOW
- PARKING SPACE COUNT
- STORMWATER BASIN
- DUMPSTER / TRASH RECEPTACLE
- LIMIT OF WETLANDS
- UPLAND REVIEW AREA - 100 FT BUFFER
- 100 YEAR FLOOD HAZARD AREA
- TRAFFIC SIGNAL



Rev. #:	Date	Description



**SOLLI ENGINEERING**  
 501 Main Street, Monroe, CT 06468 T: (203) 880-5455 F: (203) 880-9695  
 11 Vanderbilt Ave, Norwood, MA 02062 T: (781) 352-8491 F: (203) 880-9695

Drawn By:	ARM	Kevin Solli, P.E. CT 25759
Checked By:	CJP	
Approved By:	KMS	
Project #:	2008001	
Plan Date:	04/05/23	
Scale:	1" = 50'	

**PROPOSED DEVELOPMENT**  
 10 & 36 MAIN STREET  
 MONROE, CONNECTICUT

Sheet Title:	Sheet #:
<b>SCHEMATIC OVERALL SITE PLAN</b>	<b>2.10</b>

**ABBREVIATIONS**

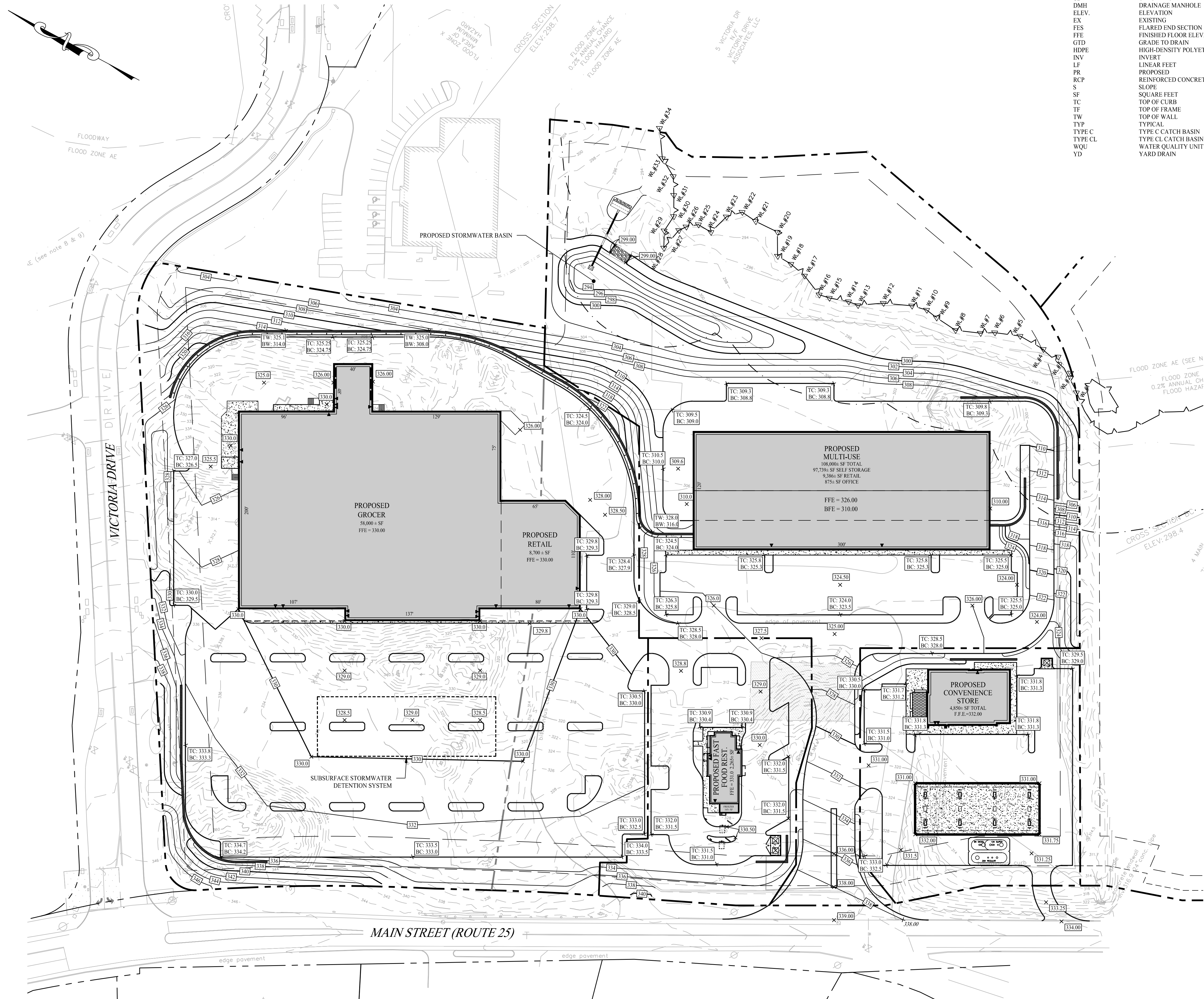
@	AT
BC	BOTTOM OF CURB
BLDG.	BUILDING
BW	BOTTOM OF WALL
CB	CATCH BASIN
DMH	DRAINAGE MANHOLE
ELEV.	ELEVATION
EX	EXISTING
FES	FLARED END SECTION
FFE	FINISHED FLOOR ELEVATION
GD	GRADE TO DRAIN
HDPE	HIGH-DENSITY POLYETHYLENE PIPE
INV	INVERT
LF	LINEAR FEET
PR	PROPOSED
RCP	REINFORCED CONCRETE PIPE
S	SLOPE
SF	SQUARE FEET
TC	TOP OF CURB
TF	TOP OF FRAME
TW	TOP OF WALL
TYP	TYPICAL
TYP C	TYPE C CATCH BASIN
TYPE CL	TYPE CL CATCH BASIN
WQU	WATER QUALITY UNIT
YD	YARD DRAIN

**GENERAL NOTES**

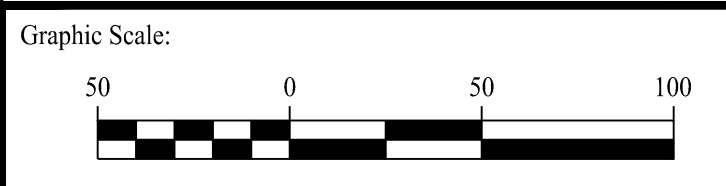
- EXISTING SITE CONDITIONS TAKEN FROM A PLAN ENTITLED "IMPROVEMENT LOCATION SURVEY PREPARED FOR VESHAY SPRAGUE, INC. 10 & 36 MAIN STREET, MONROE, CONNECTICUT"; DATED, MAY 21, 2021; SCALE: 1" = 60'.
- THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
- THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS.
- TOPSOIL SHALL BE STRIPPED AND STOCKPILED ON SITE FOR USE IN FINAL LANDSCAPING.
- CONTRACTOR TO PERFORM ALL SITE WORK PROPOSED HEREON IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL PERMITS AND CONDITIONS OF APPROVALS ISSUED FOR THIS PROJECT.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PERMITS REQUIRED BY GOVERNMENT AND LOCAL AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY CONSTRUCTION PERMITS FROM LOCAL GOVERNING AUTHORITIES AND STATE REQUIRED TO PERFORM ALL REQUIRED WORK, INCLUDING FOR STREET CUTS AND CONNECTIONS TO EXISTING UTILITIES. THE CONTRACTOR SHALL POST ALL BONDS, EXCEPT CONNECTICUT DOT ENCROACHMENT PERMIT BOND, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
- UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" 72 HOURS BEFORE COMMENCEMENT OF WORK AT "811" AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
- SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE CIVIL ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORMED TRAFFIC CONTROLLERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE STATE AND LOCAL GOVERNING AUTHORITIES.
- ALL DISTURBANCE INCURRED TO CITY, COUNTY, OR STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER.
- IF IMPACTED OR CONTAMINATED SOIL IS ENCOUNTERED BY THE CONTRACTOR, THE CONTRACTOR SHALL SUSPEND EXCAVATION WORK OF IMPACTED SOIL AND NOTIFY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT PRIOR TO PROCEEDING WITH FURTHER WORK IN THE IMPACTED SOIL LOCATION UNTIL FURTHER INSTRUCTED BY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT.
- PROPER CONSTRUCTION PROCEDURES SHALL BE FOLLOWED ON ALL IMPROVEMENTS WITHIN THIS PARCEL SO AS TO PREVENT THE SILTING OF ANY WATERCOURSE OR WETLANDS IN ACCORDANCE WITH THE REGULATIONS OF THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.
- ALL PIPE LENGTHS ARE HORIZONTAL DISTANCES AND ARE APPROXIMATE.
- GRADING CONTRACTOR SHALL RESTORE TO GRADE AND COMPACTION ALL AREAS DISTURBED BY BUILDING CONSTRUCTION PRIOR TO ABSE AND PAVING OPERATIONS COMMENCING.
- PROPOSED GRADING/EVALUATIONS ARE SCHEMATIC CONCEPTUAL IN NATURE AND SUBJECT TO FURTHER REINFORCEMENT AS THE DESIGN IS FINALIZED.

**LEGEND**

	PROPERTY LINE
	RIGHT-OF-WAY LINE
	ADJOINING LOT LINE
	MAJOR CONTOURS
	MINOR CONTOURS
	EXISTING MAJOR CONTOURS
	EXISTING MINOR CONTOURS
	CONTOUR LABEL
	PROPOSED SPOT ELEVATION
	EXISTING SPOT ELEVATION
	GRADE TO DRAIN
	SWALE
	STORM DRAIN PIPE
	TYPE "CL" CATCH BASIN
	FLARE END SECTION
	RIP RAP



Rev. #:	Date	Description



**SOLLI ENGINEERING**  
 501 Main Street, Monroe, CT 06468 T: (203) 880-5455 F: (203) 880-9695  
 11 Vanderbilt Ave, Norwood, MA 02062 T: (781) 352-8491 F: (203) 880-9695

Drawn By:	BCP
Checked By:	RPP
Approved By:	KMS
Project #:	2008001
Plan Date:	04/05/23
Scale:	1" = 50'
Project:	Kevin Solli, P.E. CT 25759

**PROPOSED DEVELOPMENT**  
 10 & 36 MAIN STREET  
 MONROE, CONNECTICUT

Sheet Title:	SCHMATIC GRADING & DRAINAGE PLAN	Sheet #:	2.21
--------------	----------------------------------	----------	------

Apr 05, 2023 - 10:06am  
 X:\SE Files\Project Data\2023\2008001 - 10 & 36 Main Street - Monroe, CT\Cadd Data\SD\2008001-2.21-SD.dwg  
 I:\bin\lpsolli

**PARCEL A PRIMARY SEPTIC DESIGN**

**DESIGN ANALYSIS**  
 DESIGN PERCOLATION RATE: LESS THAN 10.1 MIN/INCH

**RETAIL AREA DESIGN FLOW (4,850 SF):**  
 4,850 SF \* 0.1 GPD/SF = 485 GPD

**RESTAURANT DESIGN FLOW (PER SEAT):**  
 15 SEATS \* 30 GPD/SEAT = 450 GPD  
**TOTAL DESIGN FLOW:** 935 GPD

REQUIRED ELA (PROBLEMATIC) = 450 GPD / 0.8 GPD/SF = 563 SF OF ELA  
 REQUIRED ELA: 485 GPD (NON-PROBLEMATIC) / 1.5 GPD/SF = 324 SF OF ELA  
**TOTAL ELA REQUIRED: 887 SF**

*MLSS NOT REQUIRED*

PROPOSED LEACHING SYSTEM: 45 LF OF GREENLEACH GLF 36-62  
 = 20.0 SF/LF = 900 SF ELA

**PARCEL A RESERVE SEPTIC DESIGN**

**DESIGN ANALYSIS**  
 DESIGN PERCOLATION RATE: LESS THAN 10.1 MIN/INCH

**RETAIL AREA DESIGN FLOW (4,850 SF):**  
 4,850 SF \* 0.1 GPD/SF = 485 GPD

**RESTAURANT DESIGN FLOW (PER SEAT):**  
 15 SEATS \* 30 GPD/SEAT = 450 GPD  
**TOTAL DESIGN FLOW:** 935 GPD

REQUIRED ELA (PROBLEMATIC) = 450 GPD / 0.8 GPD/SF = 563 SF OF ELA  
 REQUIRED ELA: 485 GPD (NON-PROBLEMATIC) / 1.5 GPD/SF = 324 SF OF ELA  
**TOTAL ELA REQUIRED: 887 SF**

*MLSS NOT REQUIRED*

RESERVE LEACHING SYSTEM: 45 LF OF GREENLEACH GLF 36-62  
 = 20.0 SF/LF = 900 SF ELA

**PARCEL B PRIMARY SEPTIC DESIGN**

**DESIGN ANALYSIS**  
 DESIGN PERCOLATION RATE: LESS THAN 10.1 MIN/INCH

**RETAIL AREA DESIGN FLOW (10,000 SF):**  
 10,000 SF \* 0.1 GPD/SF = 1,000 GPD

**SALON AREA DESIGN FLOW (PER CHAIR):**  
 (3 STYLING CHAIRS \* 200 GPD/CHAIR) + (2 REGULAR CHAIRS \* 100 GPD/CHAIR) = 800 GPD

**SELF STORAGE AREA DESIGN FLOW:**  
 DESIGN FLOW: 150 GPD  
**TOTAL DESIGN FLOW:** 1,950 GPD

REQUIRED ELA: 800 GPD / 0.8 GPD/SF (PROBLEMATIC) = 1,000 SF OF ELA  
 REQUIRED ELA: 1,150 GPD (NON-PROBLEMATIC) / 1.5 GPD/SF = 767 SF OF ELA  
**TOTAL ELA REQUIRED: 1,767 SF**

*MLSS NOT REQUIRED*

PROPOSED LEACHING SYSTEM: 90 LF MANTIS DOUBLE-WIDE 100  
 = 90 LF \* 20SF/LF = 1,800 SF ELA

**PARCEL B RESERVE SEPTIC DESIGN**

**DESIGN ANALYSIS**  
 DESIGN PERCOLATION RATE: LESS THAN 10.1 MIN/INCH

**RETAIL AREA DESIGN FLOW (10,000 SF):**  
 10,000 SF \* 0.1 GPD/SF = 1,000 GPD

**SALON AREA DESIGN FLOW (PER CHAIR):**  
 (3 STYLING CHAIRS \* 200 GPD/CHAIR) + (2 REGULAR CHAIRS \* 100 GPD/CHAIR) = 800 GPD

**SELF STORAGE AREA DESIGN FLOW:**  
 DESIGN FLOW: 150 GPD  
**TOTAL DESIGN FLOW:** 1,950 GPD

REQUIRED ELA: 800 GPD / 0.8 GPD/SF (PROBLEMATIC) = 1,000 SF OF ELA  
 REQUIRED ELA: 1,150 GPD (NON-PROBLEMATIC) / 1.5 GPD/SF = 767 SF OF ELA  
**TOTAL ELA REQUIRED: 1,767 SF**

*MLSS NOT REQUIRED*

RESERVE LEACHING SYSTEM: 90 LF MANTIS DOUBLE-WIDE 100  
 = 90 LF \* 20SF/LF = 1,800 SF ELA

**PARCEL C PRIMARY SEPTIC DESIGN**

**DESIGN ANALYSIS**  
 DESIGN PERCOLATION RATE: LESS THAN 10.1 MIN/INCH

**RESTAURANT DESIGN FLOW (PER SEAT):**  
 60 SEATS \* 30 GPD/SEAT = 1,800 GPD  
**TOTAL DESIGN FLOW:** 1,800 GPD  
 REQUIRED ELA (PROBLEMATIC) = 1,800 GPD / 0.8 GPD/SF = 2,250 SF OF ELA

*MLSS NOT REQUIRED*

PROPOSED LEACHING SYSTEM: 86 LF GREENLEACH GLF 36-72  
 = 86 LF \* 26.2 SF/LF = 2,253 SF ELA

**PARCEL C RESERVE SEPTIC DESIGN**

**DESIGN ANALYSIS**  
 DESIGN PERCOLATION RATE: LESS THAN 10.1 MIN/INCH

**RESTAURANT DESIGN FLOW (PER SEAT):**  
 60 SEATS \* 30 GPD/SEAT = 1,800 GPD  
**TOTAL DESIGN FLOW:** 1,800 GPD  
 REQUIRED ELA (PROBLEMATIC) = 1,800 GPD / 0.8 GPD/SF = 2,250 SF OF ELA

*MLSS NOT REQUIRED*

RESERVE LEACHING SYSTEM: 86 LF GREENLEACH GLF 36-72  
 = 86 LF \* 26.2 SF/LF = 2,253 SF ELA

**PARCEL D PRIMARY SEPTIC DESIGN**

**DESIGN ANALYSIS**  
 DESIGN PERCOLATION RATE: LESS THAN 10.1 MIN/INCH  
*MLSS NOT REQUIRED*

**PROPOSED GROCER DESIGN FLOW (51,000 SF):**  
 51,000 SF \* 0.1 GPD/SF = 5,100 GPD

**PROPOSED BAKERY AREA DESIGN FLOW (3,250 SF):**  
 3,250 SF \* 0.1 GPD/SF = 325 GPD

**PROPOSED DELI AREA DESIGN FLOW (3,750 SF):**  
 3,750 SF \* 0.1 GPD/SF = 375 GPD

**PROPOSED RETAIL DESIGN FLOW (8,700 SF):**  
 8,700 SF \* 0.1 GPD/SF = 870 SF  
**TOTAL DESIGN FLOW:** 6,665 GPD

REQUIRED ELA (NON-PROBLEMATIC) = 5,970 GPD / 1.5 GPD/SF = 3,980 SF OF ELA  
 REQUIRED ELA (PROBLEMATIC) = 695 GPD / 0.8 GPD/SF = 869 SF OF ELA  
**TOTAL ELA REQUIRED: 4,837 SF**

PROPOSED LEACHING SYSTEM: 185 LF GREENLEACH GLF 36-72  
 = 185 LF \* 26.2 SF/LF = 4,847 SF ELA

**PARCEL D RESERVE SEPTIC DESIGN**

**DESIGN ANALYSIS**  
 DESIGN PERCOLATION RATE: LESS THAN 10.1 MIN/INCH  
*MLSS NOT REQUIRED*

**PROPOSED GROCER DESIGN FLOW (51,000 SF):**  
 51,000 SF \* 0.1 GPD/SF = 5,100 GPD

**PROPOSED BAKERY AREA DESIGN FLOW (3,250 SF):**  
 3,250 SF \* 0.1 GPD/SF = 325 GPD

**PROPOSED DELI AREA DESIGN FLOW (3,750 SF):**  
 3,750 SF \* 0.1 GPD/SF = 375 GPD

**PROPOSED RETAIL DESIGN FLOW (8,700 SF):**  
 8,700 SF \* 0.1 GPD/SF = 870 SF  
**TOTAL DESIGN FLOW:** 6,665 GPD

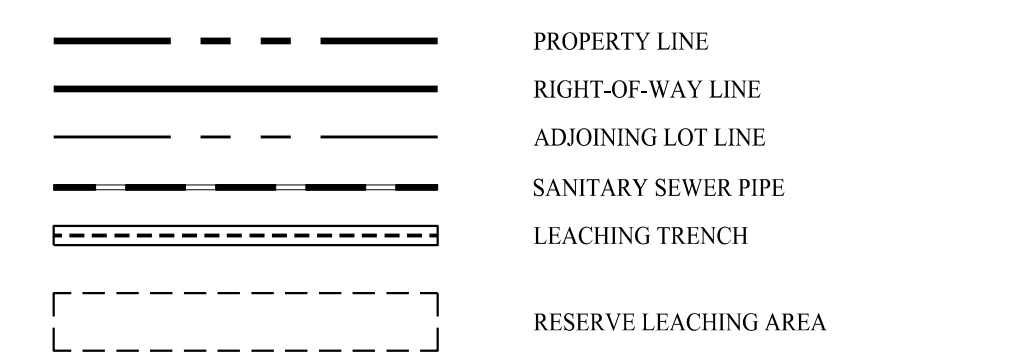
REQUIRED ELA (NON-PROBLEMATIC) = 5,970 GPD / 1.5 GPD/SF = 3,980 SF OF ELA  
 REQUIRED ELA (PROBLEMATIC) = 695 GPD / 0.8 GPD/SF = 869 SF OF ELA  
**TOTAL ELA REQUIRED: 4,837 SF**

RESERVE LEACHING SYSTEM: 185 LF GREENLEACH GLF 36-72  
 = 185 LF \* 26.2 SF/LF = 4,847 SF ELA

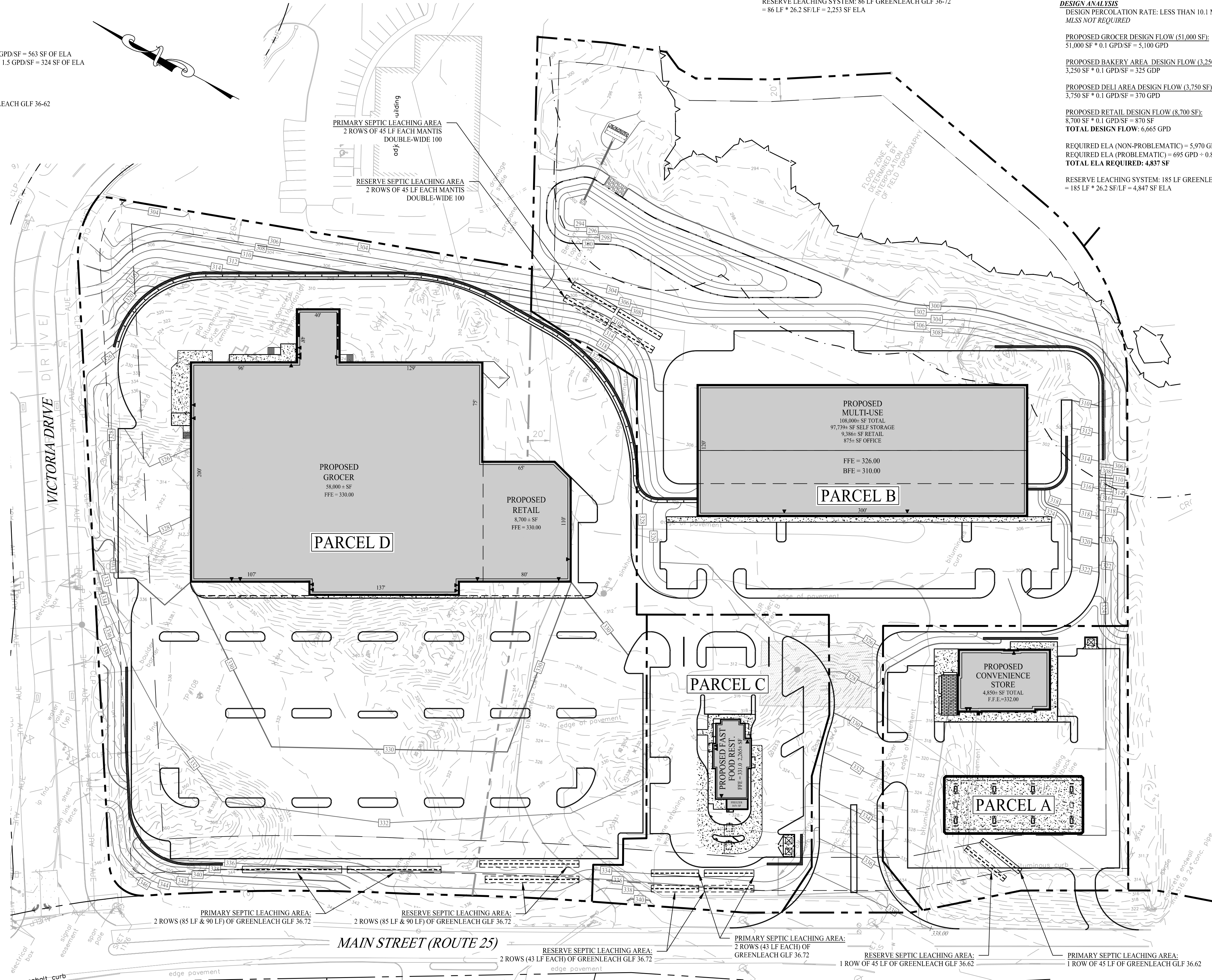
**GENERAL NOTES**

- EXISTING SITE CONDITIONS TAKEN FROM A PLAN ENTITLED "IMPROVEMENT LOCATION SURVEY PREPARED FOR VISHAY SPRAGUE, INC. 10 & 36 MAIN STREET, MONROE, CONNECTICUT", DATED: NOVEMBER 24, 2021, SCALE: 1" = 60'. PREPARED BY ACCURATE LAND SURVEYING, LLC. THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL FINAL APPROVALS OF THIS PLAN.
- ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
- ALL PIPE LENGTHS ARE HORIZONTAL DISTANCES AND ARE APPROXIMATE.
- ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES, REGULATIONS, AND/OR LOCAL STANDARDS IMPOSED BY LOCAL UTILITY AUTHORITIES.
- INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY PROVIDER AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" 72 HOURS BEFORE COMMENCEMENT OF WORK AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
- ALL NOTES AND DIMENSIONS DESIGNATED "TYP." APPLY TO ALL LIKE OR SIMILAR CONDITIONS THROUGHOUT THE PLAN SET.
- SEPTIC PRIMARY AREA MUST BE STAKED BY ENGINEER / SURVEYOR AND FENCED OFF PRIOR TO ISSUANCE OF PERMITS TO CONSTRUCT TO PREVENT TRAFFICING.
- STORMWATER CONVEYANCE PIPING WITHIN 25 FEET OF ANY PORTION OF THE PROPOSED SEPTIC SYSTEM TO BE APPROVED TIGHT PIPE COMPLYING WITH REQUIREMENTS OF TECHNICAL STANDARDS TABLE 3, PAGE 21.
- SYSTEM TO MAINTAIN MINIMUM 25 FEET EDGE-TO-EDGE SEPARATION DISTANCE TO ALL GROUNDWATER DRAINS, INCLUDING BUILDING FOOTING DRAINS.

**LEGEND**

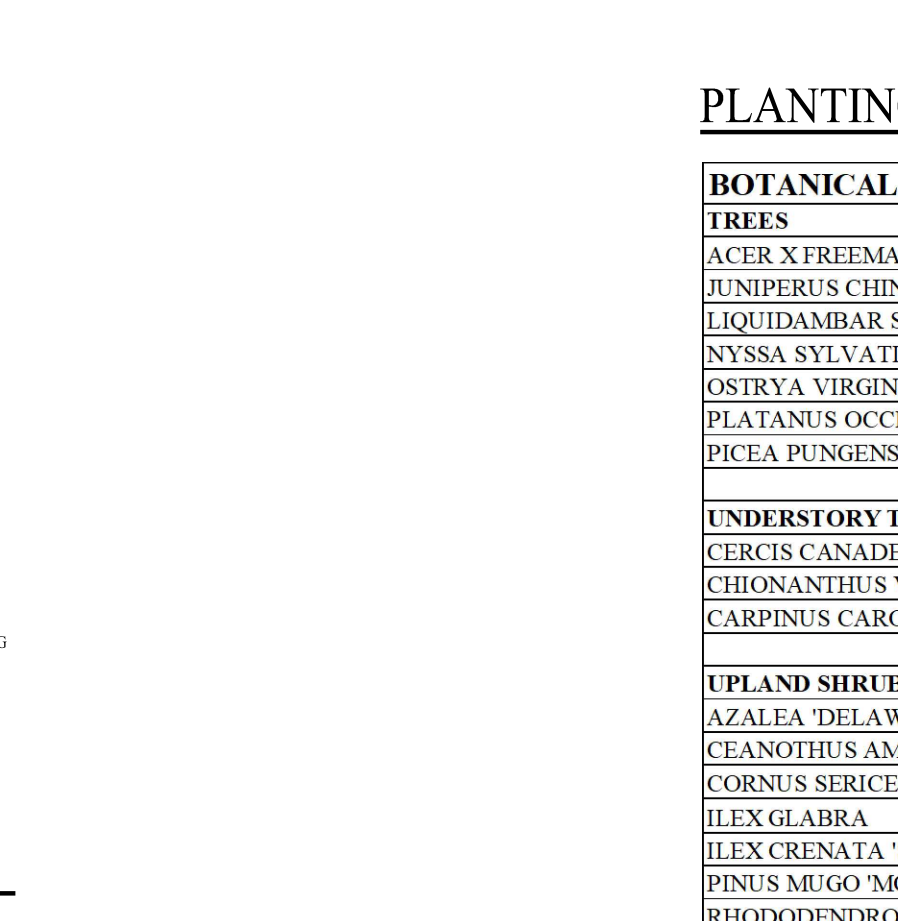
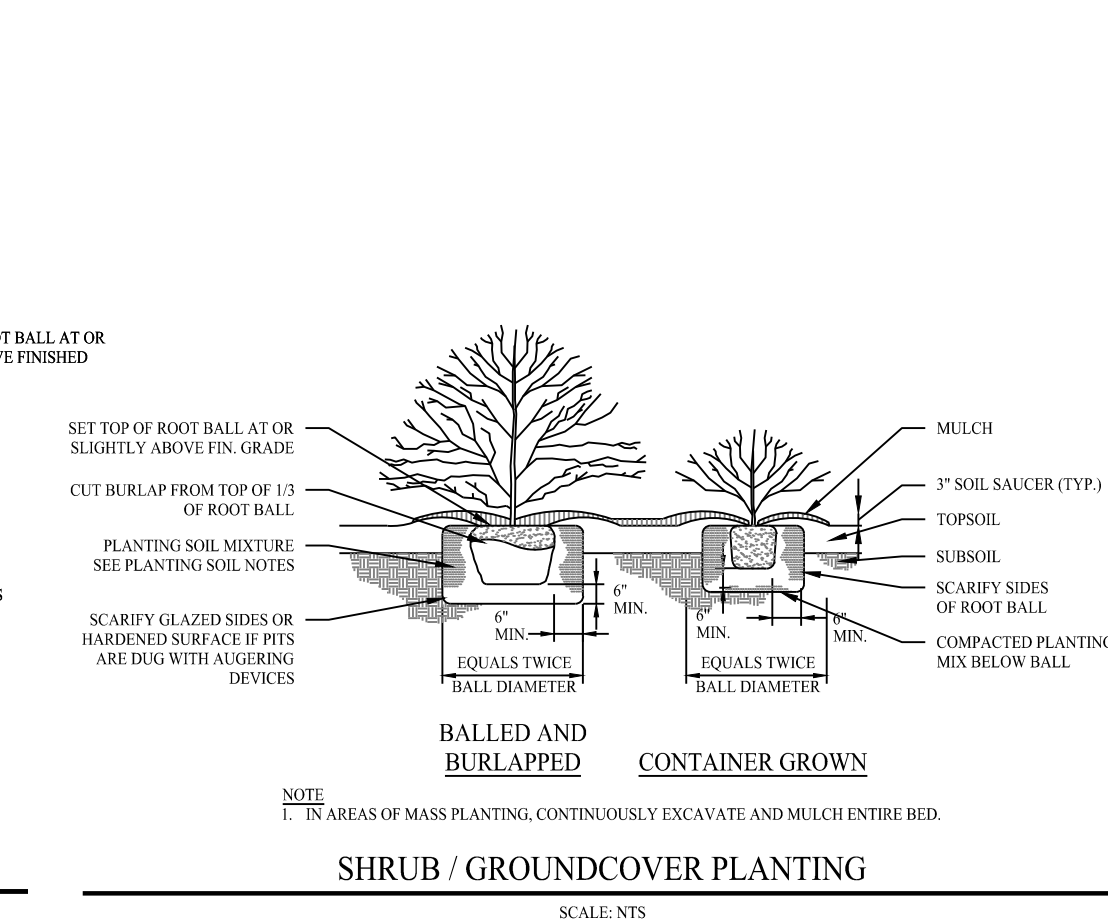
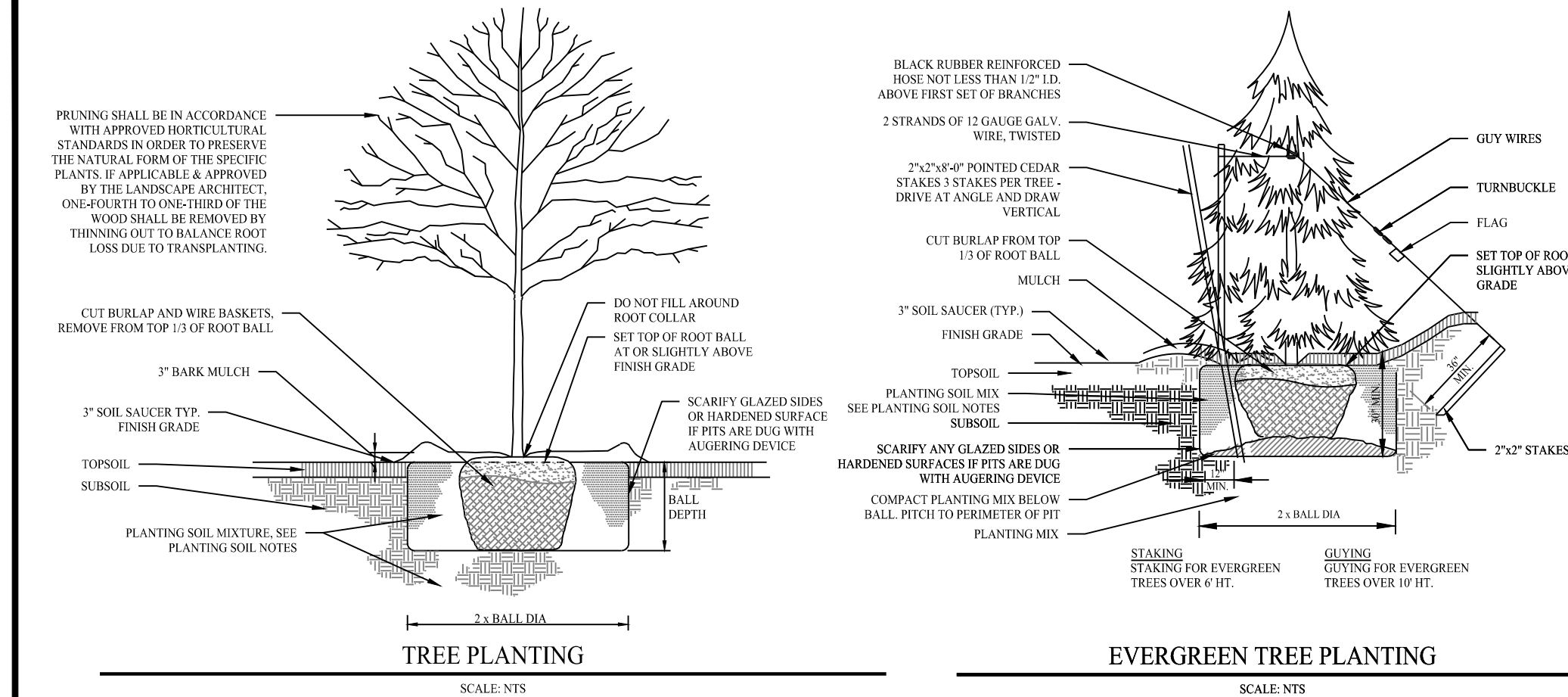


**PARCEL A, C, & D WILL REQUIRE PUMPED SEPTIC SYSTEMS.**



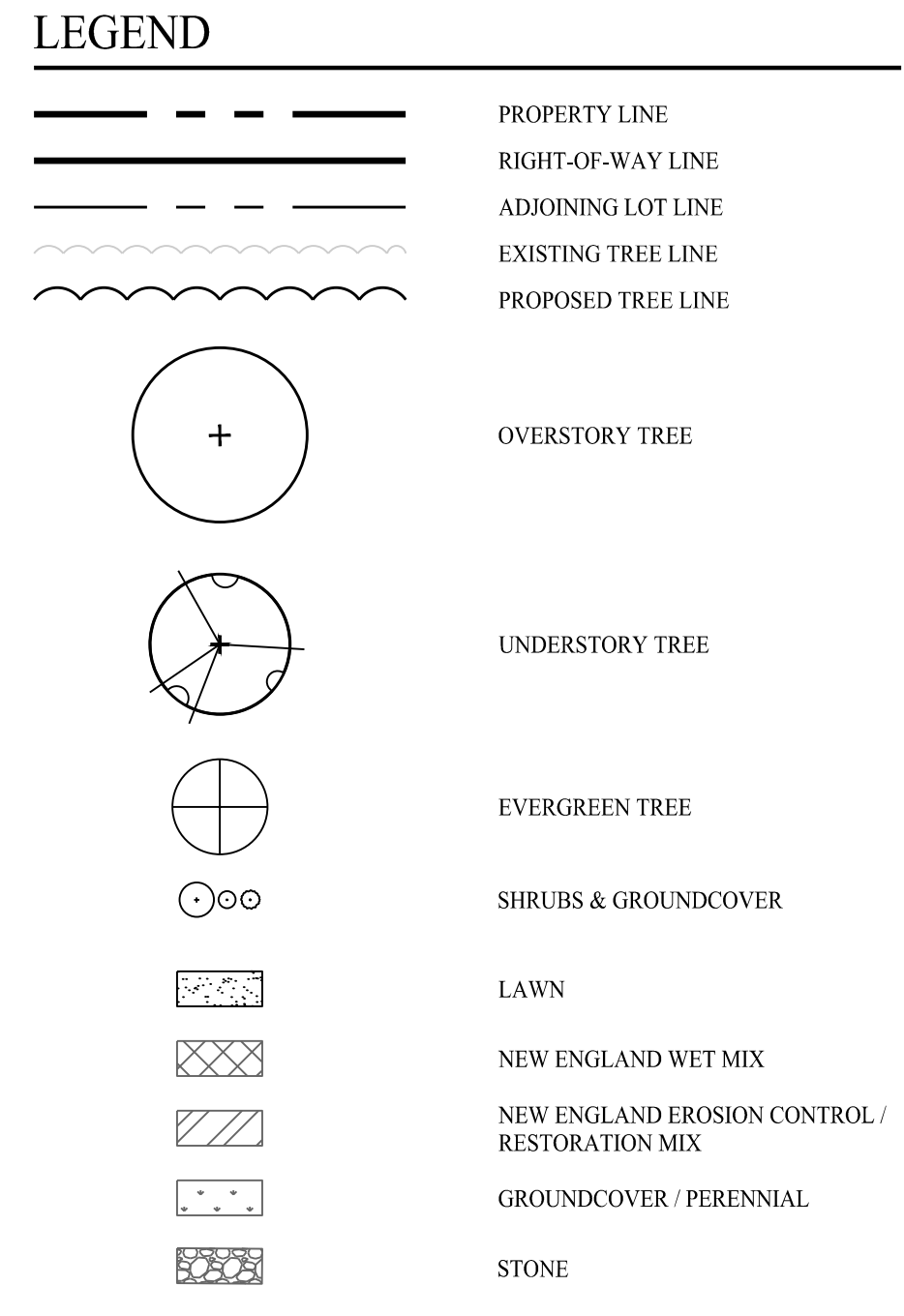
Rev. #:	Date:	Description:
Graphic Scale: 0 50 100		
<b>SOLLI ENGINEERING</b>		
501 Main Street, Monroe, CT 06468 T: (203) 880-5455 F: (203) 880-9695 11 Vanderbilt Ave, Norwood, MA 02062 T: (781) 352-8491 F: (203) 880-9695		
Drawn By:	BCP	
Checked By:	CPP	
Approved By:	KMS	
Project #:	2008001	
Plan Date:	04/05/23	
Scale:	1" = 50'	Kevin Solli, P.E. CT 25759
<b>PROPOSED DEVELOPMENT</b> 10 & 36 MAIN STREET MONROE, CONNECTICUT		
Sheet Title:	Schematic Septic Capacity Plan	Sheet #: <b>2.50</b>

Apr 05, 2023 - 10:06am bpc@solli.com  
X:\SE Firm\Project Data\2023\2008001 - 10 & 36 Main Street - Monroe, CT\Cadd Data\SDD\2008001-2.50-SDD.dwg



**PLANTING SCHEDULE**

BOTANICAL NAME	COMMON NAME	ROOT	SIZE	COMMENTS
<b>TREES</b>				
ACER X FREEMANII	FREEMAN'S MAPLE	B&B	5'-3 1/2" CAL	FULL EXTRA HEAVY
JUNIPERUS CHINENSIS 'BLUE POINT'	BLUE POINT JUNIPER	B&B	10-12 HT	FULL EXTRA HEAVY
LIQUIDAMBAR SICYRACIFLUA 'SLENDER SILHOUETTE'	SLENDER SILHOUETTE SWEETGUM	B&B	3'-3 1/2" CAL	FULL EXTRA HEAVY
NYSSA SYLVATICA	BLACK TUPELO	B&B	3'-3 1/2" CAL	FULL EXTRA HEAVY
OSTRYA VIRGINIANA	AMERICAN HOPHORNBEAM	B&B	3'-3 1/2" CAL	FULL EXTRA HEAVY
PLATANUS OCCIDENTALIS	AMERICAN SYCAMORE	B&B	3'-3 1/2" CAL	FULL EXTRA HEAVY
PICEA PUNGENS	COLORADO BLUE SPRUCE	B&B	10-12 HT	FULL EXTRA HEAVY
<b>UNDERSTORY TREES</b>				
CERCIS CANADENSIS	EASTERN REDBUD	B&B	2 - 2 1/2" CAL	FULL EXTRA HEAVY
CHIONANTHUS VIRGINICUS	WHITE FRINGETREE	B&B	2 - 2 1/2" CAL	FULL EXTRA HEAVY
CARPINUS CAROLINIANA	AMERICAN HORNBEAM	B&B	2 - 2 1/2" CAL	FULL EXTRA HEAVY
<b>UPLAND SHRUBS</b>				
AZALEA DELAWARE VALLEY WHITE	DELAWARE VALLEY WHITE AZALEA	CONT	18"-24" HT	FULL EXTRA HEAVY
CELANOTHUS AMERICANUS	NEW JERSEY TEA	CONT	18"-24" HT	FULL EXTRA HEAVY
CORNUS SERICEA 'FLAVIRAMEA'	YELLOW TWIG DOGWOOD	CONT	18"-24" HT	FULL EXTRA HEAVY
ILEX GLABRA	INKBERRY	CONT	18"-24" HT	FULL EXTRA HEAVY
ILEX CRENATA 'SKY PENCIL'	SKY PENCIL JAPANESE HOLLY	CONT	24"-36" HT	FULL EXTRA HEAVY
PINUS MUGO 'MOPS'	MOPS PINE	CONT	18"-24" HT	FULL EXTRA HEAVY
RHODODENDRON PJM	PJM RHODODENDRON	CONT	18"-24" HT	FULL EXTRA HEAVY
<b>GROUNDCOVER / GRASSES / PERENNIALS</b>				
ASTILBE CHINENSIS	ASTILBE	CONT	#1 CONT	
ARCTOSTAPHYLOS UVA-URSI	BEARBERRY	CONT	#1 CONT	
CORNUS CANADENSIS	BUNCHBERRY	CONT	#1 CONT	
CAREX STRICTA	SEDGE GRASS	CONT	#1 CONT	
ERAGROSTIS SPECTABILIS	PURPLE LOVEGRASS	CONT	#1 CONT	
JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR CREEPING JUNIPER	CONT	#1 CONT	
LIRIOPE MUSCARI	LILY TURF	FLATS	#1 CONT	
MISCANTHUS SINENSIS 'GRACILLIMUS'	MAIDEN GRASS	CONT	#1 CONT	
NEPETA FAASSENII 'WALKER'S LOW'	WALKER'S LOW CATMINT	CONT	#1 CONT	
SCHIZACHYRIUM SCOPARIUM 'THE BLUES'	THE BLUES LITTLE BLUESTEM	CONT	#1 CONT	
VINCA MINOR	MYRTLE	FLATS	#1 CONT	3-5 RUNNERS PER PLANT
<b>UPLAND BUFFER</b>				
PLATANUS OCCIDENTALIS	AMERICAN SYCAMORE	CONT	6-7 HT	FULL EXTRA HEAVY
BETULA NIGRA	RIVER BIRCH	CONT	6-7 HT	MULTI-STEM
AMELANCHIER CANADENSIS	SERVICEBERRY	CONT	6-7 HT	FULL EXTRA HEAVY
ACER RUBRUM	RED MAPLE	CONT	6-7 HT	FULL EXTRA HEAVY
VIBURNUM DENTATUM	ARROWOOD VIBURNUM	CONT	6-7 HT	FULL EXTRA HEAVY
<b>NEW ENGLAND WETMIX (NEW ENGLAND WETLAND PLANTS, INC.)</b>				
APPLICATION RATE: 1 LB/2,500 S.F.				
<b>NEW ENGLAND CONSERVATION / WILDLIFE MIX (NEW ENGLAND WETLAND PLANTS, INC.)</b>				
APPLICATION RATE: 1 LB/1,450 S.F.				
<b>LAWN: PENNINGTON SMART SEED SUN AND SHADE</b>				
APPLICATION RATE NEW LAWNS: 9 LB/1,000 S.F.				



**GENERAL NOTES**

- EXISTING SITE CONDITIONS TAKEN FROM A PLAN ENTITLED "IMPROVEMENT LOCATION SURVEY PREPARED FOR VISHAY SPRAGUE, INC. 10 & 36 MAIN STREET, MONROE, CONNECTICUT"; DATED: MAY 21, 2021; SCALE: 1" = 60'; PREPARED BY ACCURATE LAND SURVEYING, LLC.
- THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
- CONTRACTOR TO PERFORM ALL SITE WORK PROPOSED HEREON IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL PERMITS AND CONDITIONS OF APPROVALS ISSUED FOR THIS PROJECT.

**PLANTING NOTES**

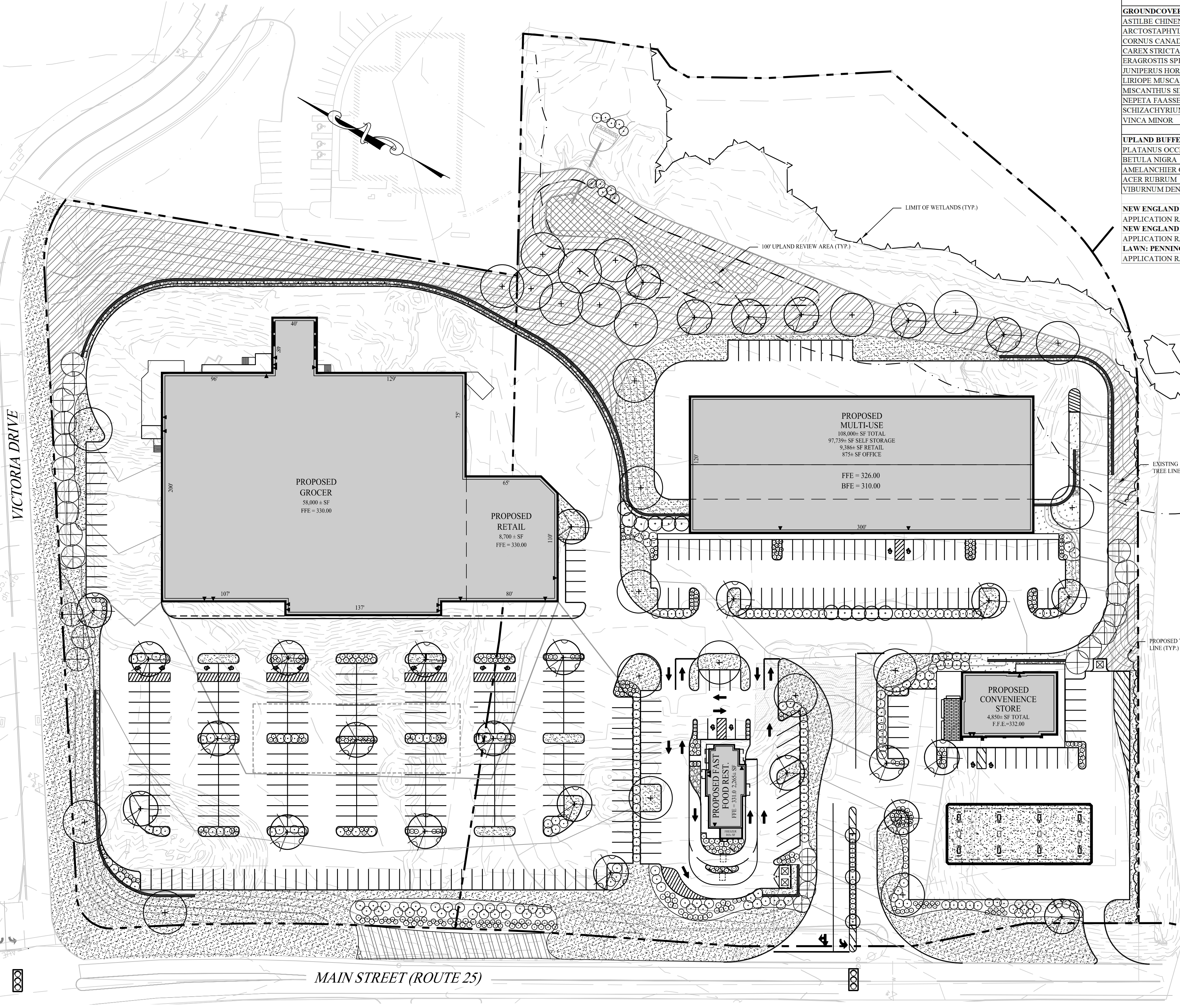
- BE AWARE OF ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION OR PLANTING OPERATIONS. USE CARE TO PROTECT EXISTING UTILITIES FROM DAMAGE. CONTACT "CALL BEFORE YOU DIG" PRIOR TO EXCAVATION.
- ALL PLANTINGS ARE TO BE INSTALLED BY A QUALIFIED LANDSCAPE CONTRACTOR.
- THE CONTRACTOR SHALL BE REQUIRED TO CARRY WORKMEN'S COMPENSATION INSURANCE AND COMPREHENSIVE GENERAL LIABILITY INSURANCE. CERTIFICATES WILL BE REQUIRED PRIOR TO SIGNING CONTRACT FOR DESIGN.
- CONTRACTOR IS RESPONSIBLE FOR JOBSITE SAFETY. CONTRACTOR SHALL MAINTAIN A SAFE JOBSITE AT ALL TIMES.
- CONTRACTOR SHALL BE FAMILIAR WITH THE SITE VERIFY ALL DIMENSIONS, GRADES AND EXISTING CONDITIONS. REPORT ANY DISCREPANCIES TO LANDSCAPE DESIGNER.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS AND LICENSES REQUIRED FOR COMPLETING WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSAL OF ALL EXCAVATED SOIL, BRUSH AND DEBRIS OFF-SITE IN A SAFE AND LEGAL MANNER.
- NOTIFY OWNER OR LANDSCAPE DESIGNER 72 HOURS MINIMUM IN ADVANCE OF STARTING PLANTING OPERATIONS. RECEIVE APPROVAL FOR LAYOUT OF ALL BED LINES AND MATERIAL LOCATIONS PRIOR TO INSTALLATION.
- PROTECT EXISTING VEGETATION TO REMAIN FROM DAMAGE DURING CONSTRUCTION. IT IS THE INTENT OF THIS CONTRACT TO AVOID ANY DISTURBANCE TO EXISTING VEGETATION ON THE SITE OTHER THAN THOSE SPECIFICALLY DESIGNATED FOR REMOVAL. ADJUSTMENTS SHALL BE MADE IN THE FIELD AT THE DIRECTION OF THE LANDSCAPE DESIGNER.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL PLANTING, SEEDING AND TREE WORK WITH OTHER TRADES. RESPECT OTHER TRADES WORK AT ALL TIMES.
- CONTRACTOR IS TO EXERCISE EXTREME CARE DURING THE COURSE OF DEMOLITION AND REMOVALS ANY DAMAGE TO EXISTING FACILITIES, UTILITIES OR TREES TO REMAIN SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPLACE IN KIND.
- CONTRACTOR IS RESPONSIBLE FOR RESTORING ALL AREAS DAMAGED TO PRE-EXISTING CONDITIONS AS A RESULT OF PLANTING OPERATIONS TO OWNERS AND/OR LANDSCAPE DESIGNERS APPROVAL.
- VEGETATION TO BE REMOVED, NOT INDICATED ON PLAN, SHALL BE TAGGED IN FIELD BY LANDSCAPE DESIGNER.
- THE LANDSCAPE DESIGNER RESERVES THE RIGHT TO REJECT INFERIOR PLANT MATERIALS AND SUBSTITUTIONS. THE LANDSCAPE DESIGNER IS WILLING TO MAKE TWO TRIPS TO SUPPLIERS TO TAG, REVIEW AND APPROVE MATERIALS. PREVIOUSLY UNAPPROVED MATERIALS MAY BE REJECTED AT THE SITE. MINIMALLY, ALL MATERIALS MUST CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z601.1-2004) OF THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN GOOD, HEALTHY AND FLOURISHING CONDITION FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE. THE CONTRACTOR SHALL REPLACE, AS SOON AS WEATHER AND SEASONAL CONDITIONS PERMIT, ALL DEAD PLANTS AND ALL PLANTS NOT IN A VIGOROUS, THRIVING CONDITION, AS DETERMINED BY THE LANDSCAPE DESIGNER DURING, AND AT THE END OF THE GUARANTEE PERIOD. WARRANTY REPLACEMENT WILL BE PROVIDED AT NO COST TO THE OWNER AND INCLUDE MATERIALS AND LABOR. CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY DAMAGE INCURRED DURING REPLACEMENT OF WARRANTY MATERIALS.
- WHEN THERE IS A DISCREPANCY BETWEEN PLANT QUANTITIES SHOWN ON THE PLANT LIST & THE PLAN, USE THE QUANTITIES FROM THE PLAN.
- PERENNIALS, GROUNDCOVERS & GRASSES TO BE FIELD LOCATED BY LANDSCAPE DESIGNER. COORDINATE TO NOTIFY LANDSCAPE DESIGNER AT LEAST 72 HOURS IN ADVANCE OF EXPECTED INSTALLATION DATE. ON THAT DATE ALL BEDS SHALL BE PREPARED & ALL PLANT MATERIAL SHALL BE ON SITE.
- PROVIDE A MINIMUM 6" TOPSOIL FOR ALL DISTURBED AREAS. SUBMIT SAMPLE OF TOPSOIL AND SOIL TEST RESULTS FOR LANDSCAPE DESIGNER APPROVAL PRIOR TO DELIVERING TO SITE.
- MULCH ALL BEDS SHOWN AS CONTINUOUS WITH A 3" MINIMUM OF DOUBLE SHREDDED CEDAR BARK MULCH. SAMPLE TO BE SUBMITTED TO LANDSCAPE DESIGNER FOR APPROVAL.
- ALL PLANT MATERIALS TO BE SOURCED FROM LOCALLY GROWN GROWERS.

**PLANTING SOIL NOTES**

- ALL PLANTING MIXES SHALL BE PREPARED PRIOR TO DELIVERY TO SITE
- PLANTING MIX FOR TREES AND SHRUBS SHALL BE AS FOLLOWS:  
3 PARTS SCREED TOPSOIL  
1 PART CLEAN WASHED COARSE SAND  
1 PART PEAT HUMUS  
5 LBS. SUPER PHOSPHATE PER CUBIC YARD OF MIX  
MYCORRHIZAL INOCULANT TO BE MYCOR TREE SAVER TRANSLANT BY PLANT HEALTH CARE, INC. (1-800-421-9051) OR APPROVED EQUAL.
- TERRASORB AVAILABLE FROM PLANT HEALTH CARE, INC. OR APPROVED EQUAL.
- SUBMIT CERTIFICATION OF PLANTING MIX FOR TREES AND SHRUBS FROM SOIL DISTRIBUTOR.
- TOPSOIL MIX SHALL INCLUDE:  
3 PARTS SCREENED TOPSOIL  
1 PART SAND  
1 PART HUMUS  
5 LBS. SUPER PHOSPHATE PER CU. YD. OF MIX
- TOPSOIL:  
A. PROVIDE A NATURAL, FERTILE, FRIABLE, NATURAL LOAM SURFACE SOIL CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH OF UNIFORM COMPOSITION THROUGHOUT AND WITHOUT ADMIXTURES OF SUBSOIL, AND FREE OF STONES, LUMPS, PLANTS, ROOTS, STICKS OR OTHER EXTRANEUS MATTER.  
B. TOPSOIL SHALL CONTAIN NOT LESS THAN 4% NOR MORE THAN 20% ORGANIC MATTER AS DETERMINED BY THE WET COMBUSTION METHOD.  
C. MECHANICAL ANALYSIS  

SCREEN SIZE	% BY WEIGHT
PASSING	
1"	100
1/4"	97 - 100
NO. 200	20 - 65

  
D. CONTRACTORS SHALL BE RESPONSIBLE FOR ALL TESTING AND ANALYSIS OF EXISTING AND IMPORTED SOILS. FURNISH A SOIL ANALYSIS MADE BY A QUALIFIED INDEPENDENT SOIL - TESTING AGENCY STATING PERCENTAGES OF ORGANIC MATTER, INORGANIC MATTER (SILT, CLAY, AND SAND), DELETERIOUS MATERIAL, PH, AND MINERAL AND PLANT - NUTRIENT CONTENT OF TOPSOIL.  
E. REPORT SUITABILITY OF TOPSOIL FOR LAWN AND SHRUB PLANTING GROWTH. RECOMMEND QUANTITIES OF NITROGEN, PHOSPHORUS, AND POTASH NUTRIENT AND ANY LIMESTONE, ALUMINUM SULFATE, OR OTHER SOIL AMENDMENTS TO BE ADDED TO PRODUCE A SATISFACTORY TOPSOIL.



Apr 05, 2023 - 10:08am  
X:\SE Firm\Project Data\2023\20230101 - 10 & 36 Main Street - Monroe, CT\Cadd Data\SDO\20230101 - 2.61-SDO.dwg

Rev. #:      Date      Description

Graphic Scale:

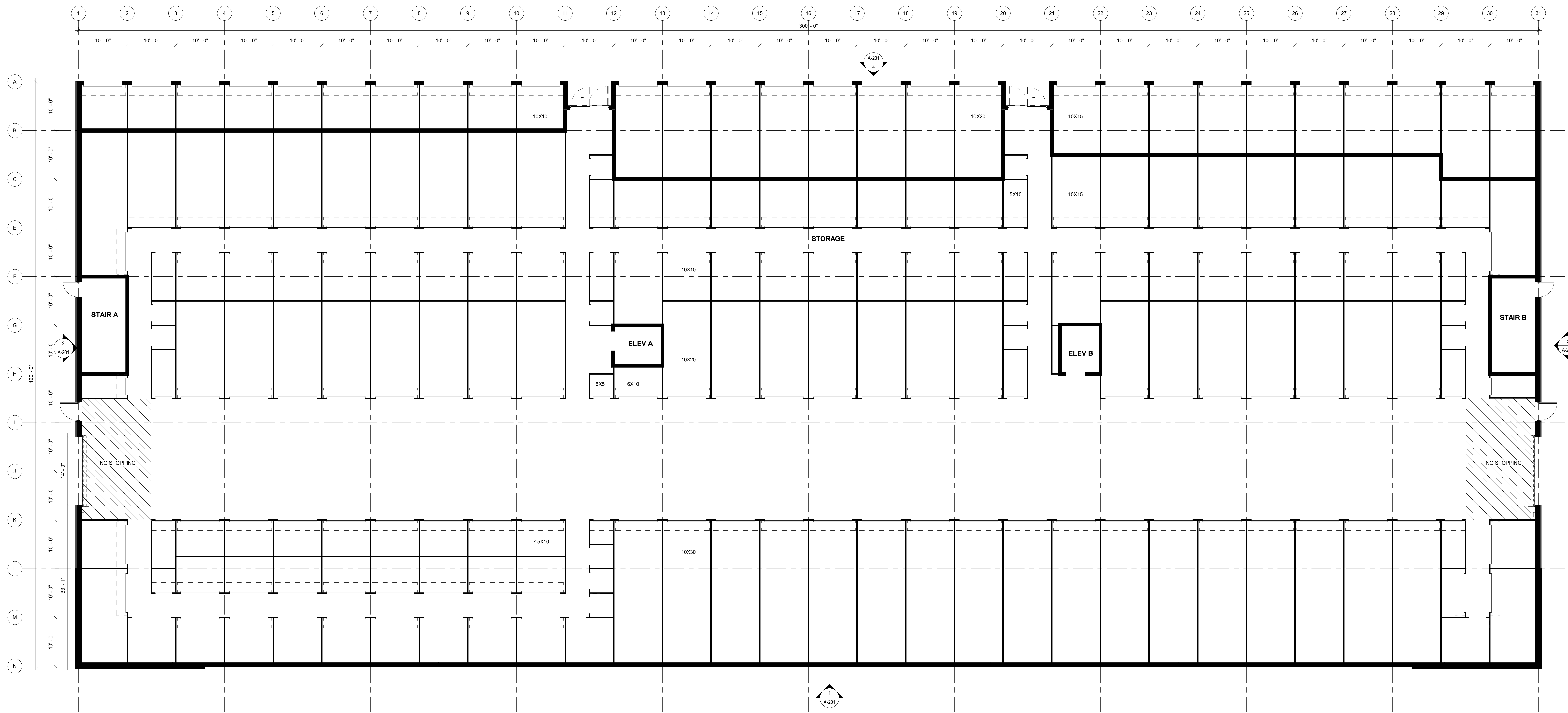
**SOLLI ENGINEERING**  
 501 Main Street, Monroe, CT 06468    T: (203) 880-5455    F: (203) 880-9695  
 11 Vanderbilt Ave, Norwood, MA 02062    T: (781) 352-8491    F: (203) 880-9695

Drawn By:      MMH  
 Checked By:    MFB  
 Approved By:   KMS  
 Project #:      2008001  
 Plan Date:      04/05/23  
 Scale:          1" = 50'

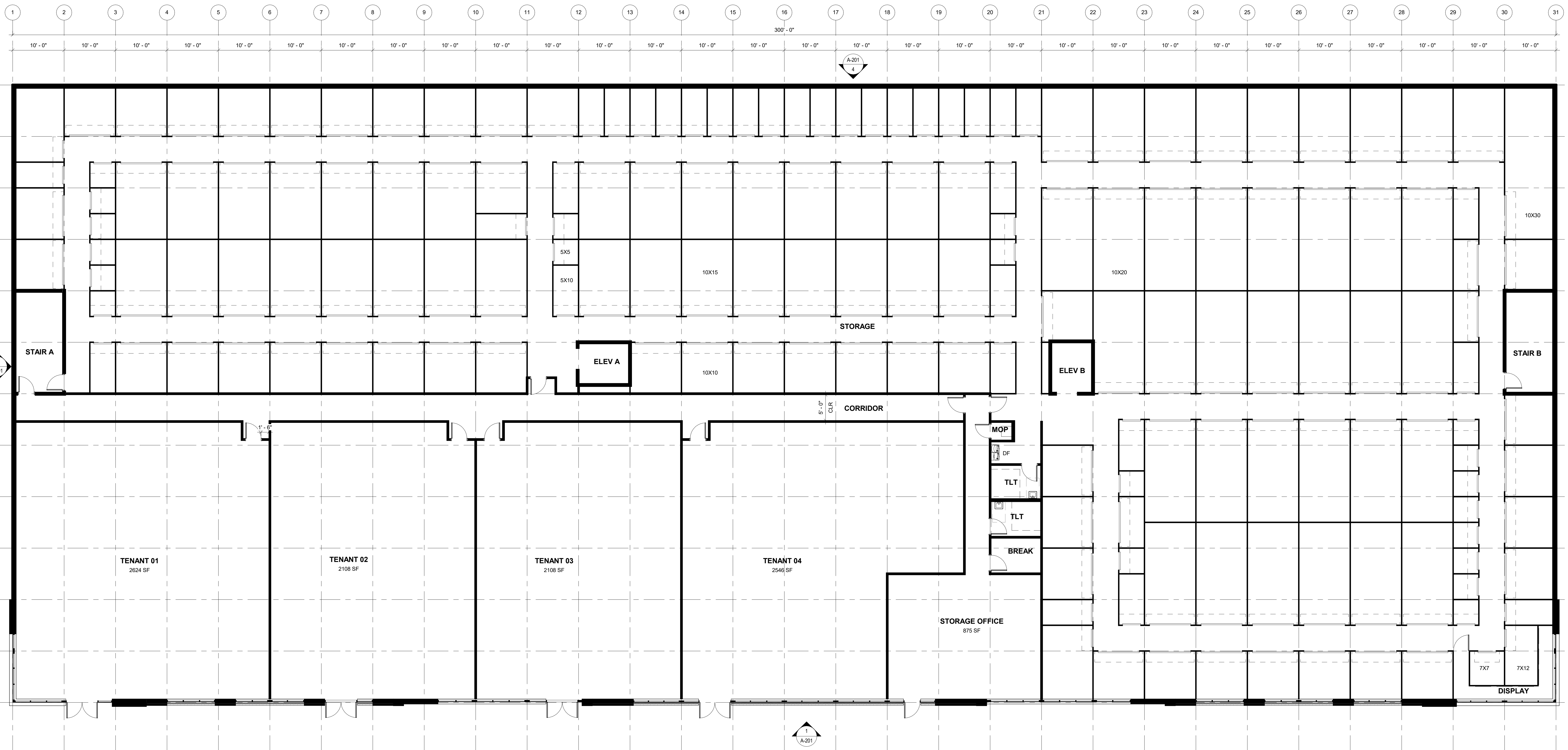
Mary Blackburn, P.L.A.  
 CT 1499

**PROPOSED DEVELOPMENT**  
 10 & 36 MAIN STREET  
 MONROE, CONNECTICUT

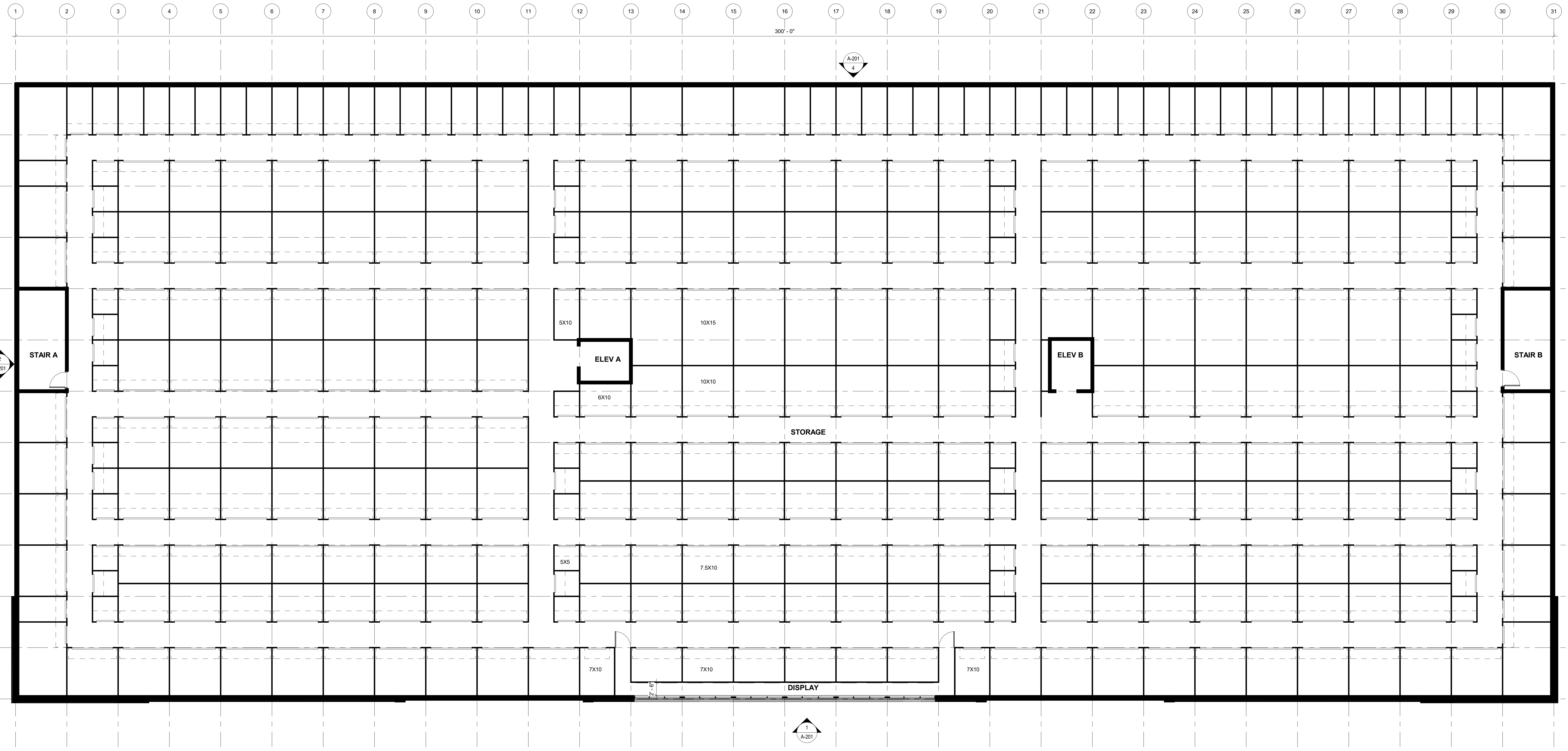
Sheet Title:      SCHEMATIC LANDSCAPE PLAN      Sheet #:      2.61



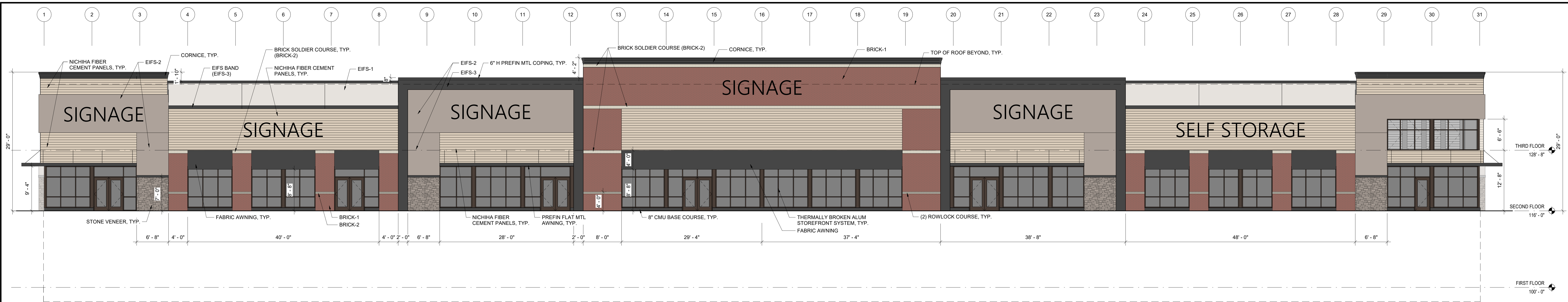
1 FIRST FLOOR PLAN  
 A-101 SCALE: 1/8" = 1'-0"



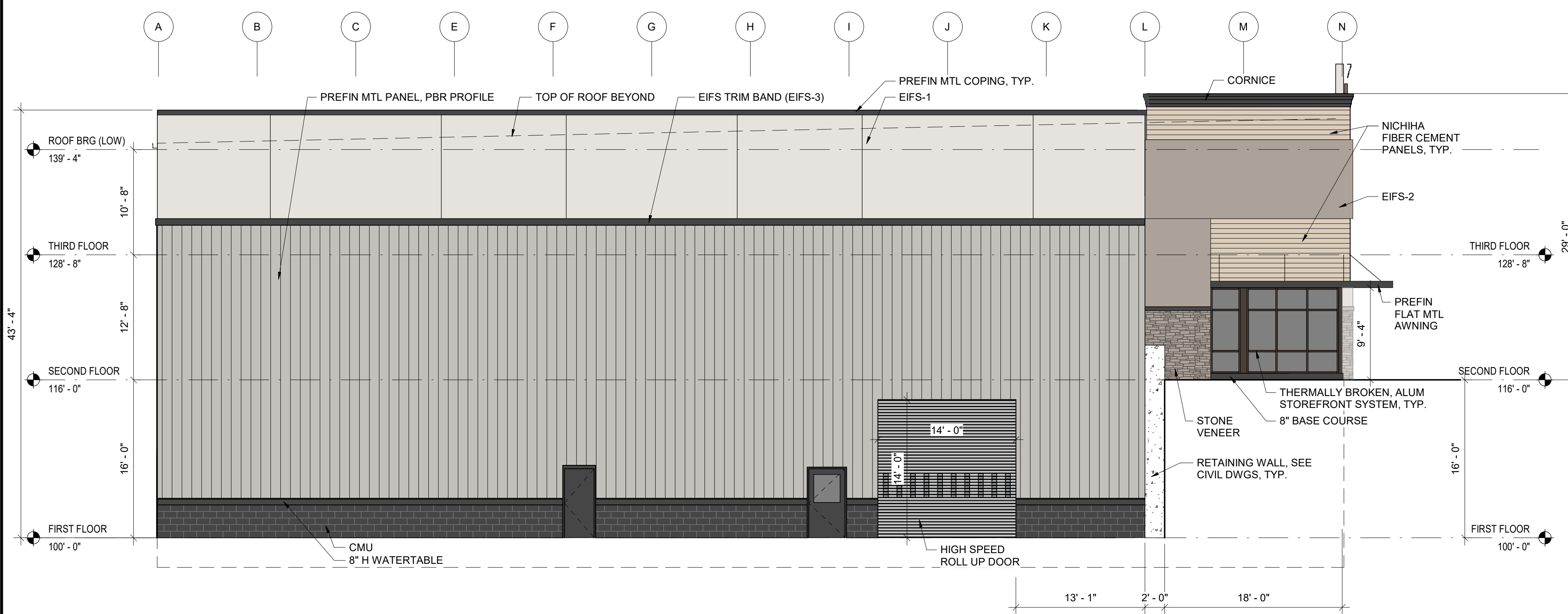
1 SECOND FLOOR PLAN  
A-102 SCALE: 1/8" = 1'-0"



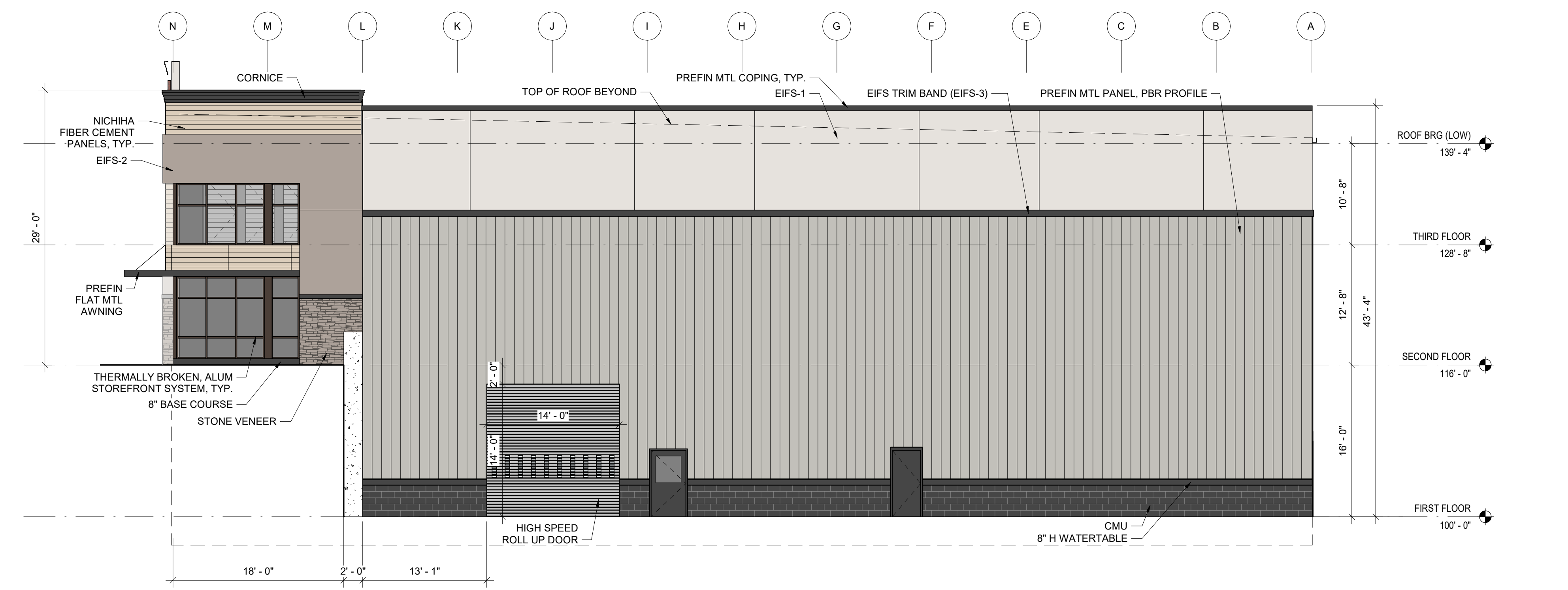
1 THIRD FLOOR PLAN  
A-103 SCALE: 1/8" = 1'-0"



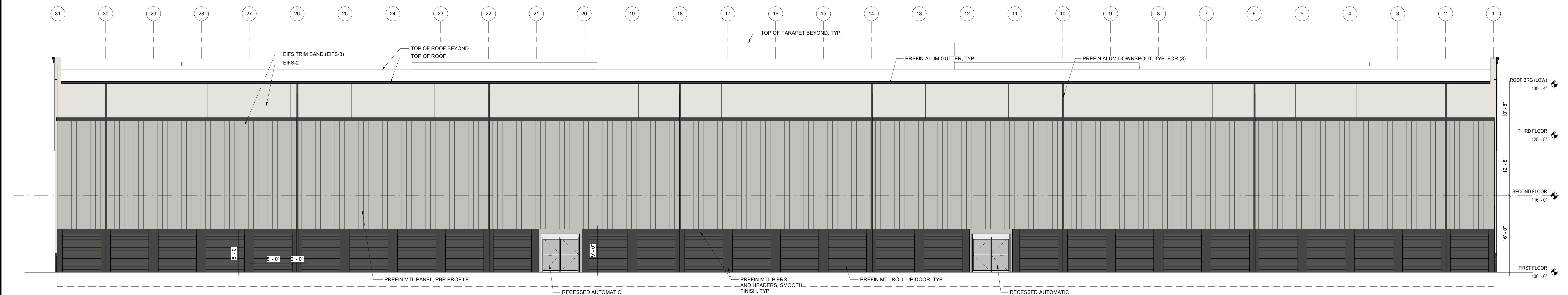
1 WEST EXTERIOR ELEVATION  
SCALE: 1/8" = 1'-0"



2 NORTH EXTERIOR ELEVATION  
SCALE: 1/8" = 1'-0"



3 SOUTH EXTERIOR ELEVATION  
SCALE: 1/8" = 1'-0"



4 EAST EXTERIOR ELEVATION  
SCALE: 1/8" = 1'-0"